

TOWN AND COUNTRY PLANNING ACT 1990

7 ELDON GROVE, LONDON, NW3 5PS

PLANNING APPLICATION FOR 'FORMATION OF SIDE DORMER WINDOW AND ENLARGEMENT/ALTERATIONS OF REAR DORMER WINDOW (INCLUDING JULIET BALCONY)'

PLANNING POLICY AND HERITAGE STATEMENT

gfplanning Limited
1 Woodlands Avenue Wanstead
LONDON E11 3RA
Tel: 020 8530 1306 Mobile: 07890 478970
Email: gfplanning@hotmail.com

1 THE SITE

- 1.1 The site is situated within the Fitzjohns/Netherhall Conservation Area and is occupied by an imposing semi detached three storey dwellinghouse, with basement and loft accommodation. The house is finished in mix of render and brick, with a slate roof. It has small dormer windows to both the front and rear.
- 1.2 There are many examples of front and side dormer windows evident in the immediate locality of the site.
- 1.3 The property is not a statutorily or locally listed building.

2 PLANNING HISTORY

7 Eldon Grove

- 2.1 The Camden website lists no recent planning applications at the application property.

6 Eldon Grove

- 2.2 The adjoining house, no 6 has front, side and rear dormers. That at the front is larger than the corresponding one at no 7 and that at the rear has the benefit of an external terrace.
- 2.3 Application 2015/1290/P for '*Installation of roof terrace in rear roof slope*' was granted in June 2015. The approved drawings are at Appendix 1.
- 2.4 Application 2013/7393/P for the '*Erection of side dormer*' was allowed on appeal in May 2014. The approved drawing and the appeal decision are at Appendix 2.

The appeal Inspector made the following key comments:

'Therefore, whilst there is not currently a dormer to the side roof slope of no. 7, I consider that the proposal would not unbalance or disrupt the harmony of the semi-detached pair to a material degree. Taking into account the fact that the dormer proposed is of a similar design to those that currently exist on the appeal property, I find that by virtue of its scale, proportions and siting, that it would not appear as in incongruous or unsympathetic addition to the roof'.

'...in this particular case, taking into account the presence of the relatively modest dormers that have already been constructed on the appeal property and its neighbour, I find the proposals generally in accordance with the spirit of the CDP'.

'I have found the proposed dormer would be modest in its scale and would not look out of proportion with those that exist on the appeal property or its adjoining neighbour'.

3 PLANNING POLICY

- 3.1 The Local Plan was adopted by Council on 3 July 2017, where policies D1 and D2 provide general advice on design and heritage.
- 3.2 The Camden Planning Guidance Design (CPG 1) contains detailed advice on dormer windows and terraces. The key points are as follows:
- Roof alterations are likely to be acceptable where there is an established form of roof addition or alteration to a terrace or group of similar buildings and where continuing the pattern of development would help to re-unite a group of buildings and townscape, and where the alterations are architecturally sympathetic to the age and character of the building and retain the overall integrity of the roof form

- The pitch of the existing roof is sufficient to allow adequate habitable space without the creation of disproportionately large dormers or raising the roof ridge.
 - Dormers should not be introduced where they cut through the roof ridge or the sloped edge of a hipped roof. They should also be sufficiently below the ridge of the roof in order to avoid projecting into the roofline when viewed from a distance.
 - Balconies and terraces should form an integral element in the design of elevations. The key to whether a design is acceptable is the degree to which the balcony or terrace complements the elevation upon which it is to be located. Consideration should therefore be given to the following:
 - detailed design to reduce the impact on the existing elevation;
 - careful choice of materials and colour to match the existing elevation;
 - possible use of setbacks to minimise overlooking – a balcony need not necessarily cover the entire available roof space;
 - possible use of screens or planting to prevent overlooking of habitable rooms or nearby gardens, without reducing daylight and sunlight or outlook
 - A terrace will only normally be acceptable on the rear of properties.
- 3.3 The Fitzjohns and Netherhall Conservation Area Statement is relevant but does not provide much further detailed advice beyond the above document.
- 3.4 The Hampstead Neighbourhood Plan has reached the examination stage and as such is a material consideration. It contains policies DH1 and DH2 that provide general advice on design and heritage.
- 3.5 National Planning Policy is contained in the National Planning Policy Framework (NPPF).

4 THE APPLICATION

- 4.1 The drawings provided show two new elements
- The formation of a side dormer window
 - The enlargement/alterations of the existing rear dormer window (including a Juliet balcony)

5 SUBMISSIONS

- 5.1 The proposed side dormer window would be of the same design, size and proportions to that permitted on appeal at no 6 Eldon Grove in May 2014.
- 5.2 The enlargement/alterations to the existing rear dormer window would be of the same design, size and proportions to that permitted at no 6 Eldon Grove in June 2015.
- 5.3 There is an established form of roof additions/alterations in the vicinity of the site and the proposals seek to continue that pattern of development, in manner that is architecturally sympathetic to the age and character of the building, whilst retaining the overall integrity of the roof form. Indeed, the pitch of the existing roof is sufficient to allow adequate habitable space without the creation of disproportionately large dormers or raising the roof ridge.
- 5.4 The proposed dormers will not cut through the roof ridge or the sloped edge of the hipped roof and are set below the ridge of the roof
- 5.5 The proposed balcony/terrace is an integral element in the design of the rear dormer, and will complement the elevation upon which it is to be located and the materials to be used will match the existing elevation. Moreover, it will not result in any levels of overlooking or loss of privacy over and above that resulting from the existing terrace at no 6 Eldon Grove
- 5.6 Therefore, the proposed development is in accordance with the provisions of CPG 1 and other local planning policy requirements.
- 5.7 Paragraph 17 of the NPPF requires that planning should conserve heritage assets in a manner appropriate to their significance, so that they can be enjoyed for their contribution to the quality of life of this and future generations. The proposed development would achieve these aims.
- 5.8 Paragraph 132 advises that as heritage assets are irreplaceable, any harm or loss should require clear and convincing justification. However, in this case, it has been demonstrated that the development will result in no harm to the character and appearance of the conservation area, in accordance with the provisions of the NPPF.

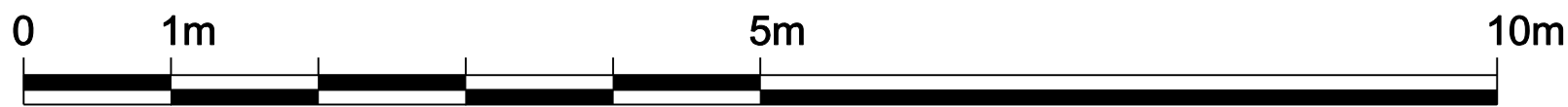
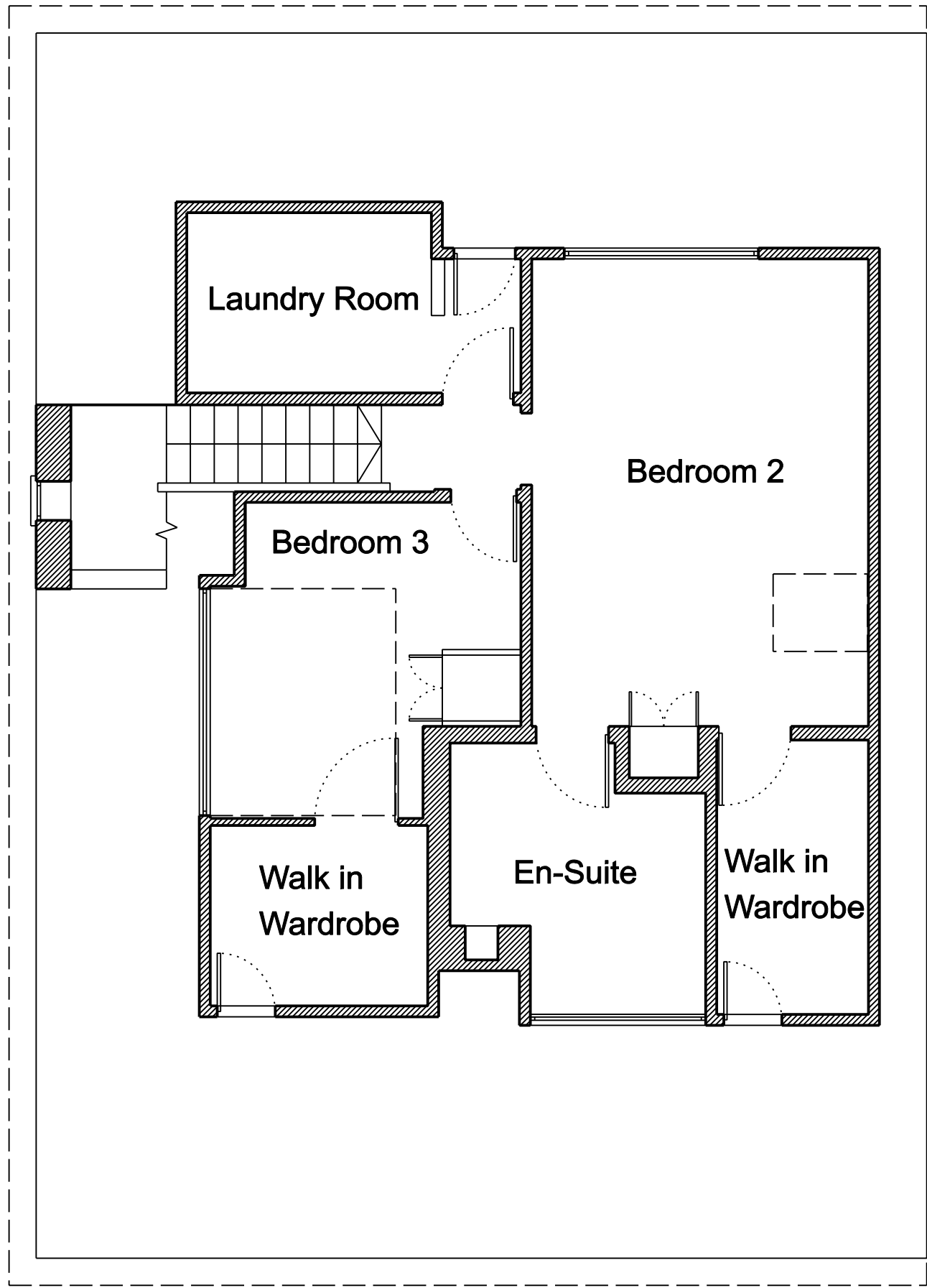
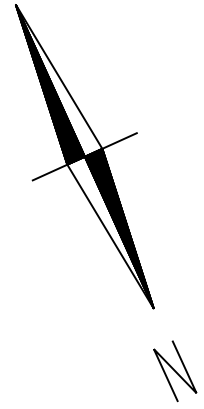
6 CONCLUSIONS

- 6.1 The development is in accordance with the development plan and supported by local planning guidance and national planning policy. Therefore, planning permission should be granted

APPENDICES

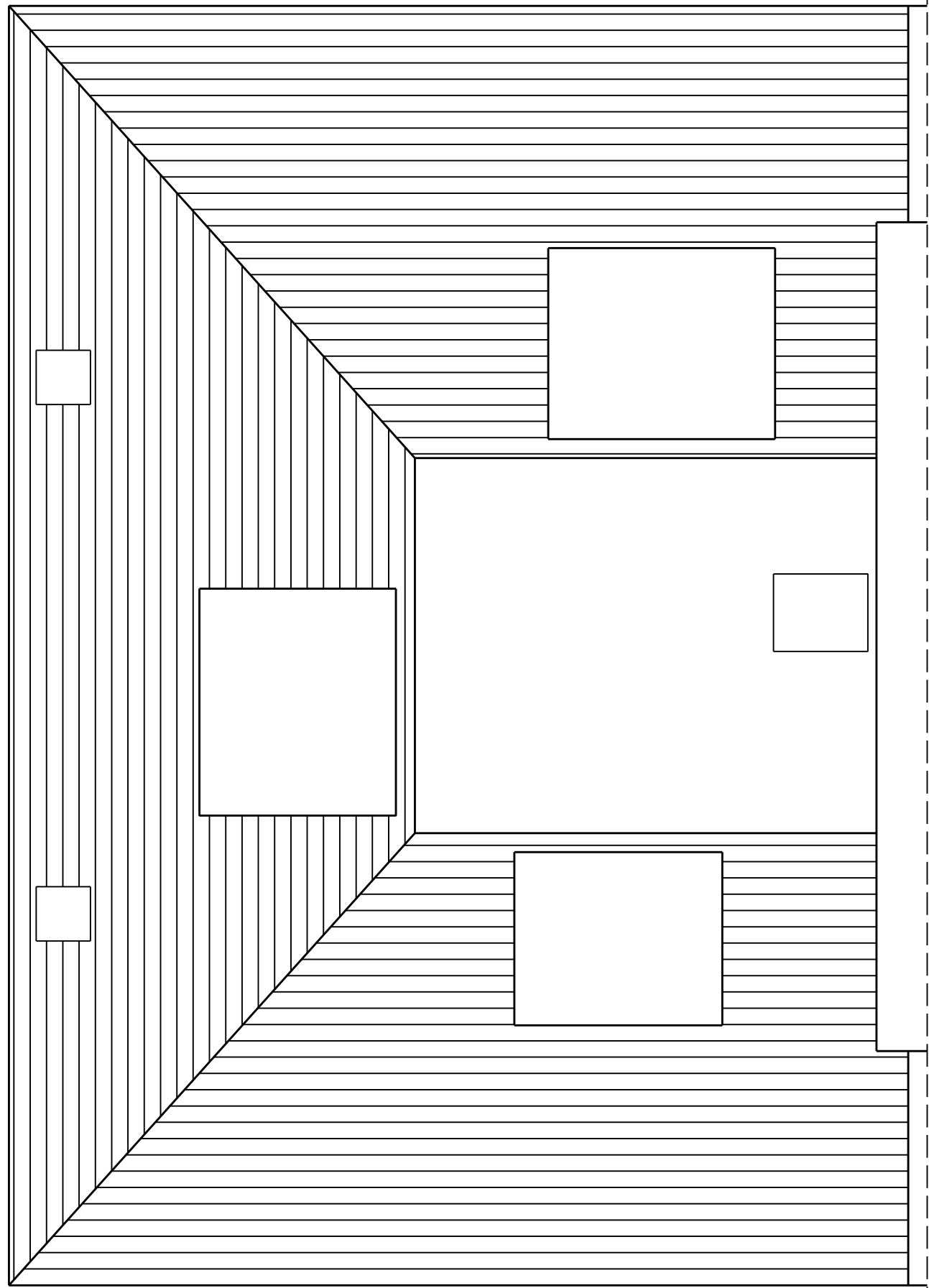
1. Application 2015/1290/P - Approved drawings
2. Application 2013/7393/P - Approved drawing and appeal decision

Appendix 1



Loft

Roof

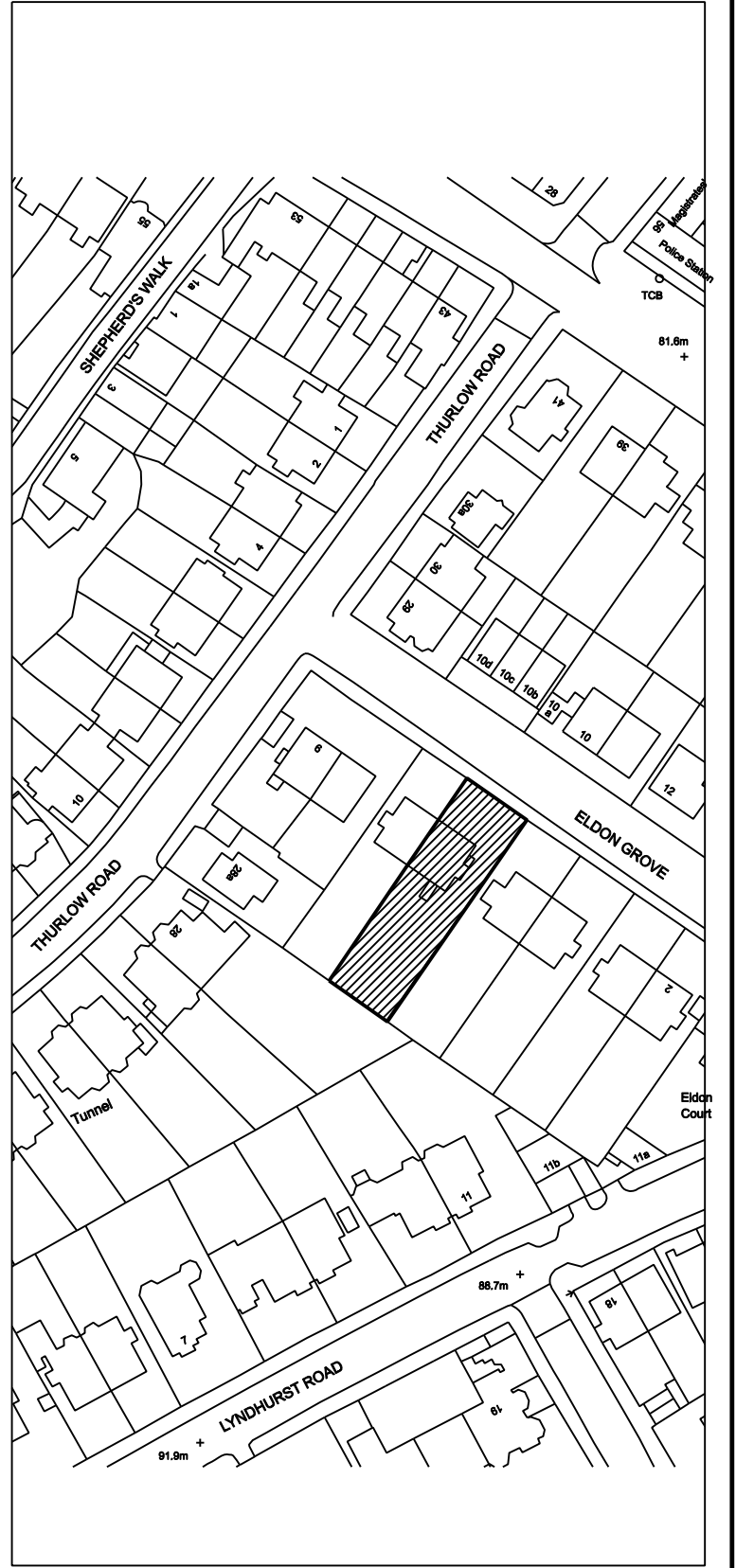


Written dimensions to be taken in preferences to scaled dimensions. The Contractor is responsible for checking all dimensions before work starts.

All work is to be carried out to the requirements, and to the satisfaction of the Local Authority. These drawings are for planning purposes only

Any discrepancies to be brought to the attention of 4D Planning Consultants immediately.

Location Plan



Rev	Date	Description	by	chk

**Osborne
Planning™**
Architecture | Town Planning

In association with *4D Planning*
www.GetMePlanning.com

Client **Maria Banks**

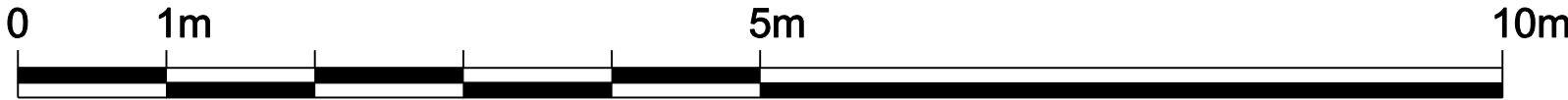
Project **6 Eldon Grove, NW3 5PS**

Title **Existing Floor Plans**

Date: February 2015	Rev: A
Scale: 1:50 @ A1, 1:100 @ A3	
Drawing No. EG011	



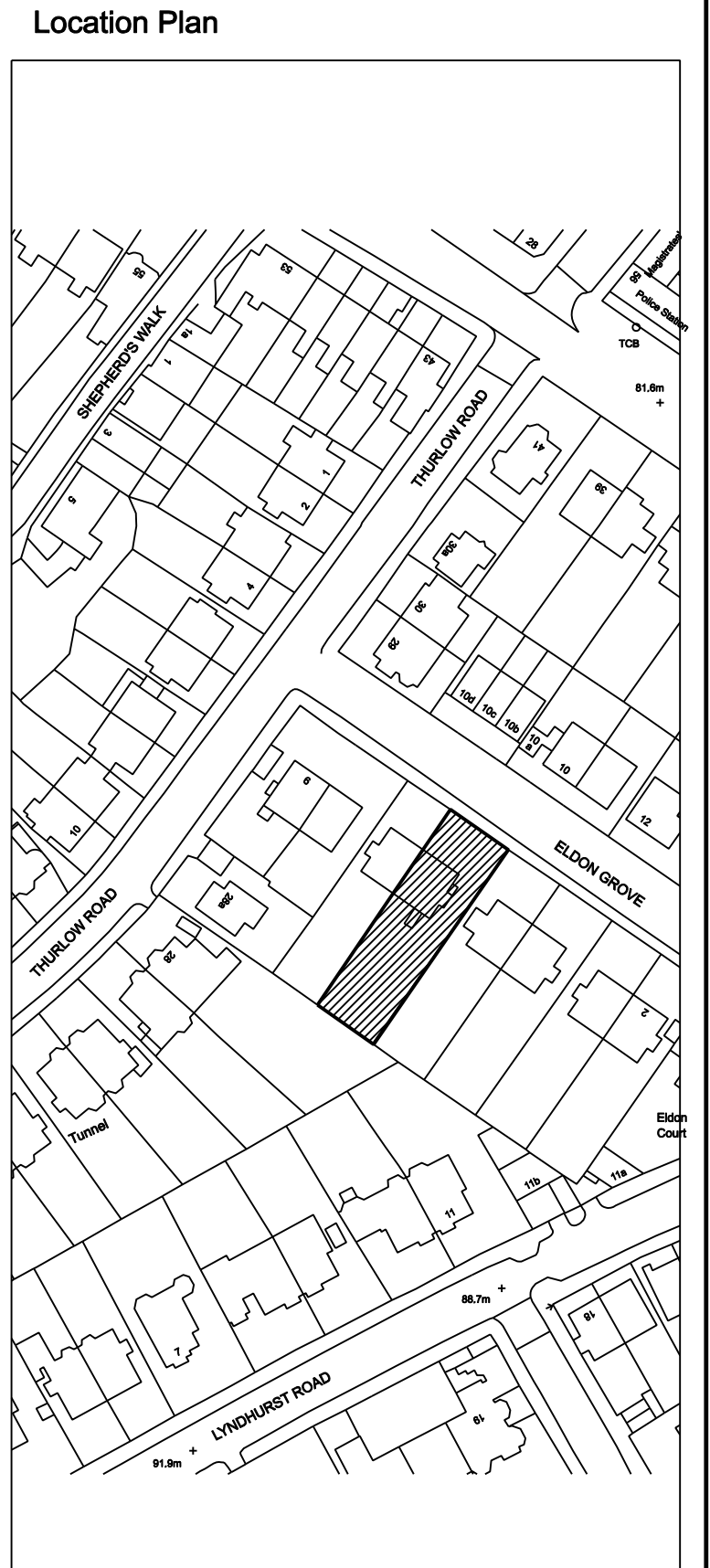
No changes proposed to front elevation



Written dimensions to be taken in preferences to scaled dimensions. The Contractor is responsible for checking all dimensions before work starts.

All work is to be carried out to the requirements, and to the satisfaction of the Local Authority. These drawings are for planning purposes only

Any discrepancies to be brought to the attention of 4D Planning Consultants immediately.

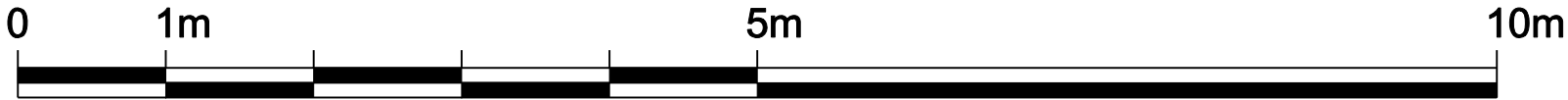


Rev	Date	Description	by	chk

**Osborne
Planning™**
Architecture | Town Planning

In association with *4D Planning*
www.GetMePlanning.com

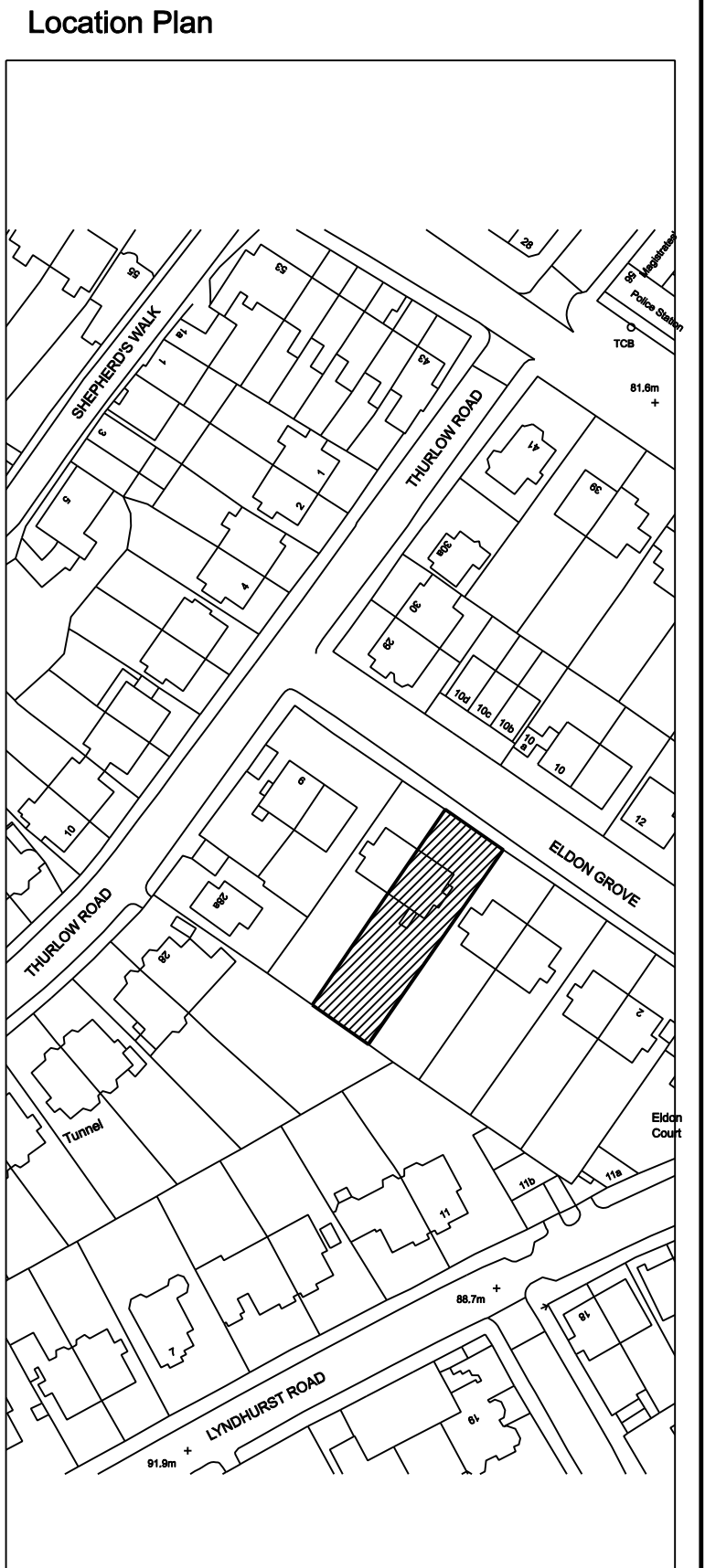
Client	Maria Banks		
Project	6 Eldon Grove, NW3 5PS		
Title	Existing Front Elevation		
Date: February 2015	Rev:		A
Scale: 1:50 @ A1, 1:100 @ A3			
Drawing No. EG012			



Written dimensions to be taken in preferences to scaled dimensions. The Contractor is responsible for checking all dimensions before work starts.

All work is to be carried out to the requirements, and to the satisfaction of the Local Authority. These drawings are for planning purposes only

Any discrepancies to be brought to the attention of 4D Planning Consultants immediately.

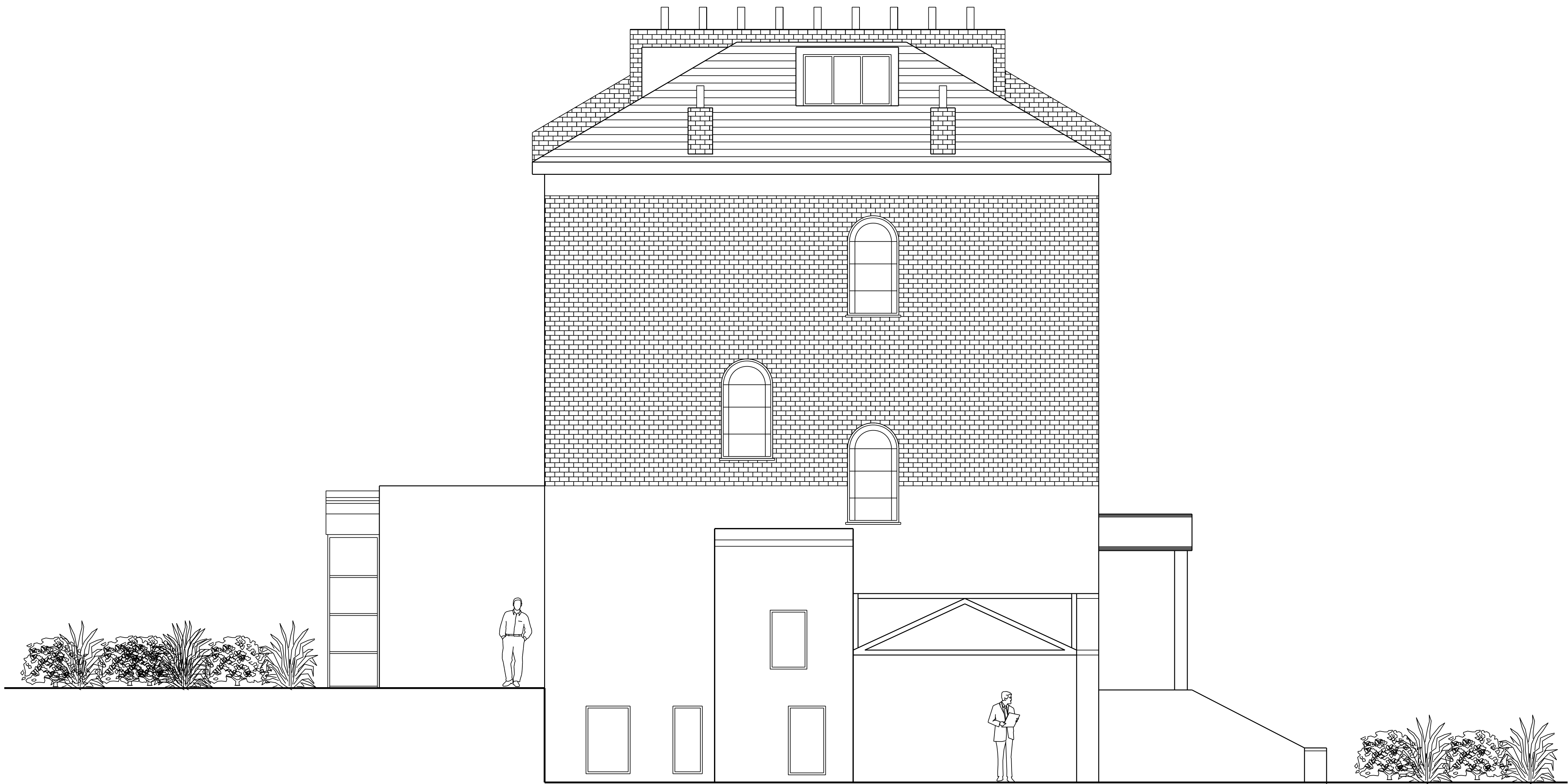


Rev	Date	Description	by	chk

**Osborne
Planning™**
Architecture | Town Planning

In association with *4D Planning*
www.GetMePlanning.com

Client	Maria Banks		
Project	6 Eldon Grove, NW3 5PS		
Title	Existing Rear Elevation		
Date: February 2015	Rev:		A
Scale: 1:50 @ A1, 1:100 @ A3			
Drawing No. EG013			

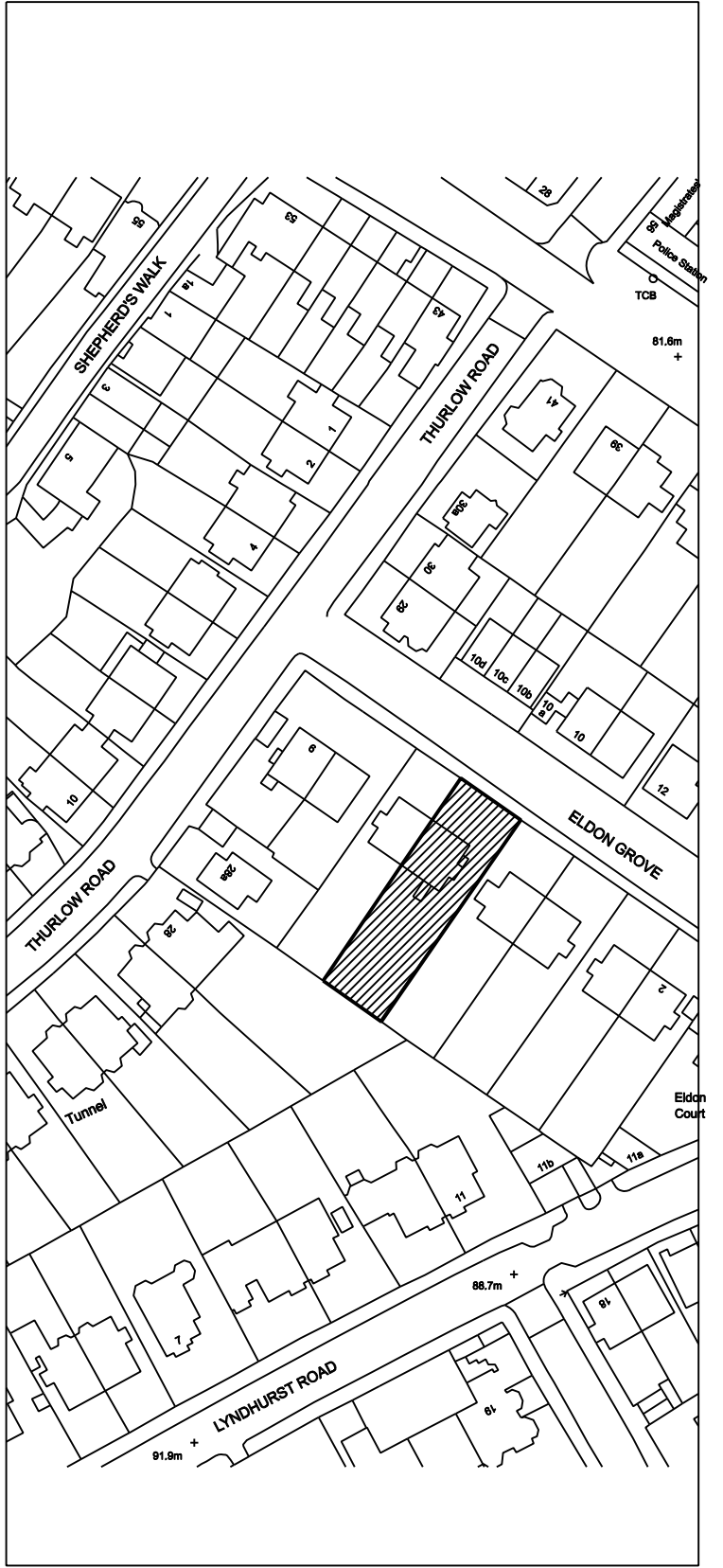


Written dimensions to be taken in preferences to scaled dimensions. The Contractor is responsible for checking all dimensions before work starts.

All work is to be carried out to the requirements, and to the satisfaction of the Local Authority. These drawings are for planning purposes only

Any discrepancies to be brought to the attention of 4D Planning Consultants immediately.

Location Plan



Rev	Date	Description	by	chk

**Osborne
Planning™**
Architecture | Town Planning

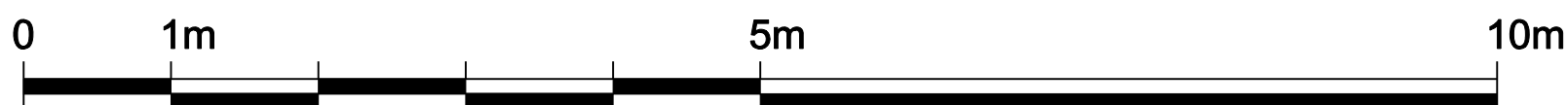
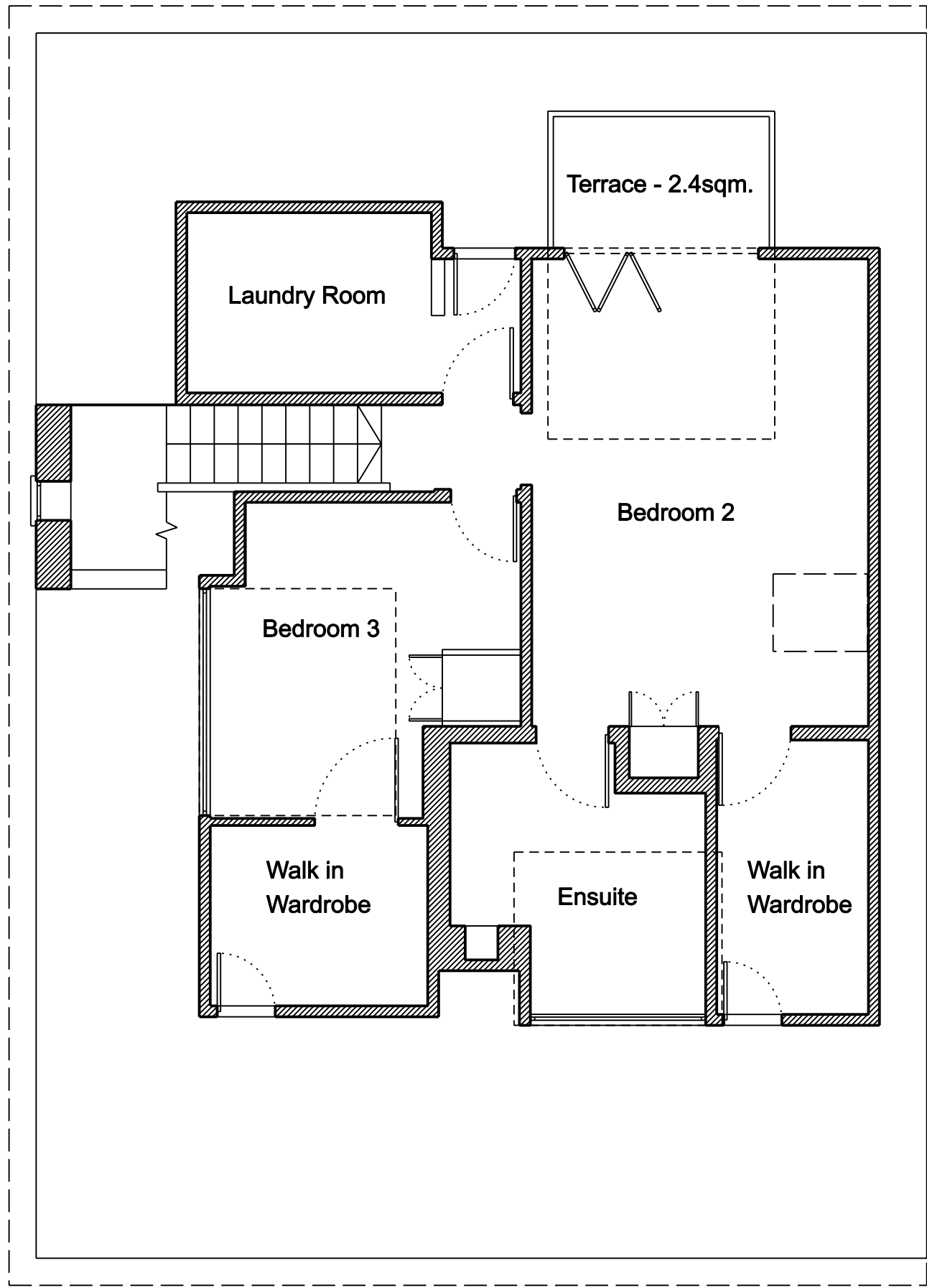
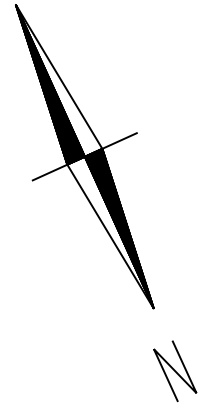
In association with *4D Planning*
www.GetMePlanning.com

Client **Maria Banks**

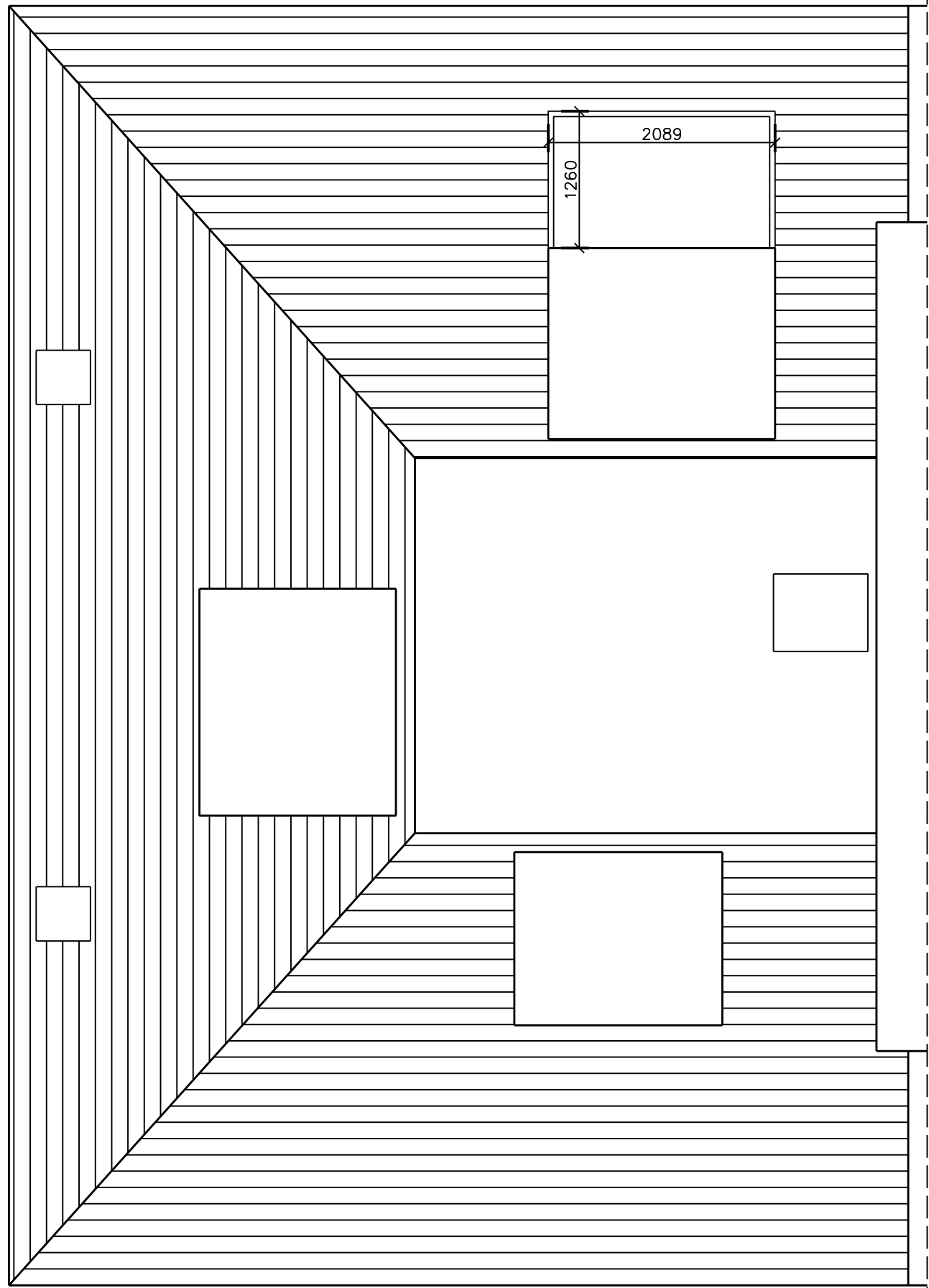
Project
6 Elton Grove, NW3 5PS

Title
Existing Side Elevation

Date: February 2015	Rev:
Scale: 1:50 @ A1, 1:100 @ A3	A
Drawing No. EG014	



- 1) All new roof tiles to match existing
- 2) New juliet balcony doors to match existing windows (sash)



Loft

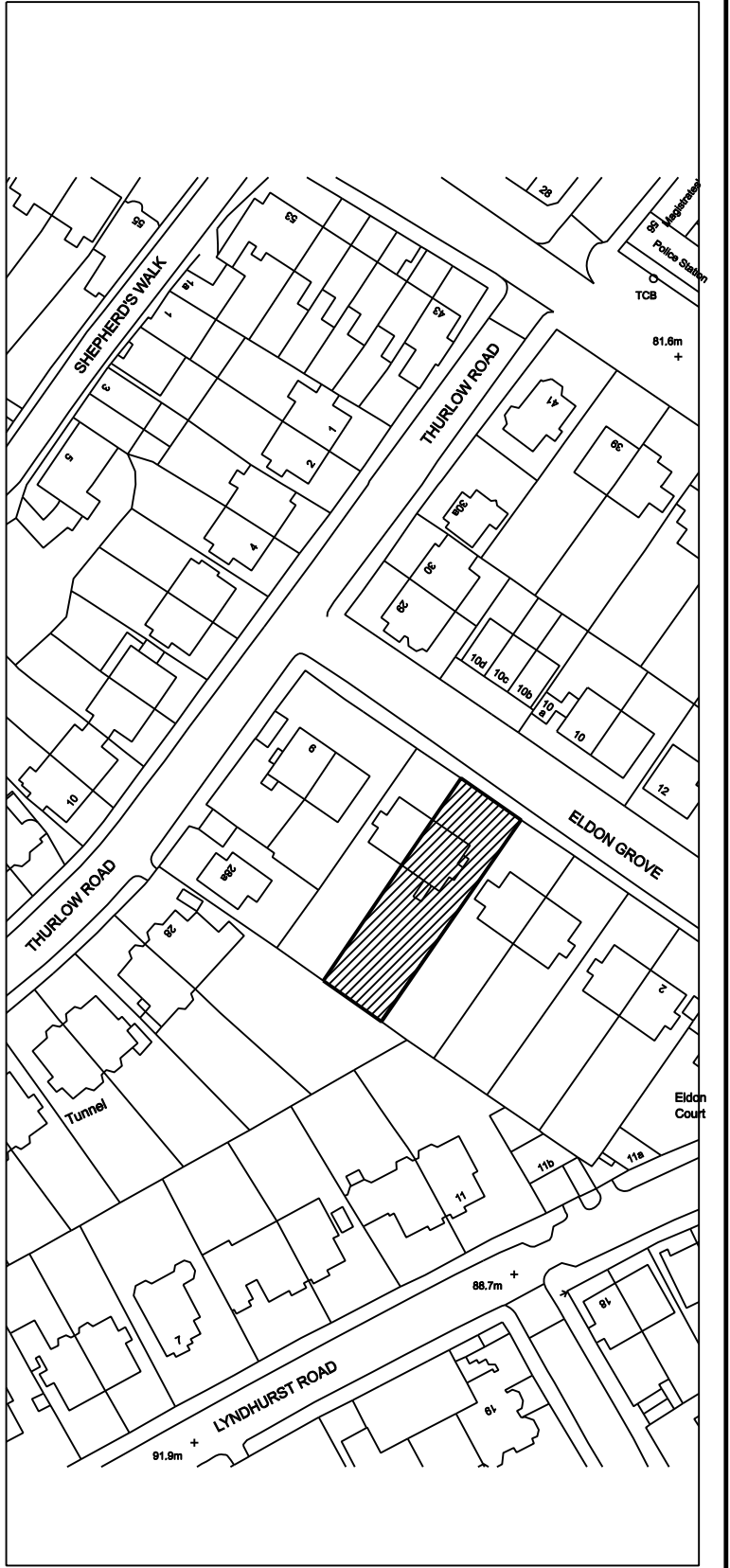
Roof

Written dimensions to be taken in preferences to scaled dimensions. The Contractor is responsible for checking all dimensions before work starts.

All work is to be carried out to the requirements, and to the satisfaction of the Local Authority. These drawings are for planning purposes only

Any discrepancies to be brought to the attention of 4D Planning Consultants immediately.

Location Plan



Rev	Date	Description	by	chk

**Osborne
Planning™**
Architecture | Town Planning

In association with *4D Planning*
www.GetMePlanning.com

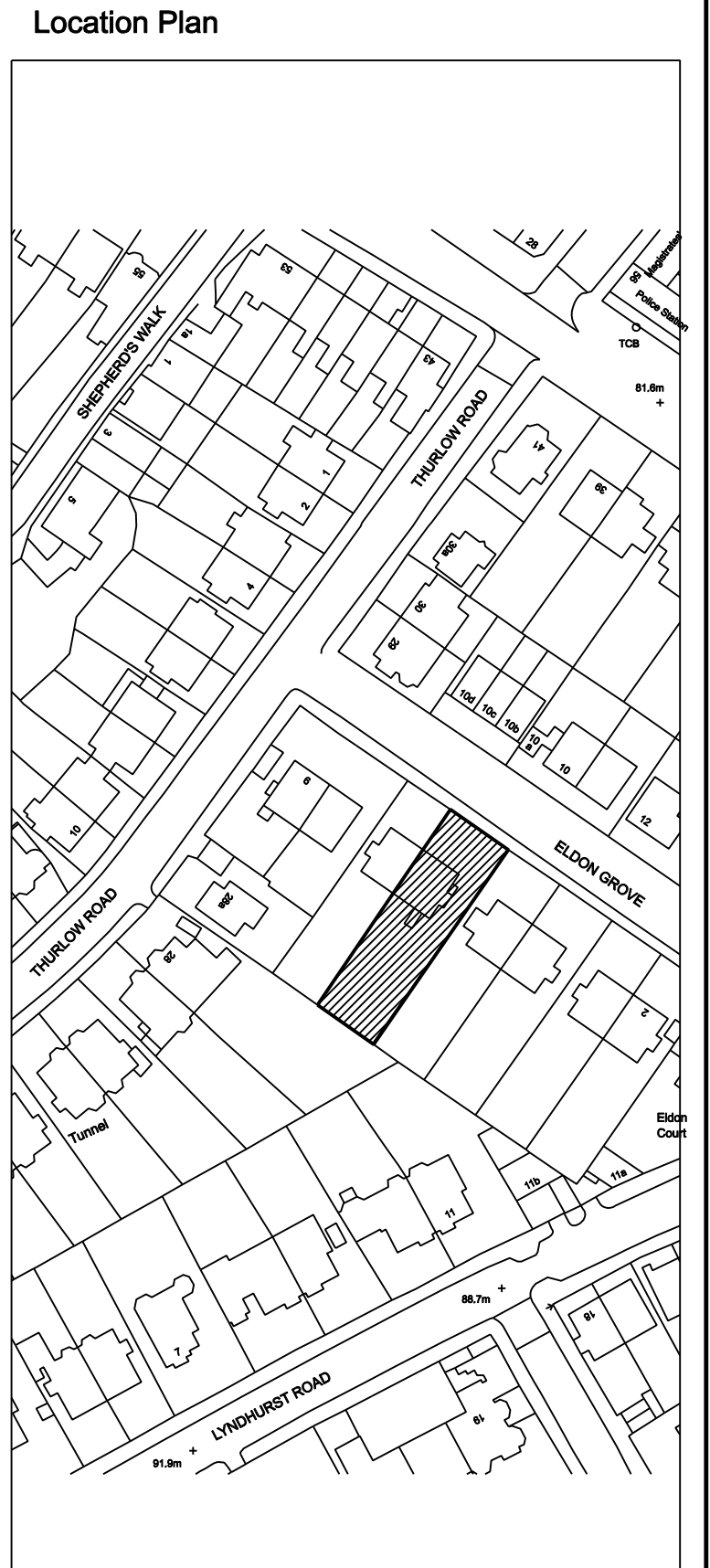
Client	Maria Banks		
Project	6 Eldon Grove, NW3 5PS		
Title	Proposed Floor Plans		
Date: February 2015	Rev:		A
Scale: 1:50 @ A1, 1:100 @ A3			
Drawing No. EG01			



Written dimensions to be taken in preferences to scaled dimensions. The Contractor is responsible for checking all dimensions before work starts.

All work is to be carried out to the requirements, and to the satisfaction of the Local Authority. These drawings are for planning purposes only

Any discrepancies to be brought to the attention of 4D Planning Consultants immediately.



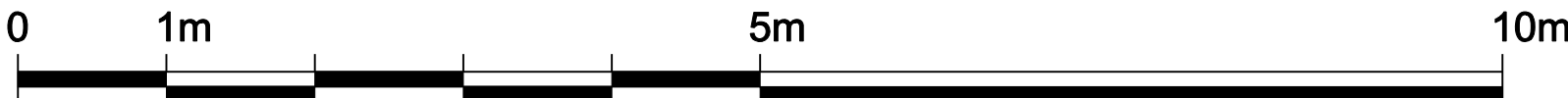
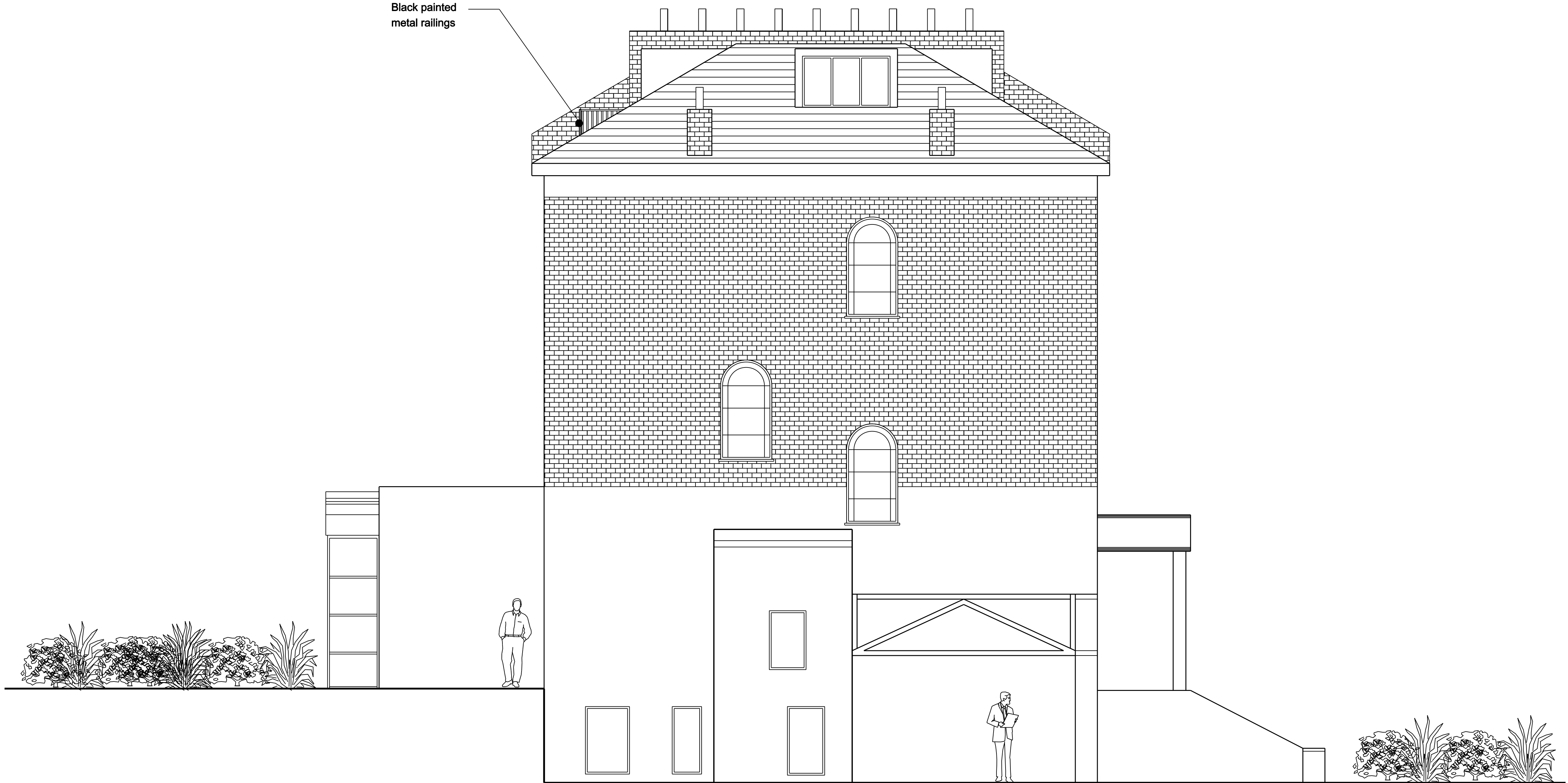
Rev	Date	Description	by	chk

**Osborne
Planning™**
Architecture | Town Planning

In association with *4D Planning*
www.GetMePlanning.com

Client	Maria Banks		
Project	6 Eldon Grove, NW3 5PS		
Title	Proposed Rear Elevation		
Date: February 2015	Rev:		A
Scale: 1:50 @ A1, 1:100 @ A3			
Drawing No. EG02			

Black painted
metal railings

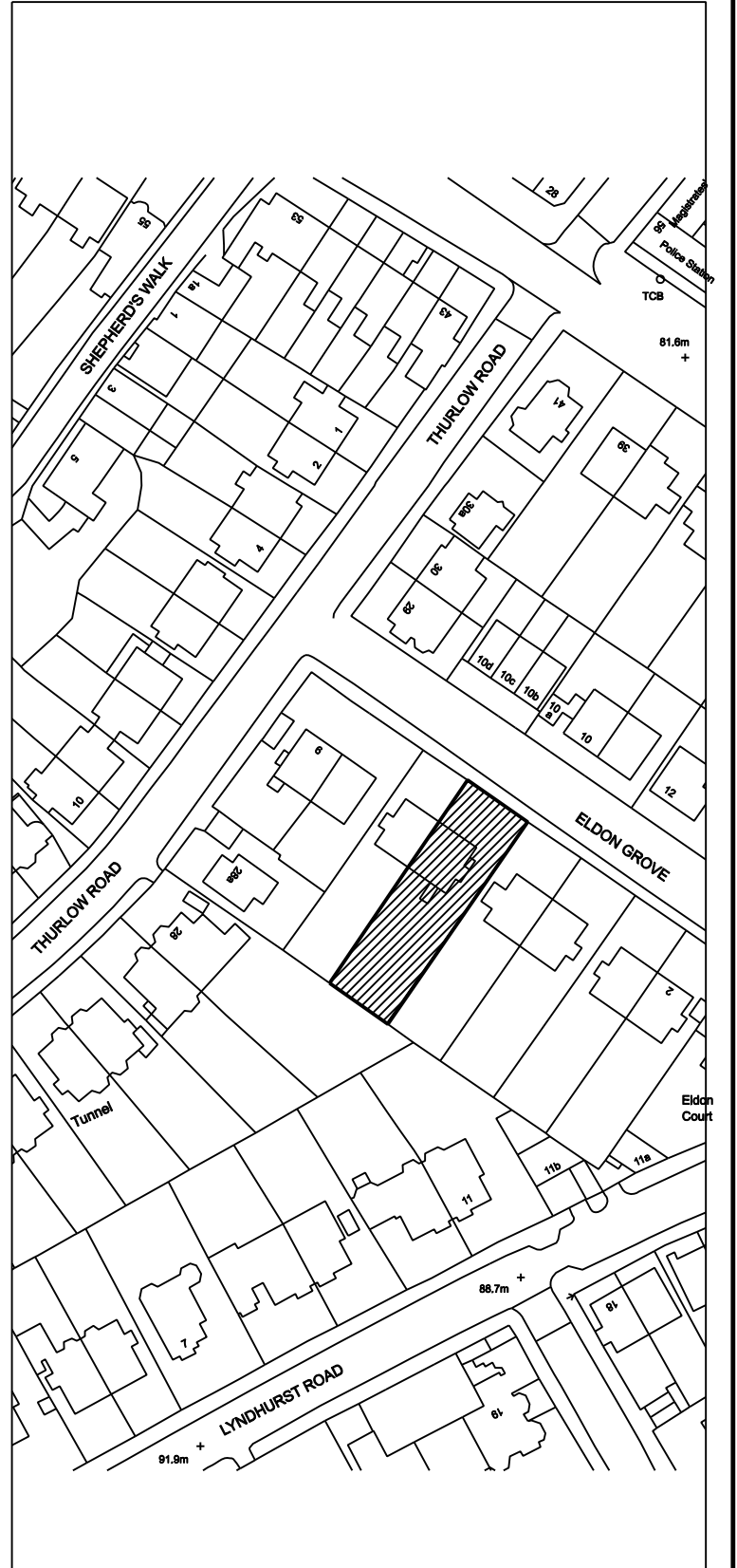


Written dimensions to be taken in preferences to scaled dimensions. The Contractor is responsible for checking all dimensions before work starts.

All work is to be carried out to the requirements, and to the satisfaction of the Local Authority. These drawings are for planning purposes only

Any discrepancies to be brought to the attention of 4D Planning Consultants immediately.

Location Plan



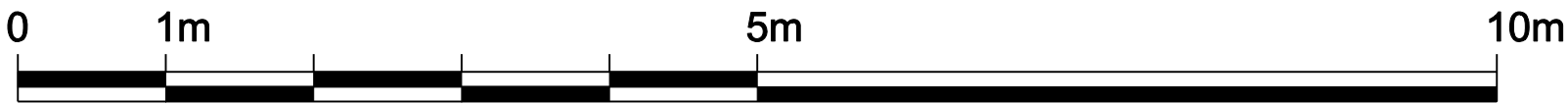
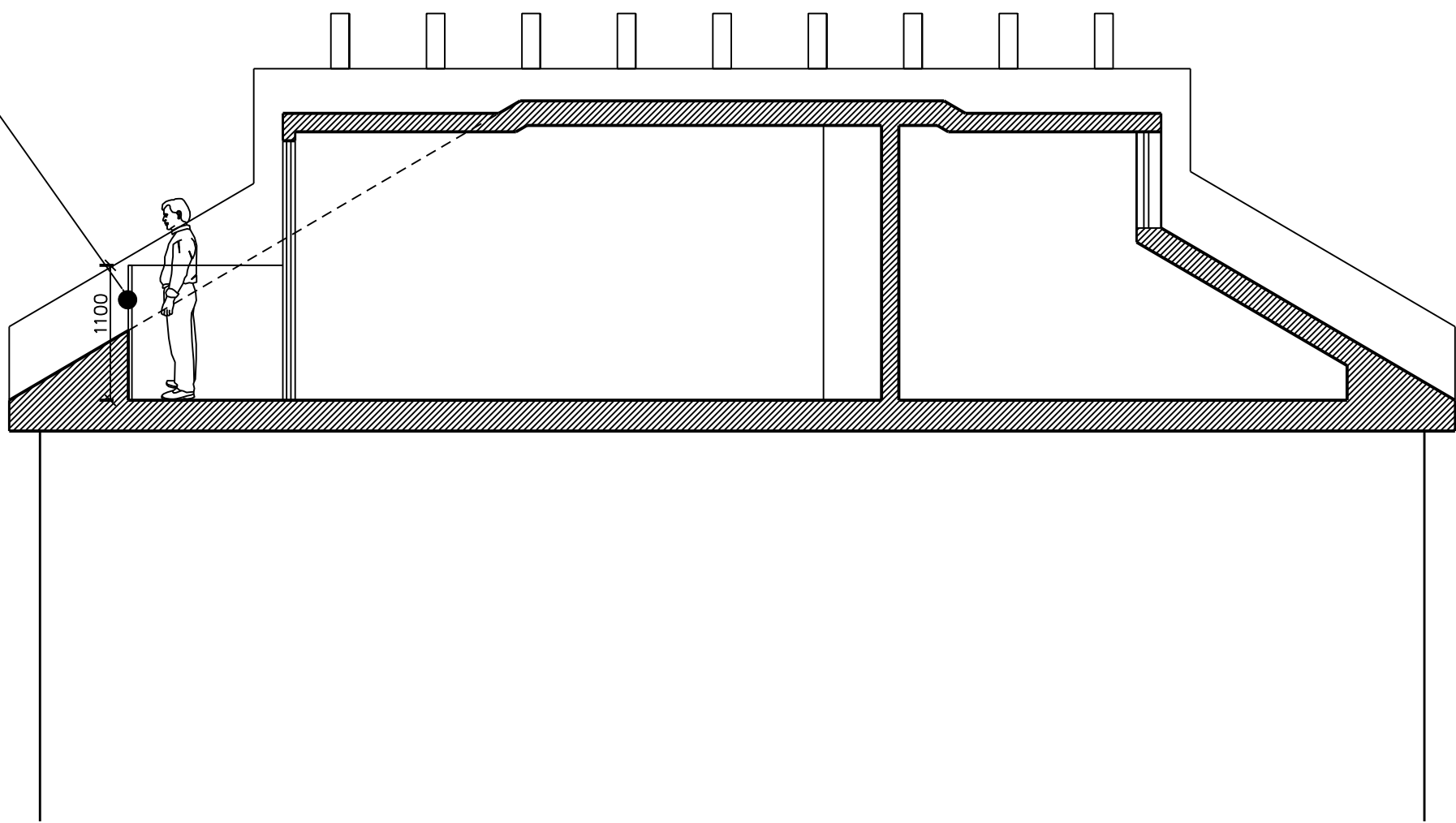
Rev	Date	Description	by	chk

**Osborne
Planning™**
Architecture | Town Planning

In association with *4D Planning*
www.GetMePlanning.com

Client	Maria Banks		
Project	6 Eldon Grove, NW3 5PS		
Title	Proposed Side Elevation		
Date: February 2015	Rev:		A
Scale: 1:50 @ A1, 1:100 @ A3			
Drawing No. EG03			

Black painted
metal railings

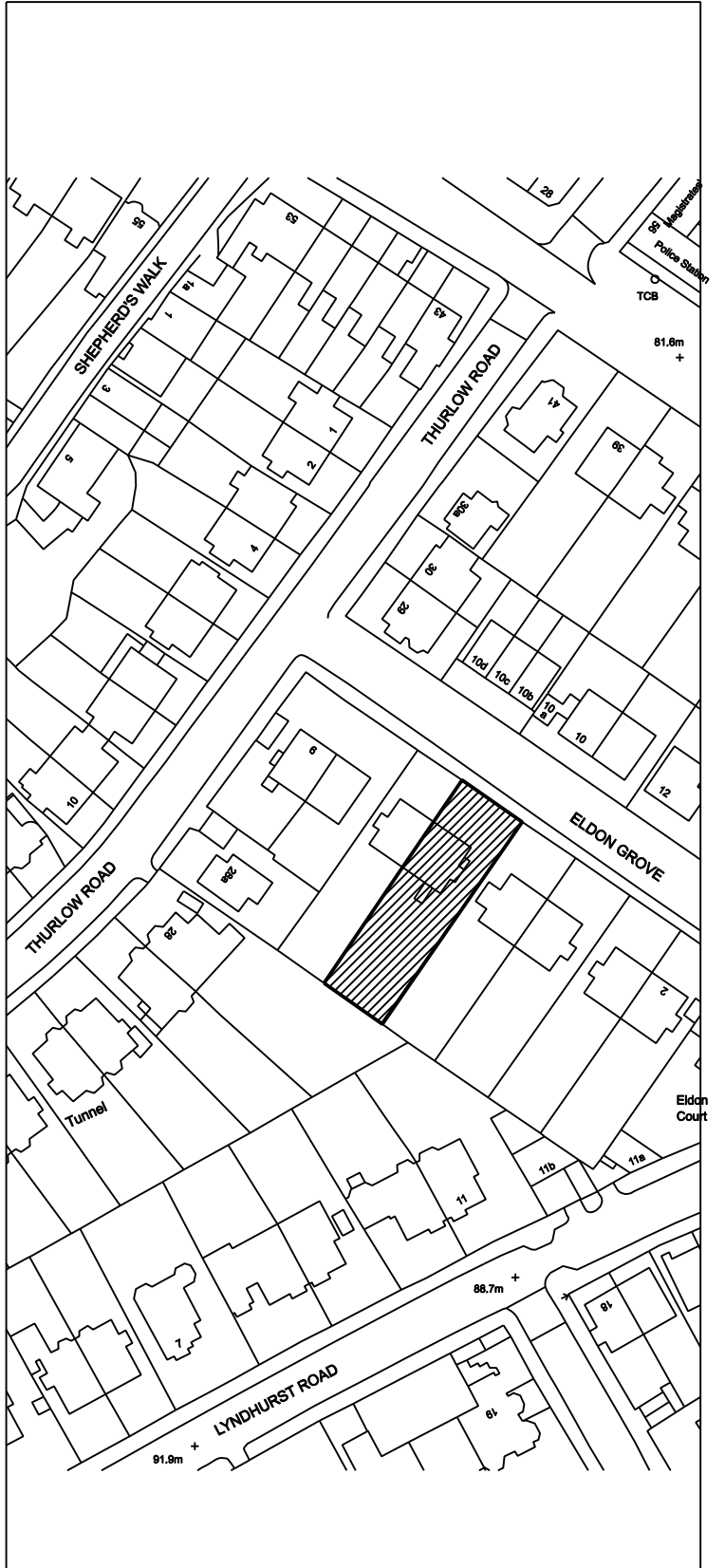


Written dimensions to be taken in preferences to scaled dimensions. The Contractor is responsible for checking all dimensions before work starts.

All work is to be carried out to the requirements, and to the satisfaction of the Local Authority. These drawings are for planning purposes only

Any discrepancies to be brought to the attention of 4D Planning Consultants immediately.

Location Plan



Rev	Date	Description	by	chk

**Osborne
Planning**TM
Architecture | Town Planning

In association with *4D Planning*
www.GetMePlanning.com

Client	Maria Banks		
Project	6 Eldon Grove, NW3 5PS		
Title	Proposed Section AA		
Date: February 2015	Rev:		A
Scale: 1:50 @ A1, 1:100 @ A3			
Drawing No. EG04			

Appendix 2

Appeal Decision

Site visit made on 23 April 2014

by Mr C J Tivey BSc (Hons) BPI MRTPI

an Inspector appointed by the Secretary of State for Communities and Local Government

Decision date: 13 May 2014

Appeal Ref: APP/X5210/A/14/2213604

Second Floor Flat, 6 Eldon Grove, London NW3 5PS

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a refusal to grant planning permission.
 - The appeal is made by Mrs Maria Banks against the decision of the London Borough of Camden Council.
 - The application Ref 2013/7393/P, dated 26 November 2013, was refused by notice dated 24 January 2014.
 - The development proposed is for the erection of a side dormer.
-

Decision

1. I allow the appeal and planning permission is granted for the erection of a side dormer at Second Floor Flat, 6 Eldon Grove, London NW3 5PS in accordance with the terms of the application 2013/7393/P, dated 26 November 2013, subject to the following conditions:
 1. The development hereby permitted shall begin not later than three years from the date of this decision.
 2. The development hereby permitted shall be carried out in accordance with the following approved plans: EG01OS, EG01P, EG02P, EG03P, EG01S, EG02S, EG01E, EG02E, EG03E, EG04E, EG05E and EG06E.
 3. The proposed dormer window shall be in painted timber and all other facing and roofing works shall be carried out in materials that resemble, as closely as possible, in colour and texture, those of the existing building.

Main Issues

2. The main issue is the effect of the proposal on the character and appearance of the host property, the semi-detached pair of which it forms part, and the Fitzjohns/Netherhall Conservation Area.

Reasons

3. The appeal property is situated within the Fitzjohns/Netherhall Conservation Area and comprises the second floor of one half of a pair of semi-detached villas built in the early 1860s. It has a dormer window to its front and rear roof slopes, as does no. 7 adjoining; the front dormer on this neighbouring property
-

is smaller than that on the appeal property, which creates a minor visual imbalance between the two.

4. It is proposed to construct a dormer on the side roof slope (hip), similar in scale and design to those that exist on the appeal property. Whilst the proposed dormer would be visible from the street, by virtue of the height of the subject building and its elevated position, such views would be limited to those from the south east; and combined with the front hip ridgeline it would largely be concealed when viewing the appeal property head-on. Therefore, whilst there is not currently a dormer to the side roof slope of no. 7, I consider that the proposal would not unbalance or disrupt the harmony of the semi-detached pair to a material degree. Taking into account the fact that the dormer proposed is of a similar design to those that currently exist on the appeal property, I find that by virtue of its scale, proportions and siting, that it would not appear as an incongruous or unsympathetic addition to the roof.
5. The proposals are in compliance with paragraph 5.11 of Camden Planning Guidance: Design (CPG1 2013), which amongst other things, requires the addition of a dormer to be a sensitive change that maintains the overall structure of the existing roof form. With regard to the criteria set out within paragraph 5.11, the pitch of the existing roof is sufficient to allow adequate habitable space without the creation of a disproportionately large dormer (criterion a). The dormer would not cut through the ridge of the main roof, and whilst it is acknowledged that there would not be a 500mm gap between the dormer and the ridge, it would be set at a similar level to the existing dormers on the building; and to set it further down than the front and rear dormers would likely appear incongruous (criterion b). It is acknowledged that the last criterion of paragraph 5.11 requires materials to complement the main building and that the use of traditional materials is preferred. Taking into account the comments of the appellant in their grounds of appeal, I consider that it would be appropriate to require the proposed window frame to be constructed in painted timber, notwithstanding the use of uPVC to the other dormers, as it is a traditional and natural material.
6. I acknowledge that paragraph 24.13 of the Camden Development Policies (2010 – 2025) (CDP) states that development should not undermine any existing uniformity of a street or ignore patterns of groupings of buildings; and that past alterations or extensions to surrounding properties should not necessarily be regarded as a precedent for subsequent proposals for alterations and extensions. Whilst I wholly agree with this sentiment, in this particular case, taking into account the presence of the relatively modest dormers that have already been constructed on the appeal property and its neighbour, I find the proposals generally in accordance with the spirit of the CDP. In particular the proposals accord with CDP Policy DP24 which requires all developments to, amongst other things, consider the character and proportions of the existing building, where alterations and extensions are proposed; and the quality of materials to be used.
7. I note that the Conservation Area Statement (2001) cites the appeal property as a building that makes a positive contribution to the character and appearance of the Conservation Area. Furthermore, the Council highlight that it states that insensitive alterations can harm the character of the roofscape with poor materials, intrusive dormers, inappropriate windows and that in many

instances there is no further possibility of alterations. However, I have found the proposed dormer would be modest in its scale and would not look out of proportion with those that exist on the appeal property or its adjoining neighbour. The proposal complies with CDP Policy DP25 in that the proposals take account of the statutory requirement to preserve or enhance the character and appearance of the Conservation Area (sic). The proposal also complies with Policy CS14 of the Camden Core Strategy (2010 – 2025) that, amongst other things, requires development to be of the highest standard of design that respects local context and character.

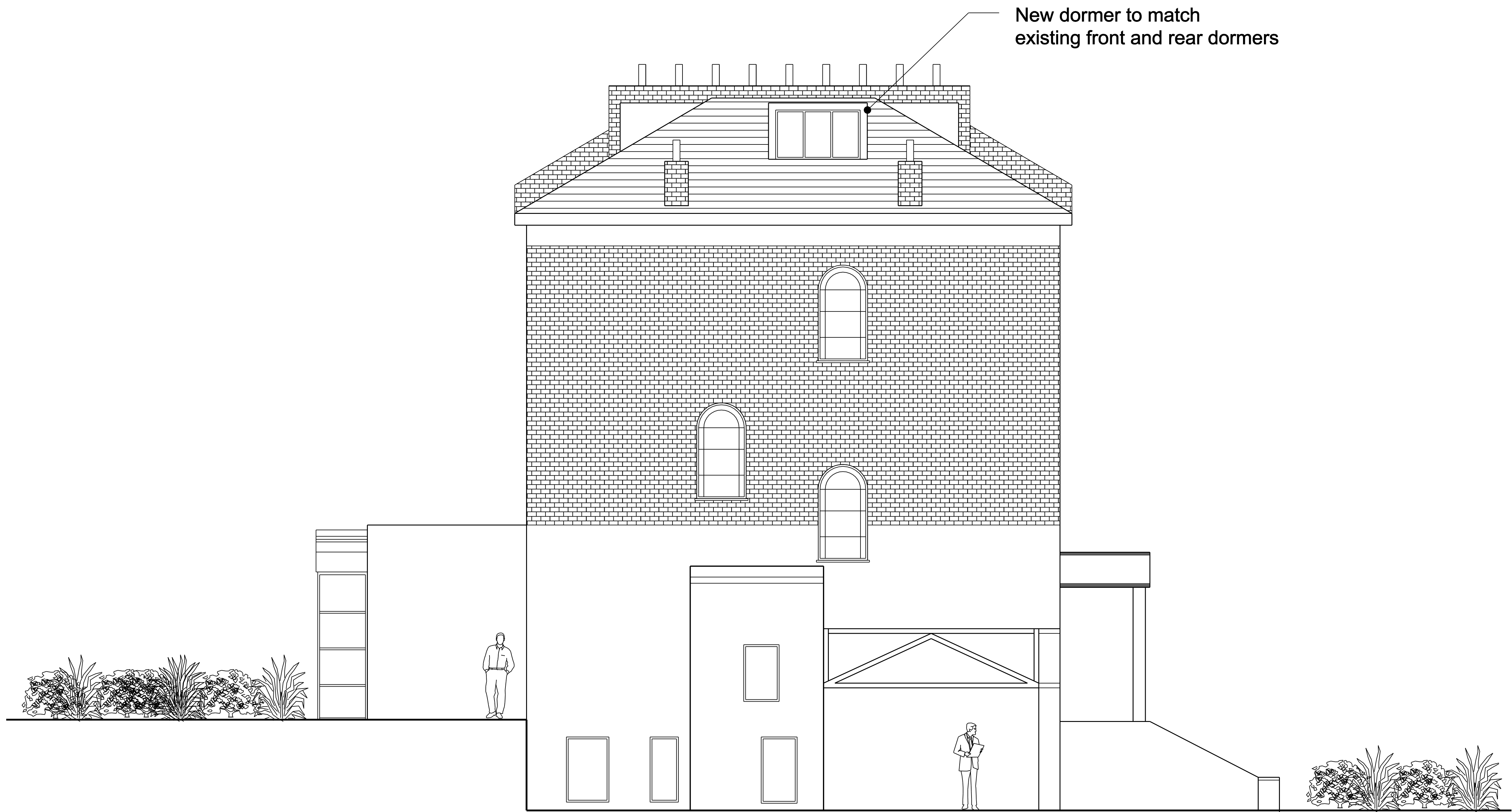
8. Therefore, I consider that the proposed dormer would not result in an overly excessive or bulky roof extension, it would appear generally subordinate to the host dwelling and would maintain the balance and coherence of the semi-detached pair of which it forms part, and the surrounding roofscape. The character and appearance of the Conservation Area would be preserved.

Conclusion and Conditions

9. For the reasons set out above, and having regard to all other matters raised, I conclude that the appeal should succeed.
10. Other than the standard time limit condition, the Council has suggested a condition requiring that the development is carried out in accordance with the approved plans for the avoidance of doubt and in the interests of proper planning, I consider this to be necessary. The Council's other suggested condition (no. 2 as set out within Annex A to its Statement) requires all new external works to be carried out in materials that resemble, as closely as possible, those of the existing building. Taking into account the advice of the Conservation Area Statement, in addition to that as set out within CPG1, I consider that it would be appropriate to require the new window, as per the appellant's suggestion that the construction material be timber and I have conditioned this accordingly.

C J Tivey

INSPECTOR

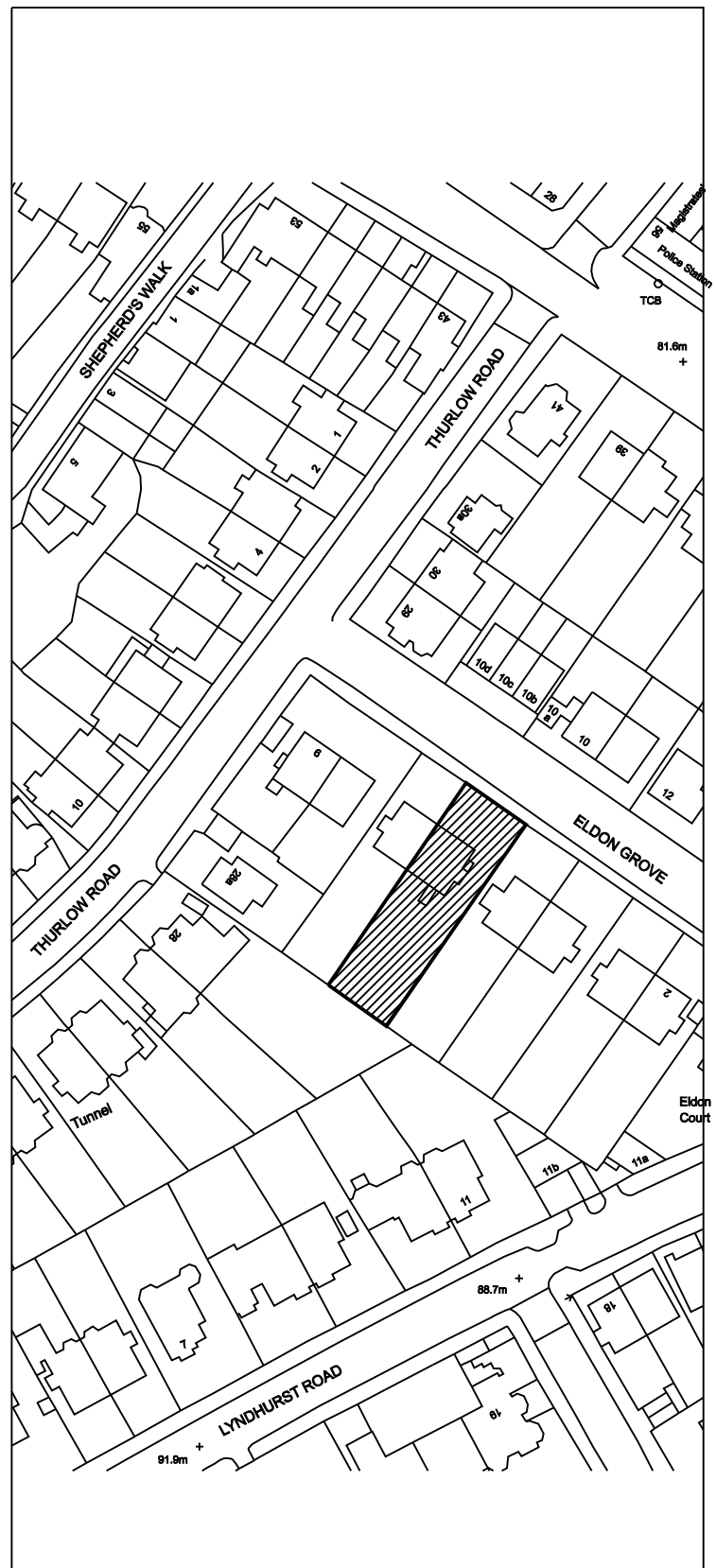


Written dimensions to be taken in preferences to scaled dimensions. The Contractor is responsible for checking all dimensions before work starts.

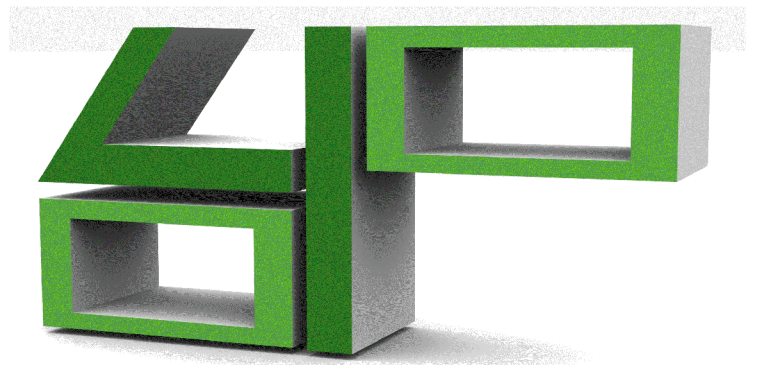
All work is to be carried out to the requirements, and to the satisfaction of the Local Authority. These drawings are for planning purposes only

Any discrepancies to be brought to the attention of 4D Planning Consultants immediately.

Location Plan



Rev	Date	Description	by	chk



www.GetMePlanning.com

Client
Maria Banks

Project
**6 Eldon Grove,
London NW3 5PS**

Title
**Proposed Side
Elevation**

Date	November 2013	/
Scale:	1:50 @ A1	
Drawing No.	EG06E	Rev