

## **Design & Access Statement**

**20-22 Bedford Row, London, WC1R 4JS**

### **Introduction**

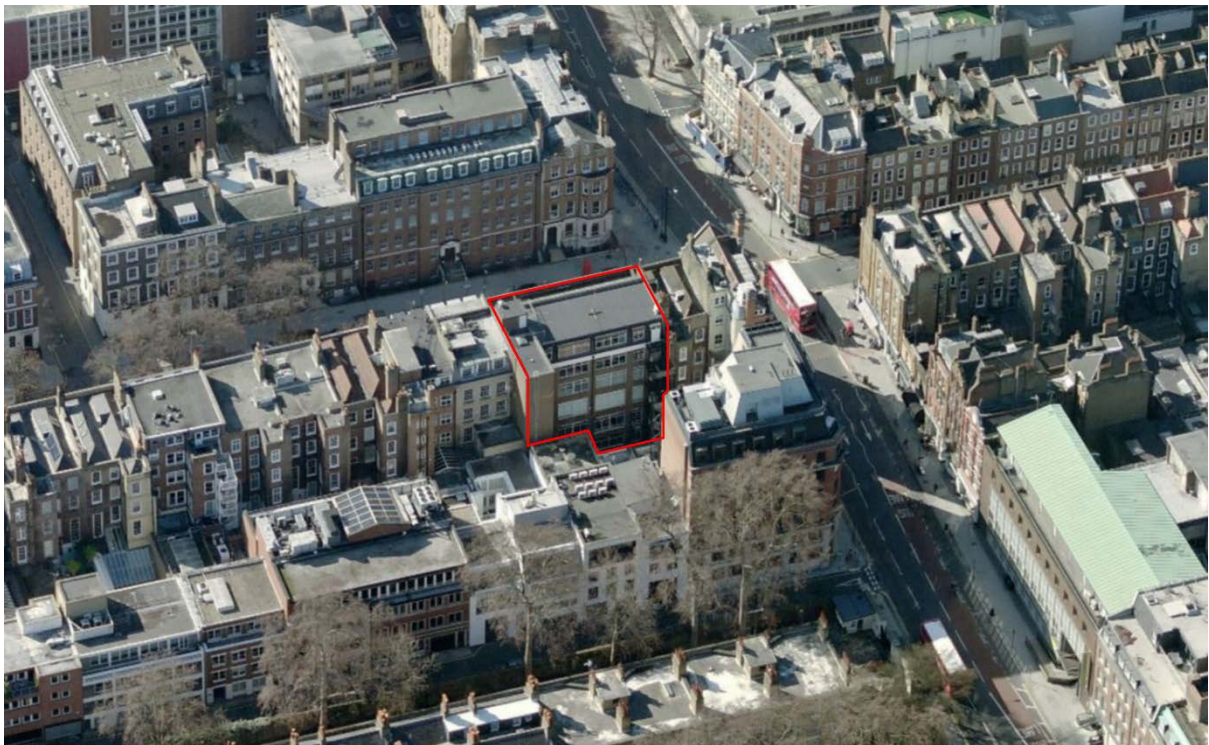
This design and access statement describes the design proposal for replacement windows to the rear elevation and minor alterations to the main building entrance doors.

### **Bedford Row**

The site is situated within the Bloomsbury Conservation area. The street is comprised of Georgian style terraced properties which are predominately used as office premises.

### **Existing Building**

20-22 Bedford Row is a Georgian style building occupying 6no. floors, including ground, lower ground and 4no. upper floors. The concrete framed building was constructed in the 1950's. The brick front elevation, timber sash windows and detailing fit in with the neighbouring Georgian facades. The rear elevation, over-looking the lower ground external courtyard, is distinctly more modern with large, crittal style steel windows.



*Ariel View of 20-22 Bedford Row Rear Elevation*

## Use

There is approximately 1800 square metres (NIA) of office space throughout the building, all of which is to be retained.

## Proposed Design

The proposal seeks to upgrade the existing single glazed steel windows of the principal rear elevation with new double-glazed aluminium framed windows (frame colour white, to match existing).

In conjunction with proposed internal refurbishment of the office floors, new external plant is proposed to be located in the walled courtyard (at lower ground level) to provide enhanced air conditioning to the existing office environments. This new plant is to be positioned adjacent to existing plant to be retained.

In addition to the proposed works to the rear of the building, it is proposed to carry out minor modifications to the office entrance doors from Bedford Row. The design proposals include:

- Alteration of existing fixed side windows to incorporate new post boxes. Post boxes finished in black to match existing door frames
- Existing doors refurbished with new brass/black leather pull handles and kick plates
- General repairs to existing stonework and steps in front of entrance doors

## External Decoration

Existing timber entrance door to be refurbished and re-painted black to match existing finish. New metal post boxes within front entrance doors to be PPC finished in black to match existing frames. New handles and kick-plate to be finished in brass.

On the rear elevation the existing window openings are to be retained and all existing concrete cills to be repaired as required. All new aluminium window frames to be PPC finished in white to match existing.



*Proposed letterboxes to main entrance.*

**External Signage**

None

**External Lighting**

None

**Vehicular Access**

None

**Summary**

This design and access statement should be read in conjunction with the following drawings which form a part of this planning application submission:

283(SP)00 – Site Location

283(EX)01 - Existing Lower Ground Floor Plan

283(EX)02 - Existing Rear Elevation

283(PL)01 – Proposed Lower Ground Floor Plan

283(PL)02 – Proposed Rear Elevation

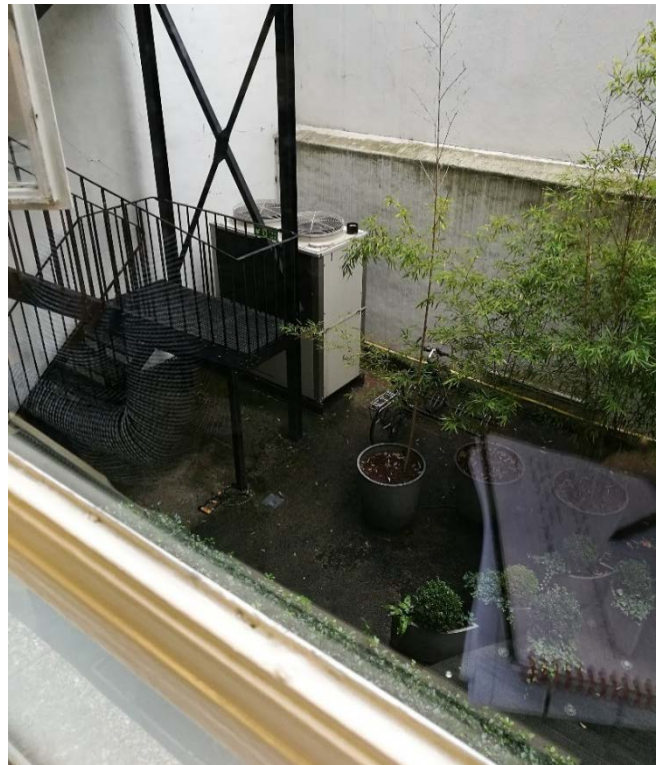
283(PL)03 – Existing and Proposed Front Elevation

283(PL)04 – External Plant Sound Power Data

**Existing Site Photographs**



*View from existing second floor office showing the existing neighbouring plant and surroundings*



*View from existing ground floor escape stair and office showing existing plant and lower ground terrace*

