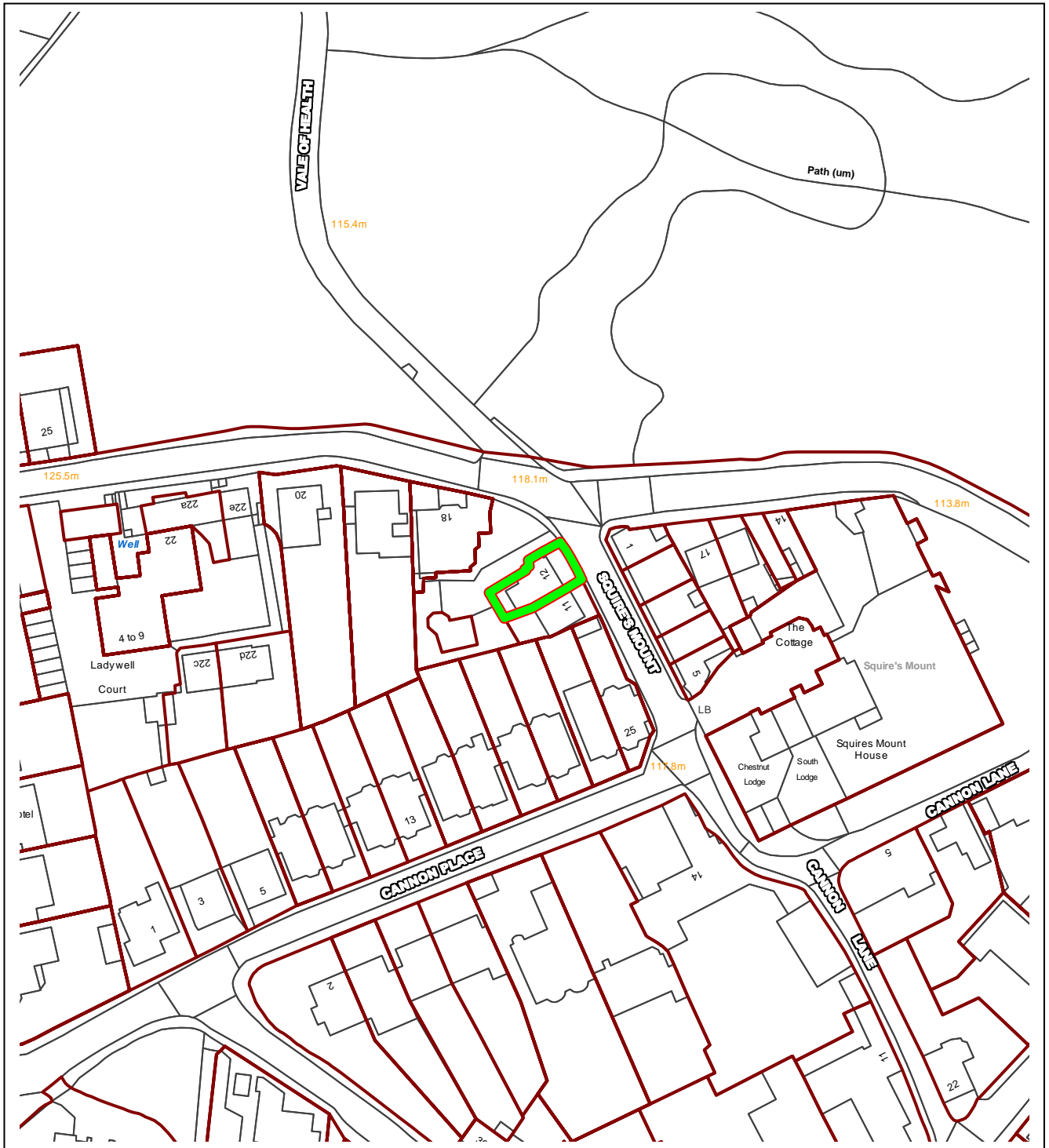


12 Squire's Mount, Hampstead



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12 Squire's Mount – Site Visit



Front elevation showing existing roof terrace across entire building (top) and adjoining neighbour (no. 11)



Flat roofed area – site of proposed roof terrace. Neighbouring first floor level roof terrace visible opposite to the right



Wider context showing general character, including a roof terrace opposite at raised ground level



Rear elevation showing site of proposed roof terrace on flat roof (left) and adjoining neighbour (no. 11, right)



Adjacent roof terraces at 18 East Heath road

Delegated Report		Analysis sheet		Expiry Date:		03/01/2018	
(Members Briefing)		N/A / attached		Consultation Expiry Date:		14/12/2017	
Officer				Application Number(s)			
Thomas Sild				2017/6273/P			
Application Address				Drawing Numbers			
12 Squire's Mount London NW3 1ED				See decision notice			
PO 3/4		Area Team Signature		C&UD		Authorised Officer Signature	
Proposal(s)							
Alteration of existing first floor rear window to create a door and use of the rear first floor flat roof area as a roof terrace to single dwelling (Class C3).							
Recommendation(s):		Grant conditional planning permission					
Application Type:		Householder Planning Permission					

Conditions or Reasons for Refusal:	Refer to Draft Decision Notices					
Informatives:						
Consultations						
Adjoining Occupiers:	No. notified	00	No. of responses	02	No. of objections	02
			No. Electronic	02		
Summary of consultation responses:	No responses received from neighbouring occupants					
CAAC/Local groups* comments: HCAAC	<p><u>Hampstead CAAC</u></p> <ul style="list-style-type: none"> Proposed enlarged window contravenes Local Plan policy in respect to heritage detailing Do not like to agree a proposal which threatens direct overlooking of neighbours' gardens Neighbouring properties The proposed balustrade hints at glass which would be inappropriate and contrary to policy. <p>Officer response:</p> <ul style="list-style-type: none"> <i>The proposal to lower the window sill of a rear facing window and replace with a door with matching fenestration is not considered to be harmful to the building's character nor that of the surrounding conservation area. Further details of the proposed door, including sections and materials will however be required by condition to ensure it meets expectations on appearance appropriate to its context</i> <i>A full footprint roof terrace is in existence across the building and its adjoining neighbour no. 11, and this proposal is not considered to result in a significant difference compares to existing. Further assessment of this is made under Amenity section paragraph 3.</i> <i>The proposed balustrade has been revised from glass to traditional painted metal and is now considered to preserve the existing character of the area</i> <p><u>Hampstead and Heath Society</u></p> <ul style="list-style-type: none"> The application site has a very large unsightly roof terrace which should be enough external space for this dwelling <p>Officer response</p> <ul style="list-style-type: none"> <i>Both no. 12 and no. 11 are noted to enjoy a large scale roof terrace across their entire top level. It is considered that this proposal does not impact the character of the area further or result in significant amenity impacts</i> 					

Site Description

No. 12 Squire's Mount is a two-storey, flat roofed, semi-detached dwellinghouse situated at the end of Squire's Mount, Hampstead, close to the corner with East Heath Road and in close proximity to Hampstead Heath itself.

The property is faced in painted render with multiple small pane sash windows and contains an expansive roof terrace across the entire top with metal balustrades around.

Relevant History

None relevant

Relevant policies

National and Regional Policy

The Planning (listed building and conservation area) Act 1990

Statutory provision under section 72 of the Planning Act requires special attention to be paid to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

In line with the above statutory duties and recent case law, considerable importance and weight has to be attached to the impact of the heritage assets and their setting.

National Planning Policy Framework 2012

London Plan 2016

Camden Plan 2017

A1 Managing the impact of development

D1 Design

D2 Heritage

Other Planning Policies / Guidance

Camden Planning Guidance (CPG) 2015 – CPG 1 (Design)

Camden Planning Guidance (CPG) 2011 – CPG 6 (Amenity)

Assessment

1 Proposal

1.1 The proposal relates to the creation of a rear facing roof terrace area across an existing area of flat roof at first floor level. It is also proposed to alter one of the rear facing windows to a door to provide access to the roof terrace.

2 Design

2.1 The proposed roof terrace will sit on an area which currently contains multiple windows with similar outlook at first floor level and as such will not introduce No. 12 and the adjoining neighbour no. 11 have an existing roof terrace which has been established for a number of years across their entire main (top) roof level.

2.2 Following initial conservation based design concerns it was agreed by the applicant to amend the proposed balustrades from glazed to painted metal. Painted metal balustrades are in existence across the top of the building and its adjoining neighbour no. 11. Painted metal are also visible on roof terraces on the adjacent no. 18 East Heath Road. As such the proposed painted metal balustrades are considered acceptable in this context and preserve the character of the surrounding conservation area.

2.3 The proposed alteration of a rear window to form a door with matching fenestration is not considered to significantly impact the character of the host building or be detrimental to the surrounding conservation area. Further details will be required by condition to ensure the material, glazing and structure of the door is appropriate and reflects the heritage presentation of the remaining windows that surround it.

3 Amenity

3.1 A number of surrounding properties display established roof terrace areas. No. 13, immediately to the rear, enjoys an existing first floor roof terrace facing back towards. 11 and 12. Additionally no. 18 East Heath Road displays roof terrace areas to the rear at raised ground floor and second floor levels. As such roof terraces of varying heights and positions are highly characteristic of the area.

3.2 The proposal to create this additional roof terrace area would result in an amount of additional overlooking, but given the existing situation is not considered to be materially detrimental to surrounding amenity. The primary concern of close range overlooking into a first floor window of no. 11 has been addressed by reducing the depth of the terrace to no greater than 45 degrees from the outside edge of the window. As such a privacy screen is not considered necessary for this development.

4 Recommendation

4.1 Grant Conditional Planning Permission

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 15^h January 2018, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Mr Peter Swain
Proun Architects
90 Borough High Street
London
SE1 1LL

Application Ref: **2017/6273/P**
Please ask for: **Thomas Sild**
Telephone: 020 7974 **3686**

11 January 2018

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Householder Application Granted

Address:
12 Squire's Mount
LONDON
NW3 1ED

DECISION

Proposal:

Alteration of existing first floor rear window to create a door and use of the rear first floor flat roof area as a roof terrace to single dwelling (Class C3).

Drawing Nos: 3192-P-01, 3192-P-02, 3192-P-03, 3192-P-04 Rev A, 3192-P-05 Rev A, 3192-P-11, 3192-P-12 Rev C, 3192-P-13 Rev B, 3192-P-14 Rev D, 3192-P-15 Rev D

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

Executive Director Supporting Communities



- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans 192-P-01, 3192-P-02, 3192-P-03, 3192-P-04 Rev A, 3192-P-05 Rev A, 3192-P-11, 3192-P-12 Rev C, 3192-P-13 Rev B, 3192-P-14 Rev D, 3192-P-15 Rev D

Reason: For the avoidance of doubt and in the interest of proper planning.

- 4 Before the relevant part of the work is begun, detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority:

a) Details including sections at 1:10 of the proposed door including jambs, head and cill

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 5 The remaining flat roofed area beyond the approved section shall not be used as a roof terrace, and any access out onto this area shall be for maintenance purposes only.

Reason: In order to prevent additional overlooking into the adjoining property in accordance with policy A1 of the Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Noise and Licensing Enforcement Team, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (Tel. No. 020 7974 4444 or search for 'environmental health' on the Camden website or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Director of Regeneration and Planning

DRAFT

DECISION