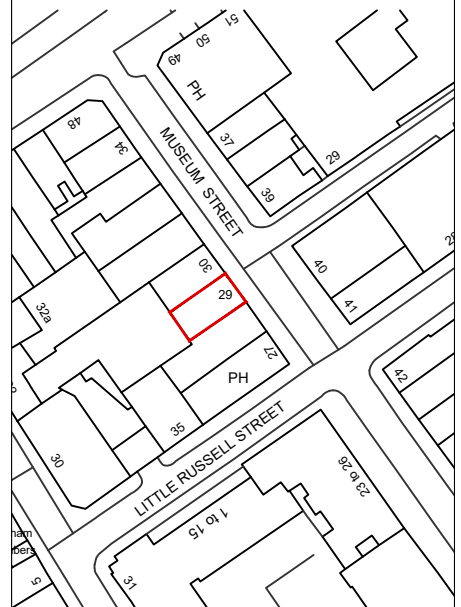


FRESSON AND TEE

6th Floor Queens House
55-56 Lincoln's Inn Fields
LONDON WC2A 3LJ

020 7391 7100 www.fandt.com



NOTES:
LOCATION PLAN @ 1:1250 and NORTH UP
ALL SCALES/DIMENSIONS TO BE CHECKED ON SITE.

B	SD	LBC Amendments	12/03/2018
A	SD	LBC Amendments	Feb 2018
REV	D.B.	Description	Date

DRAWING TITLE
SECOND FLOOR as Proposed

PROJECT NAME
Internal Alterations & Refurbishment

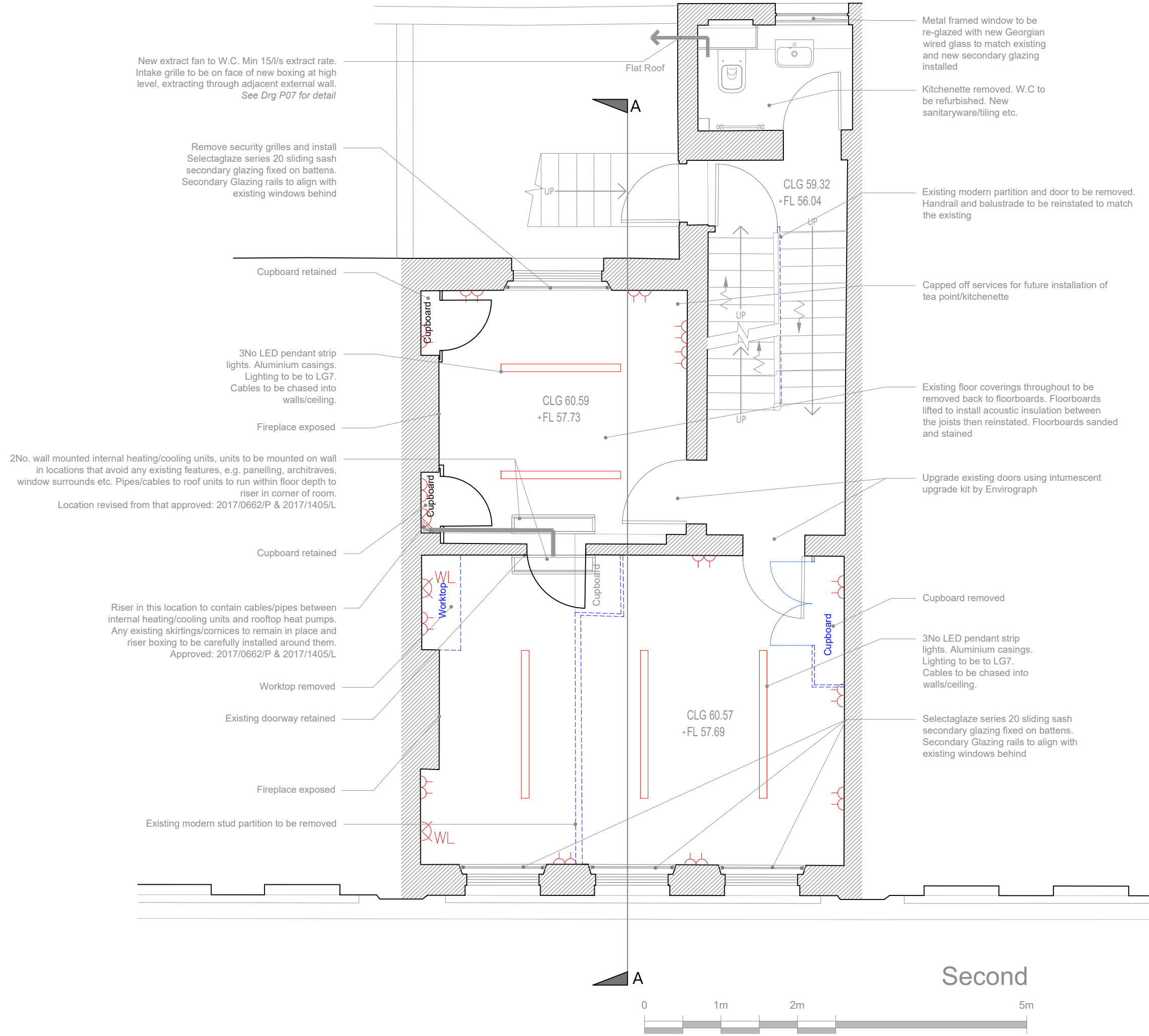
ADDRESS
**29 Museum Street
WC1A 1LH**

CLIENT
Alhambra Hotel Ltd

JOB NO. **23963** DRAWING NO. **23963-P02**

SCALE **1:50 @ A3** DATE **Nov. 2017**

DRAWN BY **SD** CHECKED BY **XX**



New extract fan to W.C. Min 15l/s extract rate.
Intake grille to be on face of new boxing at high level, extracting through adjacent external wall.
See Drg P07 for detail

Remove security grilles and install Selectaglaze series 20 sliding sash secondary glazing fixed on battens. Secondary Glazing rails to align with existing windows behind

Cupboard retained

3No LED pendant strip lights. Aluminium casings. Lighting to be to LG7. Cables to be chased into walls/ceiling.

Fireplace exposed

2No. wall mounted internal heating/cooling units, units to be mounted on wall in locations that avoid any existing features, e.g. panelling, architraves, window surrounds etc. Pipes/cables to roof units to run within floor depth to riser in corner of room.
Location revised from that approved: 2017/0662/P & 2017/1405/L

Cupboard retained

Riser in this location to contain cables/pipes between internal heating/cooling units and rooftop heat pumps. Any existing skirtings/cornices to remain in place and riser boxing to be carefully installed around them.
Approved: 2017/0662/P & 2017/1405/L

Worktop removed

Existing doorway retained

Fireplace exposed

Existing modern stud partition to be removed

Flat Roof

A

CLG 59.32
+FL 56.04

CLG 60.59
+FL 57.73

CLG 60.57
+FL 57.69

Metal framed window to be re-glazed with new Georgian wired glass to match existing and new secondary glazing installed

Kitchenette removed. W.C to be refurbished. New sanitaryware/tiling etc.

Existing modern partition and door to be removed. Handrail and balustrade to be reinstated to match the existing

Capped off services for future installation of tea point/kitchenette

Existing floor coverings throughout to be removed back to floorboards. Floorboards lifted to install acoustic insulation between the joists then reinstated. Floorboards sanded and stained

Upgrade existing doors using intumescent upgrade kit by Envirograph

Cupboard removed

3No LED pendant strip lights. Aluminium casings. Lighting to be to LG7. Cables to be chased into walls/ceiling.

Selectaglaze series 20 sliding sash secondary glazing fixed on battens. Secondary Glazing rails to align with existing windows behind

Second

