

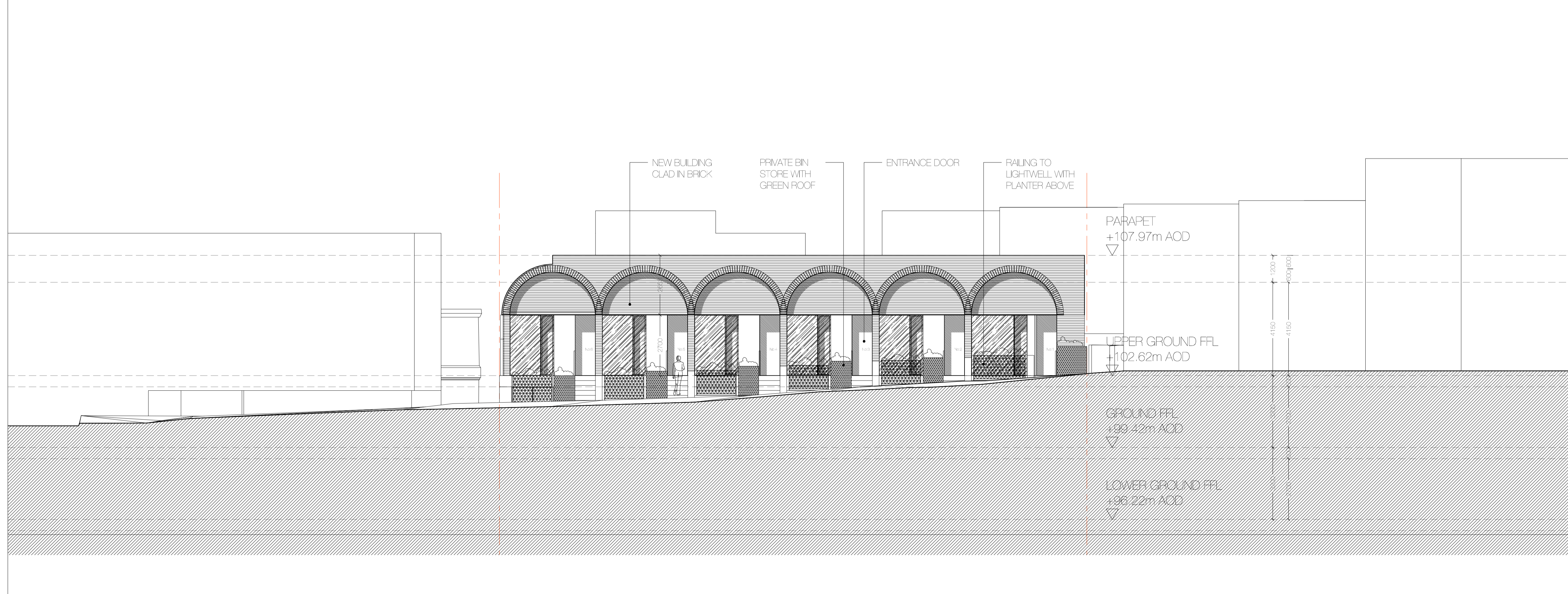
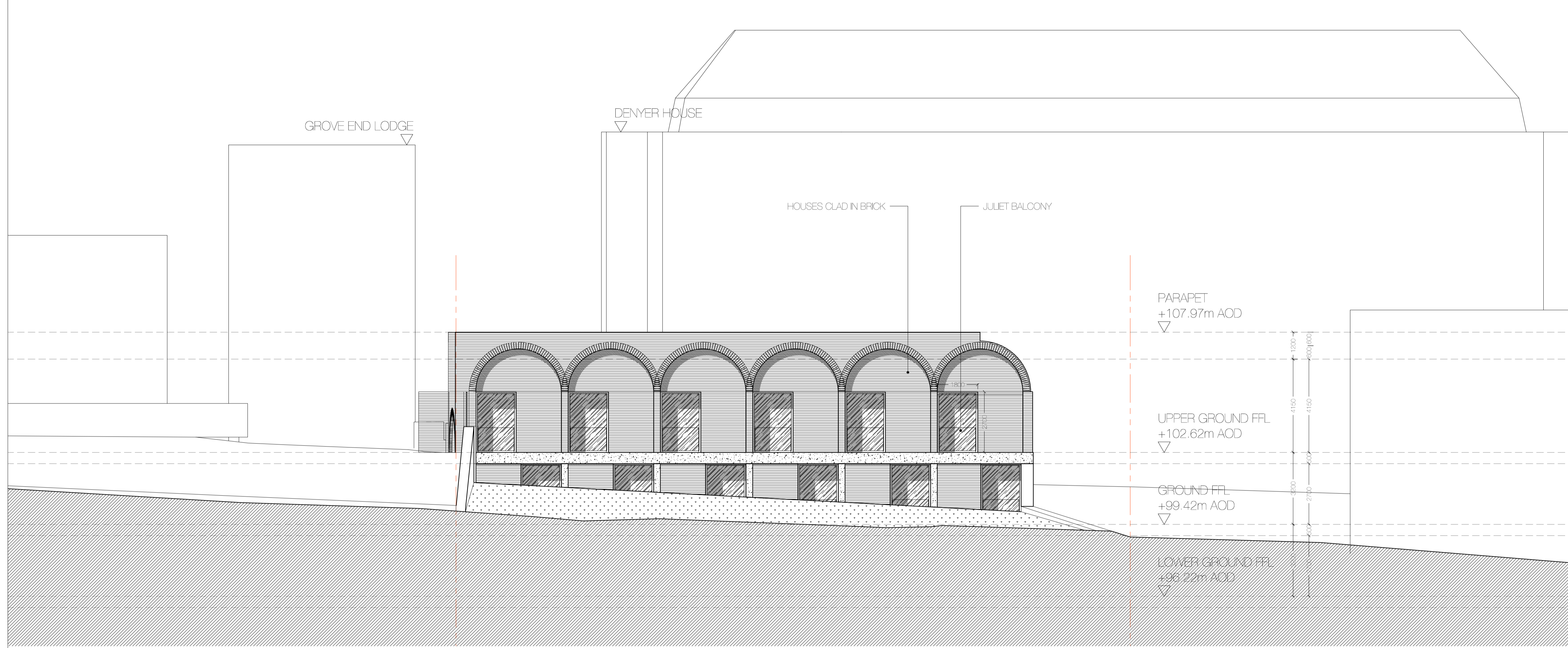
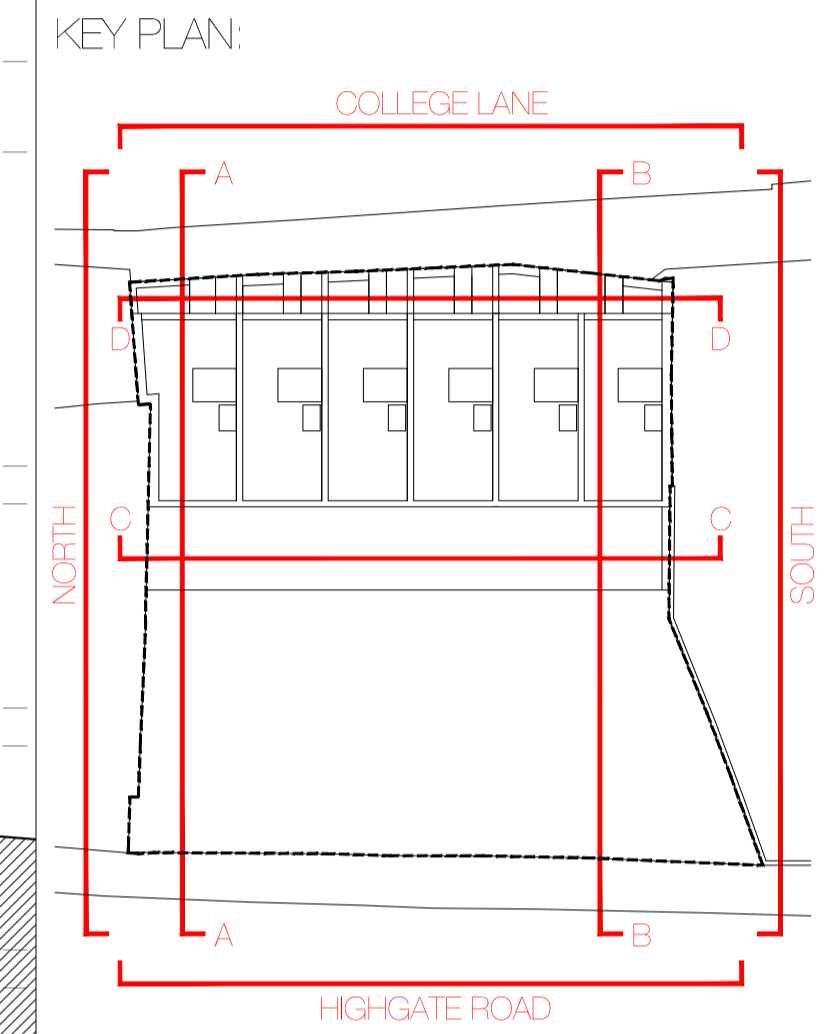
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FOR ELECTRONIC DATA USE
Electronic data/drawings are issued as "read only" and should not be interrogated for measurement. All dimensions and levels should be read only from those values stated in text on the drawing.

AREA MEASUREMENT
The areas are approximate and can only be verified by a detailed dimensional survey of the completed building. Any decisions to be made on the basis of these predictions whether as to project viability, creating lease agreements or the like should include due allowance for the increases and decreases inherent in the design development and building processes. Figures relate to the key areas of the building at the current state of the design and using Gross External Area (GEA), Gross Internal Area (GI) and Net Internal Area (NIA) method of measurement from the Code of Measuring Practice, 5th edition (RICS code of practice). All areas are subject to Town Planning and Conservation Area Consent, and detailed Rights to Light analysis.

UNIT SUMMARY:

UNIT No	UNIT TYPE	AREA (m ²)
UNIT 01	4 bed 6 person House	112.2m ²
UNIT 02	4 bed 5 person House	106.3m ²
UNIT 03	4 bed 5 person House	107.1m ²
UNIT 04	4 bed 5 person House	108.0m ²
UNIT 05	4 bed 5 person House	108.2m ²
UNIT 06	4 bed 5 person House	103.8m ²
TOTAL SCHEME:		645.6m ²

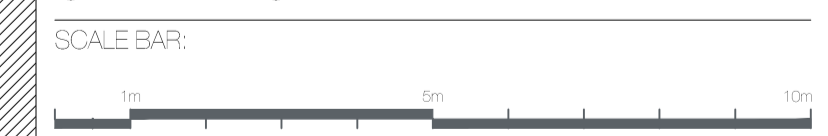


REVISION	DATE	COMMENT

PROJECT:
138 - 140 HIGHGATE ROAD
LONDON, NW5 1PB

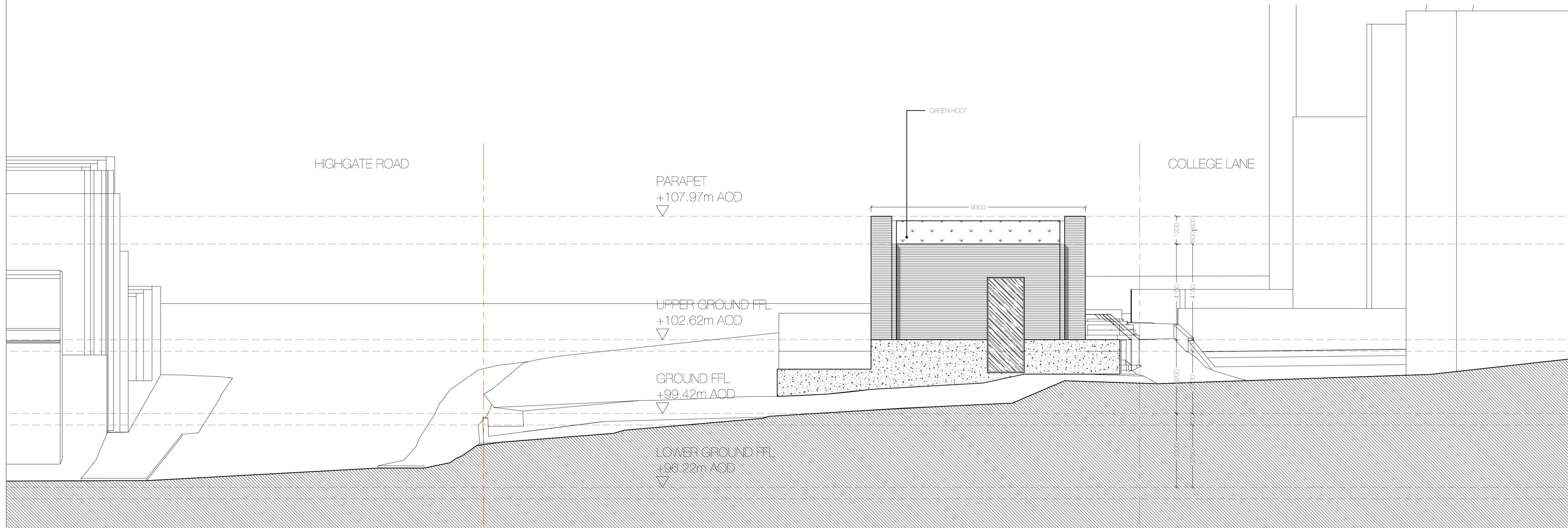
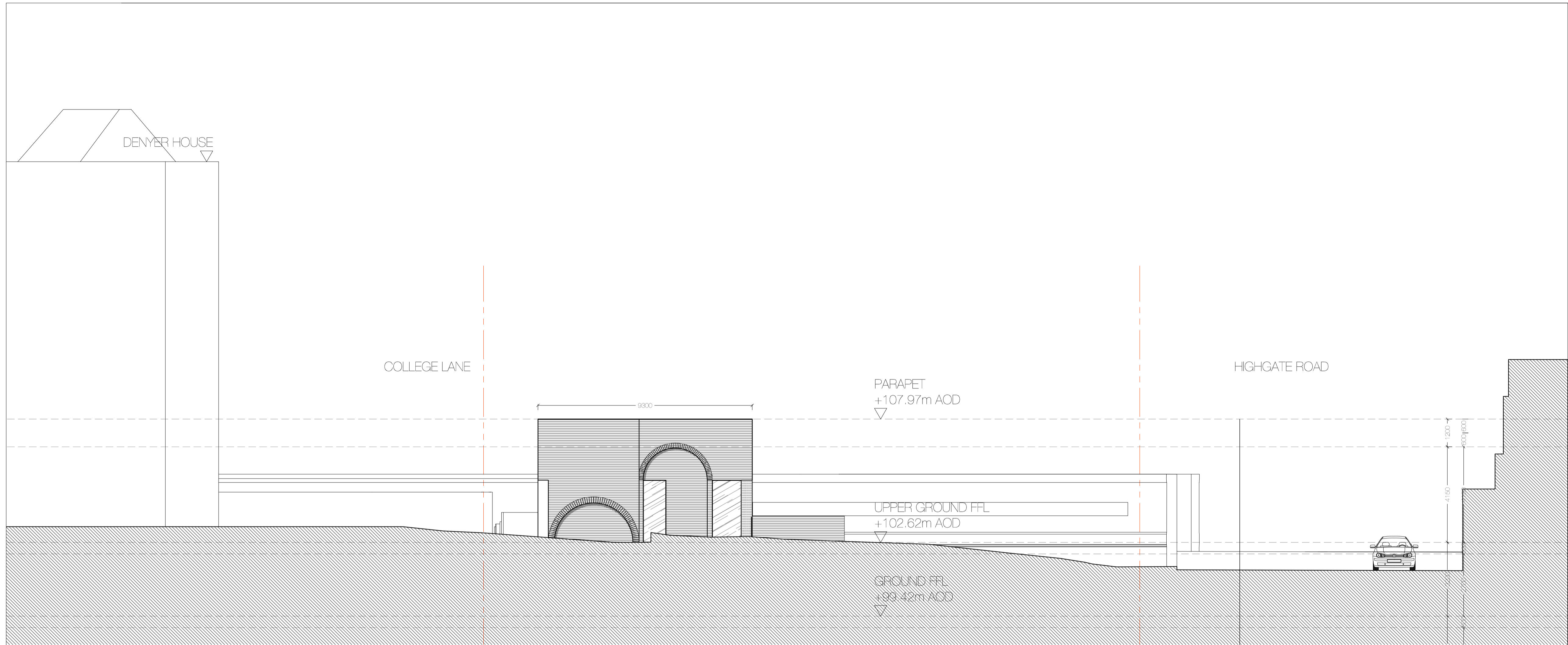
CLIENT:
DESIGN VENTURES HIGHGATE LTD

DRAWING:
PROPOSED ELEVATIONS
SHEET 1 OF 2



DATE: 12.03.18	SCALE: 1:100 @ A1	DRAWN: DW	CHECK: DG
REASON FOR ISSUE: PLANNING		NORTH:	
DRAWING NO: 0067_PL_010		REV: -	

THE D'HAUS COMPANY LIMITED
UNIT 13, OLD DAIRY COURT
17 CROUCH HILL
LONDON N4 4AP
thedhaus.com



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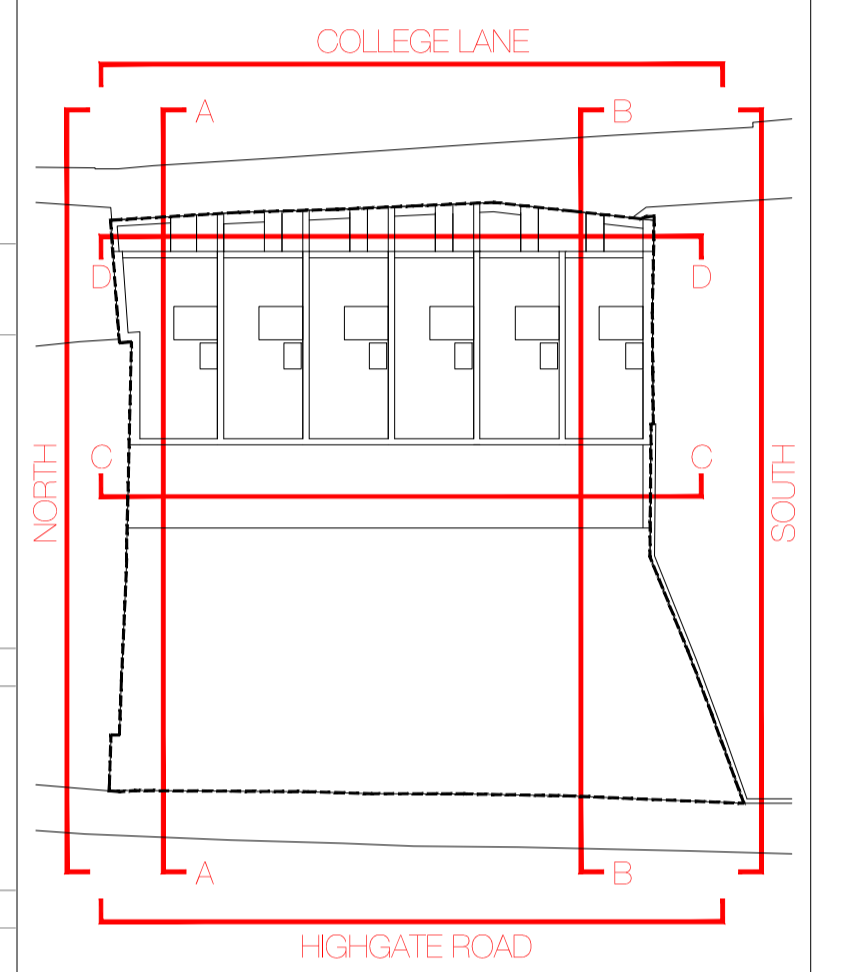
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UNIT 05	4 bed 5 person House	108.2m ²
UNIT 06	4 bed 5 person House	103.8m ²

TOTAL SCHEME: 645.6m²

KEY PLAN:



REVISION	DATE	COMMENT

PROJECT:
138 - 140 HIGHGATE ROAD
LONDON, NW5 1PB

CLIENT:
DESIGN VENTURES HIGHGATE LTD

DRAWING:
PROPOSED ELEVATIONS
SHEET 2 OF 2



DATE: 12.03.18	SCALE: 1:100 @ A1	DRAWN: DW	CHECK: DG
REASON FOR ISSUE: PLANNING		NORTH: 	
DRAWING NO: 0067_PL_011		REV: -	

THE D-HAUS COMPANY LIMITED
UNIT 13, OLD DAIRY COURT
17 CROUCH HILL
LONDON N4 4AP
thedhaus.com

THE BUILDING APPEARS AS
A ONE STOREY STRUCTURE
FROM COLLEGE LANE

THE BUILDING APPEARS AS
A ONE / TWO STOREY
STRUCTURE FROM
HIGHGATE ROAD

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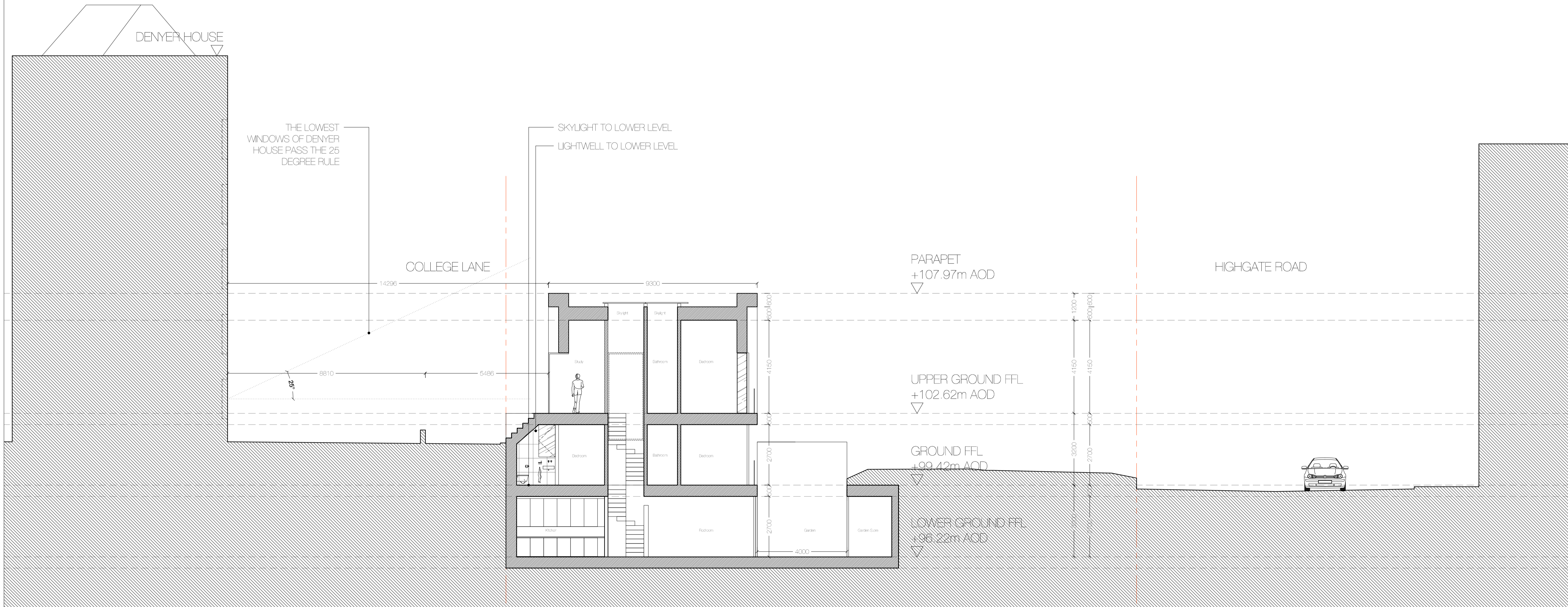
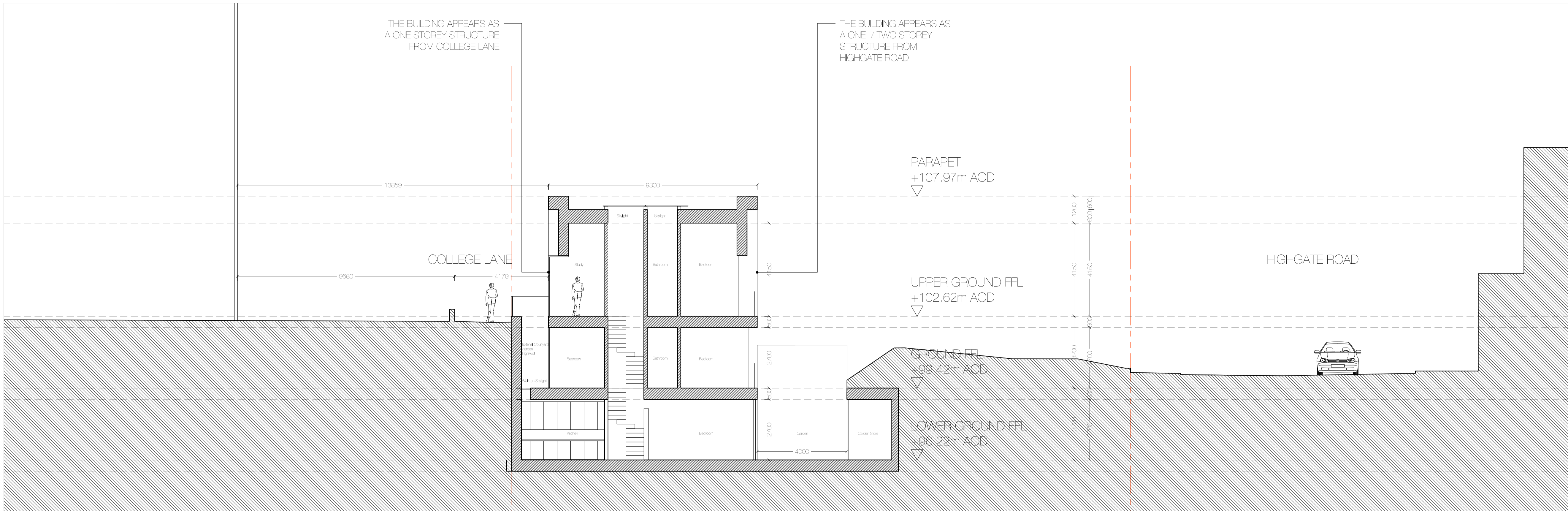
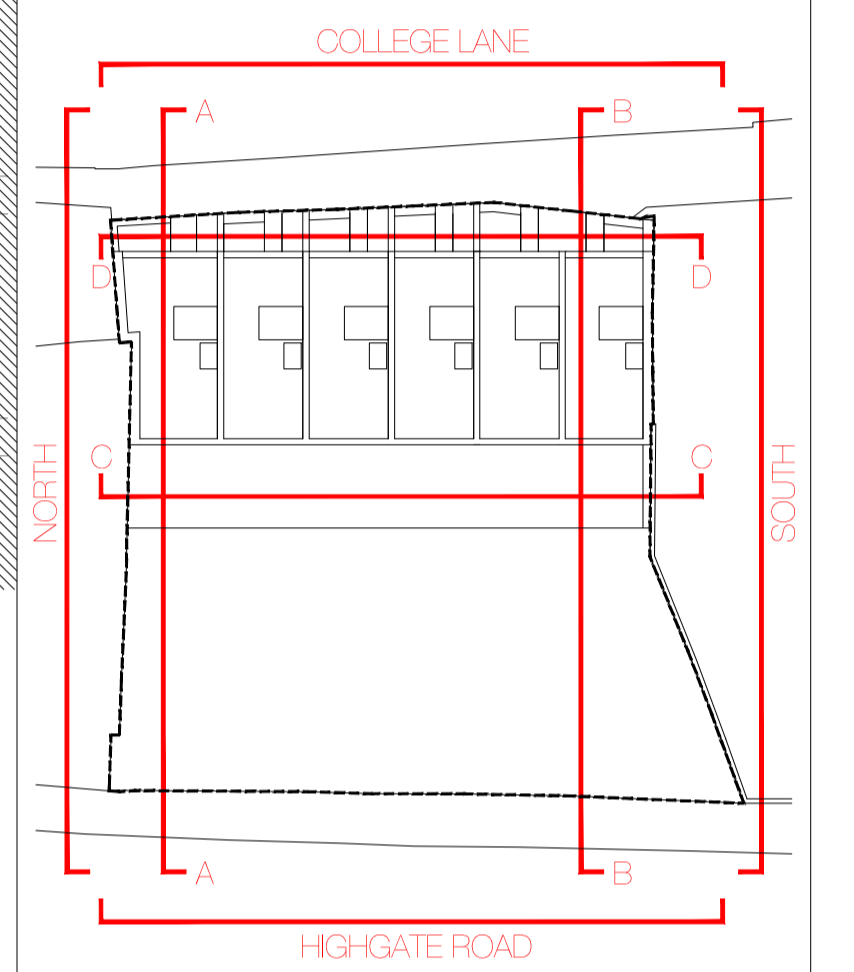
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TOTAL SCHEME 645.6m²

KEY PLAN:

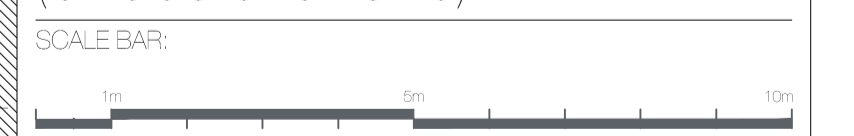


REVISION	DATE	COMMENT

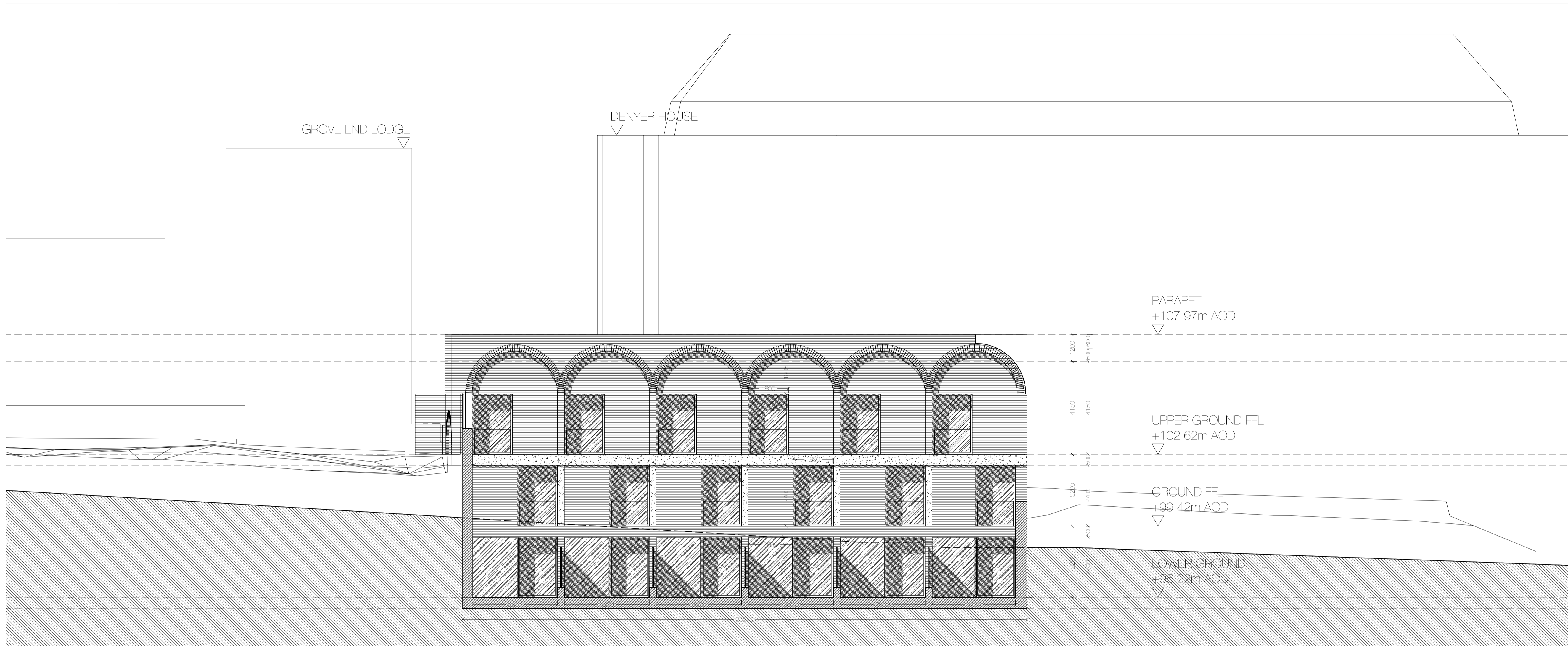
PROJECT:
138 - 140 HIGHGATE ROAD
LONDON, NW5 1PB

CLIENT:
DESIGN VENTURES HIGHGATE LTD

DRAWING:
PROPOSED SECTIONS
(CROSS SECTIONS)



DATE: 12.03.18	SCALE: 1:100 @ A1	DRAWN: DW	CHECK: DG
REASON FOR ISSUE: PLANNING		NORTH: 	
DRAWING NO: 0067_PL_012		REV: -	



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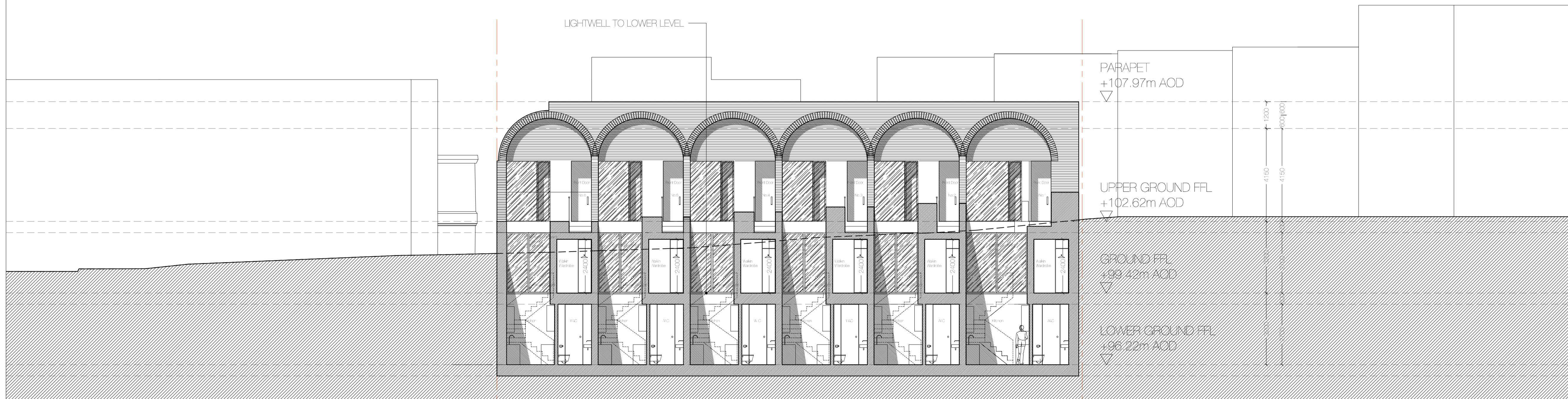
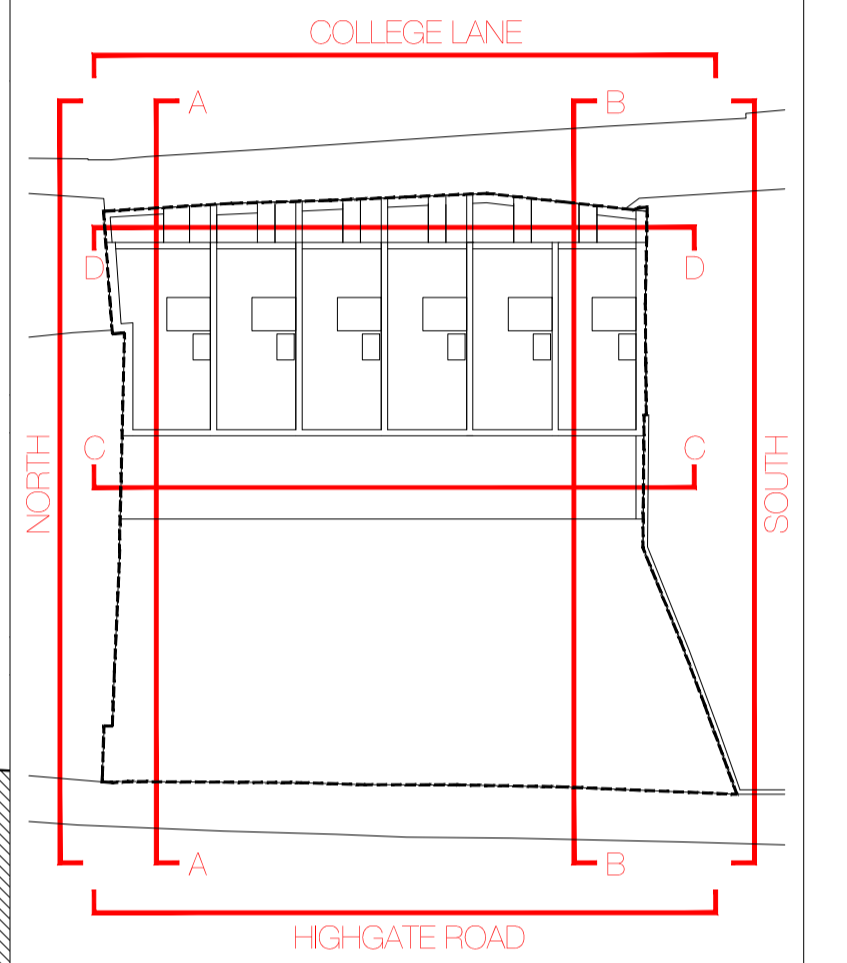
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TOTAL SCHEME: 645.6m²

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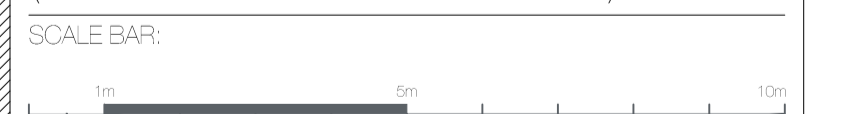


REVISION	DATE	COMMENT

PROJECT:
138 - 140 HIGHGATE ROAD
LONDON, NW5 1PB

CLIENT:
DESIGN VENTURES HIGHGATE LTD

DRAWING:
PROPOSED SECTIONS
(LONGITUDINAL SECTIONS)



DATE: 12.03.18	SCALE: 1:100 @ A1	DRAWN: DW	CHECK: DG
REASON FOR ISSUE: PLANNING		NORTH:	
DRAWING NO: 0067_PL_013		REV: -	

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