

Application ref: 2017/6685/P  
Contact: Jaspreet Chana  
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Date: 14 March 2018

**Development Management**  
Regeneration and Planning  
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RPS CgMs  
140 London Wall  
London  
EC2Y 5DN

Dear Sir/Madam

## **DECISION**

Town and Country Planning Act 1990 (as amended)

### **Full Planning Permission Granted**

Address:  
**159-165 Camden High Street**  
**London**  
**NW1 7JY**

Proposal:  
Erection of single storey cold room unit to rear of the site in association with ground floor retail unit (Class A1).

Drawing Nos: 16.042/550 Rev A, Chiller Spec, Chiller Details, Design & Access Statement, Heritage Statement and Noise Impact Assessment dated 15/02/2018.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as

possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans: 16.042/550 Rev A, Chiller Spec, Chiller Details, Design & Access Statement, Heritage Statement and Noise Impact Assessment dated 15/02/2018.

Reason:

For the avoidance of doubt and in the interest of proper planning.

- 4 The cumulative sound level from building services and fixed plant shall be 10dB(A) or more below the lowest background sound level (15dB if tonal components are present) at the nearest residential receptor at any time. The plant and equipment shall be installed and constructed to ensure compliance with the above requirements and KR's Noise Impact Assessment Table 7.5: Assessment of Noise Levels.

Reason: To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of policies G1, CC1, D1, and A1 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Reasons for granting permission:

The proposed works would involve installing a new external cold room unit to the ground floor service area to the rear of the site. The cold room would be accessed from inside the ground floor retail space to store frozen and chilled goods. The unit would be finished in a white corrosion resistant PVC laminate film on galvanised steel substrate to all wall surfaces and the interior of ceiling. The exterior floors and roof would be finished in galvanised steel.

The proposed cold room would have limited visibility from the public realm due to its discrete location, set down within the existing service area. The unit would not appear prominent or on a raised surface and therefore would not obstruct any views of any neighbouring property. Therefore, the proposal would not harm the character and appearance of the host building or the surrounding conservation area.

The application is accompanied by an acoustic noise report which demonstrates that the proposal would comply with Camden's minimum noise standards. The Council's Environmental Health Officer has reviewed the assessment and is satisfied that the proposal would not have any adverse impact on neighbour amenity in relation to noise and vibration.

No objections were received prior to making this decision. The site's planning

history and relevant appeal decisions have been taken into account when coming to this decision.

Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under s.72 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013.

As such, the proposed development is in general accordance with policies A1, A4, D1 and D2 of the Camden Local Plan 2017, as well as the London Plan 2016 and the NPPF 2012.

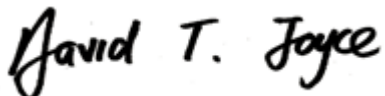
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Noise and Licensing Enforcement Team, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (Tel. No. 020 7974 4444 or search for 'environmental health' on the Camden website or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.
- 3 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully



David Joyce  
Director of Regeneration and Planning