

Aerial: Lindfield Gardens looking north-west. No. 4 and 4a highlighted in red.



**4 & 4a Lindfield Gardens London NW3 6PU**

Evidence to Verify Application  
for a Lawful Development Certificate  
January 2018



**SQUARE FEET ARCHITECTS**

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# Introduction

Square Feet Architects have been appointed by the buildings owners to submit a Lawful Development Certificate Application for:

- creating a new ancillary building on the back of two backlands, designed on the basis of the permitted development guidelines.

## Purpose of the report

The purpose of this report is to detail the extent of the proposal that Lawful Development Certificate application submission is being sought for, and to demonstrate our understanding and fulfilment of the Council's policies and guidelines in relation to this proposal.

## Drawings

All drawings reproduced in this report are Not To Scale. For scaled drawings please see Lawful Development certificate Application set.

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*Aerial Photo. No.4 & 4a highlighted in red. NTS*



*Aerial Photo. Proposed site boundaries highlighted in red. NTS*



# 1.0 Context

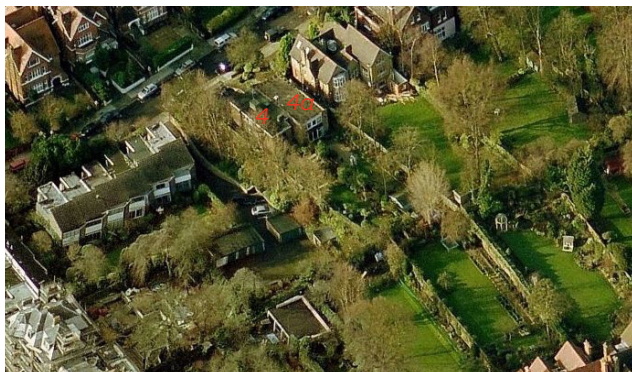
## 1.1 Existing Sites

The application sites are located on the North East side of the Southern end of Lindfield Gardens close to the junction with Arkwright Road.

The two plots are long and narrow, have a driveway in front of two garages at a lower level at the front, on the sides of which two stairs bring to the entrance level of two houses. N.4a is a three storey house and N.4 is a two storey house. On the rear of the properties there are two long and narrow gardens. N.4 has a side access via a gate adjacent to the house., while N. 4a has no side access and the garden is only accessible through the house.

The sites are within Redington and Frogal Conservation Area but the two houses are not listed and were probably built in 1958.

N. 4a Lindfield Gardens' owner is Ms Lesley Strawbridge, who also owns N. 4 Lindfield Gardens jointly with Mr Dominic Strawbridge. When the latter property was bought by the couple in July 2008, the back part of its garden was then partitioned off, becoming part of N. 4a's garden, from where it has been only accessible since. Since then, the use of the two gardens hasn't changed



*Aerial view of rear of the houses*

## 1.2 Existing Accommodations

The properties are two single family dwellings and their use is not going to be changed.

The domestic scale of the existing buildings is maintained as well as the character and appearance of the houses within the conservation area, despite not belonging to the same period as the surrounding buildings.

The site at N.4 is approx. 555 sqm. The footprint of the existing house is approx. 88 sqm, which leaves a curtilage area of approx. 467 sqm.

The site at N.4a is approx. 599 sqm. The footprint of the existing house is approx. 109 sqm and the curtilage area is approx. 490 sqm.

The total curtilage area for the two sites if considered as a whole property is then approx. 957 sqm.

# 2.0 Policies

## 2.1 Planning policies

Camden's various planning policies wish to promote respect for local character in the design of all buildings and ensure that they are in harmony with their settings - aiming to help improve the local area through good design. These properties have scope to be improved and in turn to enhance the conservation area.

Relevant planning policies:

- Section 211, Town and Country Planning Act 1990. Within a Conservation Area, planning permission is required for works to any tree measuring more than 7.5 cm in diameter measured 1.5 m above the ground.

## 2.2 Relevant planning history

Accordingly, a Planning Application for the removal of a tree from n. 4a's garden was submitted at the end of 2017 and granted by Camden Council.

Case No: 2017/5412/T Registered: 06/10/2017 Status: Approved  
Removal of a tree in the rear garden of n. 4a Lindfield Gardens.

Further, in support to the proposal, a tree constraints plan and an arboricultural report have been produced following a tree survey and attached to this application.

## 2.3 Permitted development regulations

Permitted development provisions and limitations for the erection of an outbuilding on lands surrounding a house are listed in:

- Part E and E1, Town and Country Planning (General Permitted Development) (England) Order 2015 (15 April 2015)

## 3.0 Proposal

### New garden house to the back of the gardens

Taking the existing line of the fence installed in 2008 as western side of the proposed ancillary building and pushing the new boundary 2 meters towards the existing houses, the proposal aims to reconfigure the two gardens of the properties and to create a new enclosed area of approx. 262 sqm to the back of the lands.

The remaining curtilage areas of the existing lands will be approx. 343 sqm for either sites.

A new green wall is proposed to divide the three resulting gardens in a non-invasive way and to conceal the new garden building from the existing houses and those adjacent on Lindfield Gardens and Frognal.

The proposed footprint takes into consideration the two main principles that rule the erection of an outbuilding in the backland of a Conservation Area. As per the previous paragraphs, these are the constraints given by the root protection areas for the surrounding trees (D.3.2) and the minimum distance of 2 meters to be kept from the boundaries in order to build up to an height of 3 meters (D.3.1).

In the aim of occupying the available space in an efficient way, without further extending the new boundaries towards the existing houses, the proposed outline of the building becomes irregular, shaped within the overlay of the two notional developable areas obtained from the site analysis above.

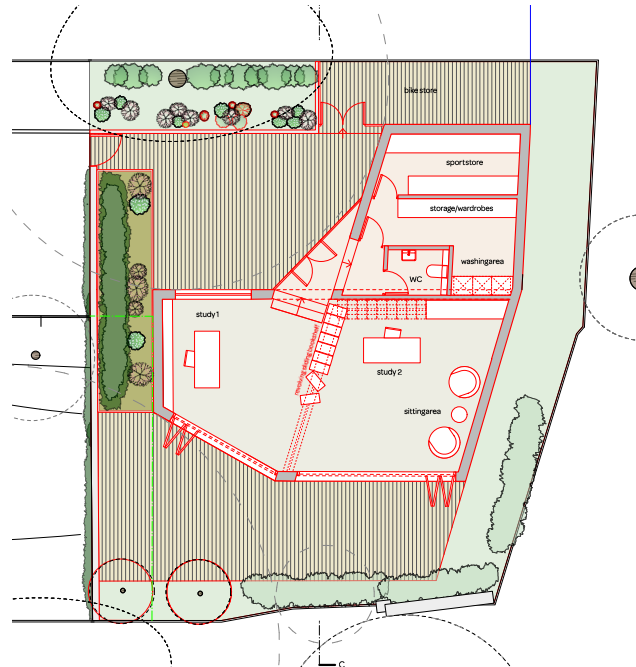
The Southern side direction is intended to take as much advantage as possible from the sun path during the year and the day (D.3.3).

The proposed outbuilding takes the natural slope of the site towards South as a possibility to achieve a higher internal space in the main living area without raising the external roof line. As a result, a difference of level of three steps separate the entrance hall and the utility area from

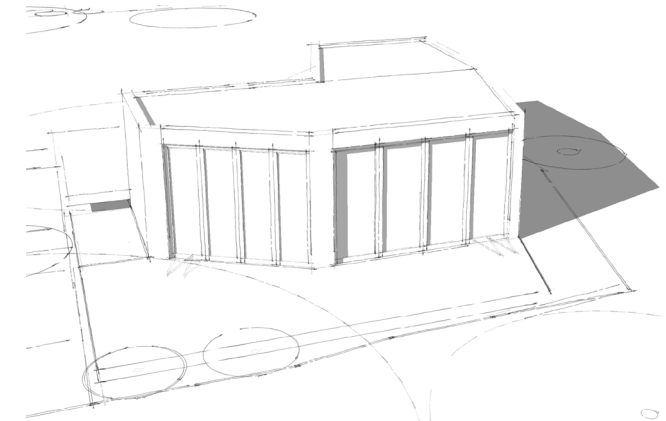
the study rooms.

The southern sides, where the garden slopes down towards a dense vegetation and a series of garages at a lower level, are completely glazed and openable to the new external decking.

To maintain the current level of privacy to both the sides of the fence, the rear elevation, facing the adjoining properties on Frognal, has been designed to have no openings.



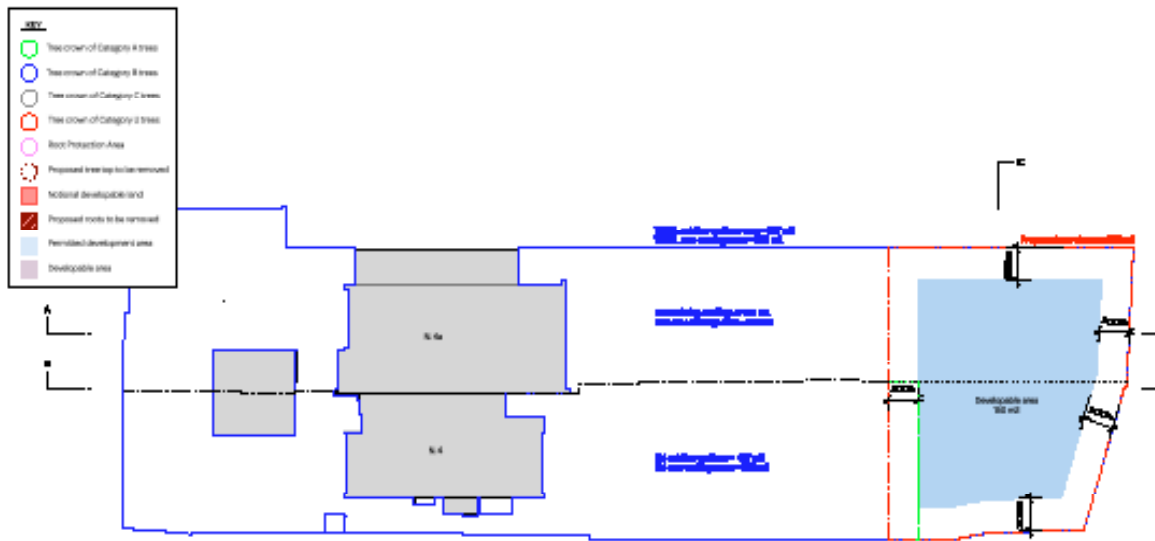
Proposed Ground Floor plan. NTS



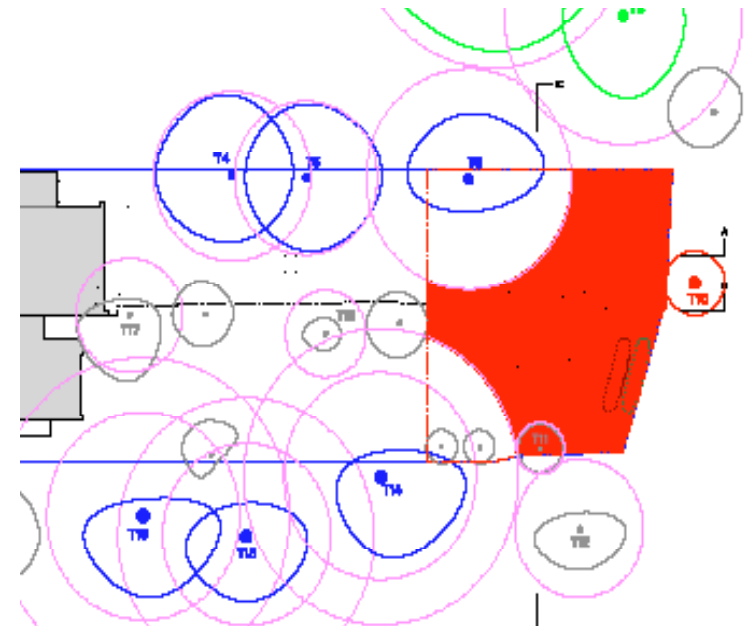
Proposed 3D sketch. NTS



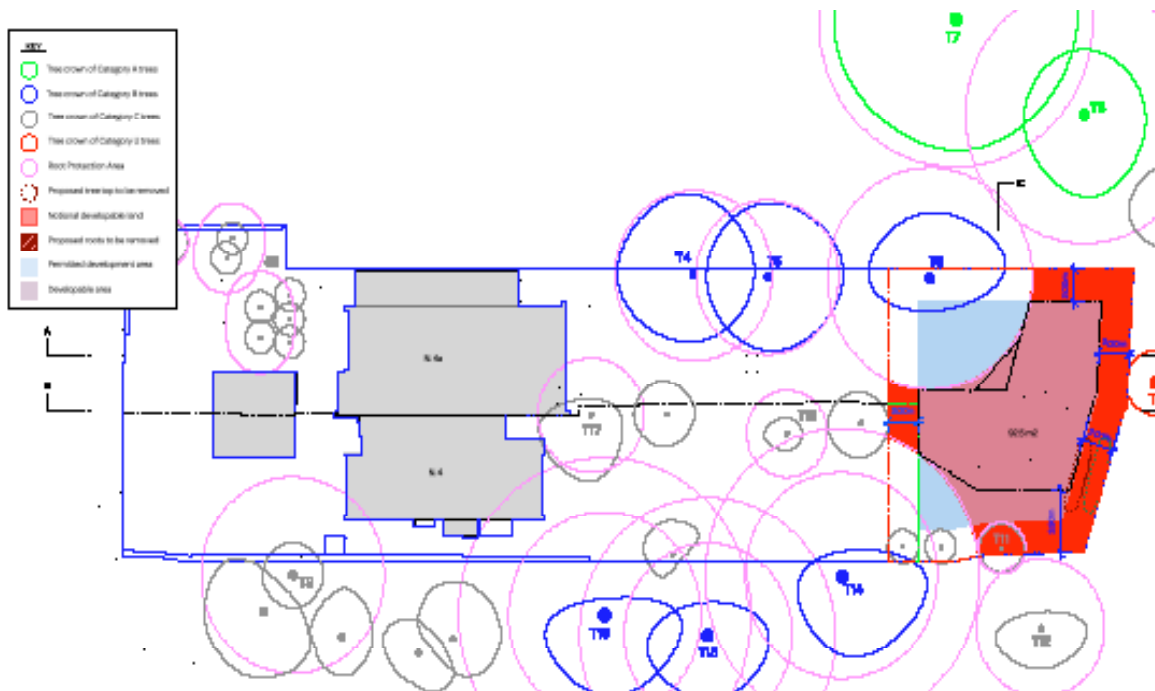
Proposed Rear Elevation. NTS



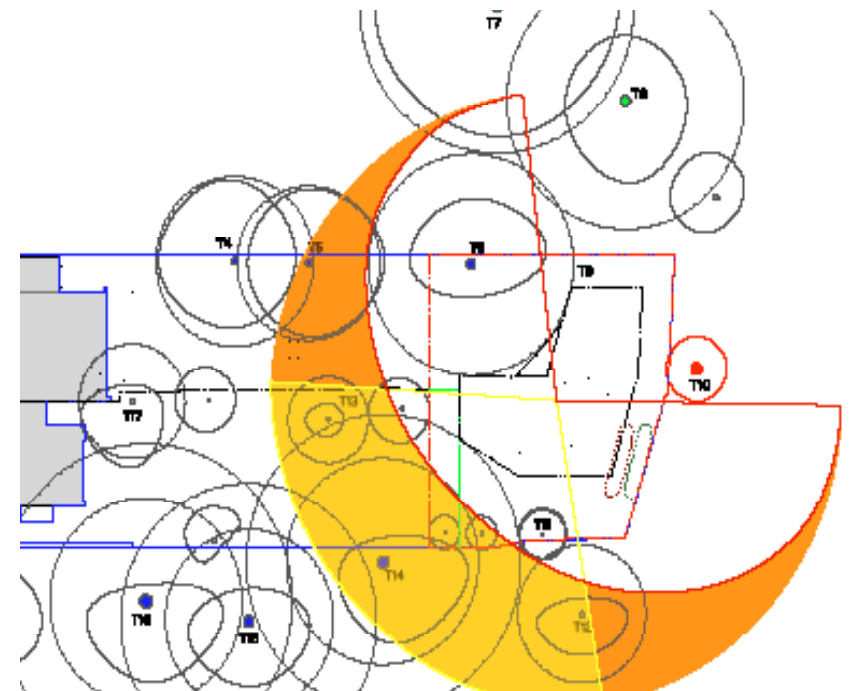
D.3.1 - Proposed developable area according to permitted development regs for a 3 m high outbuilding.



D.3.2 - Tree constraints plan - Notional developable land in red.



D.3.4 - Proposed footprint. NTS



D.3.3 - Sun path study.



## 4.0 Existing Photographs

### Front Elevation



*View of n. 4 and 4a front elevation from Lindfield Gardens.*

### Rear Gardens



*Existing shed to the rear of n.4a's garden.*



*Back part of the gardens looking South, showing the fence erected in 2008 to partition off the two lands.*

## 5.0 Access

The access to the proposed new site will be possible from a new gate the back of n. 4a's garden.

In order to ease the access to the site and to give the garden a tidy appearance, a new terrace is proposed as a hard standing to the front and to the southern area of the proposed building.

## 6.0 Conclusion

This proposal is considered to be in keeping with the scale and proportion of the host buildings and lands and the character of the conservation area and the neighbouring properties.

The erection of a new ancillary building to the rear gardens of the houses will not interfere with the look of the Conservation area, as it will not be visible from the street. At the same time, it will contribute positively to the living quality of the houses.

The design of the building will be mimetic with the rest of the surroundings, being recessed behind the existing fences and the existing/new hedges and therefore further less visible.

The erection of a new green wall as a new boundary will contribute to conceal and "blend" the proposed building within the existing gardens.

We trust therefore the application will be supported with a positive recommendation.

If any further information is required, please contact Anna Saldi at Square Feet Architects.