

Application ref: 2017/6939/P
Contact: Thomas Sild
Tel: 020 7974 3686
Date: 8 March 2018

Development Management
Regeneration and Planning
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Xul Architecture
33 Belsize Lane
London
NW3 5AS

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:

Flat A
52 Falkland Road
LONDON
NW5 2XA

Proposal:

Erection of a single storey rear extension and alteration to ground floor rear window
Drawing Nos: LP-01 Rev 02, EX-01 Rev 01, EX-02, LP-02 Rev 03, PA-01 Rev 03, PA-02
Rev 04, PA-03 Rev 04

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise

specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 [and D2 if in CA] of the London Borough of Camden Local Plan 2017.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans: LP-01 Rev 02, EX-01 Rev 01, EX-02, LP-02 Rev 03, PA-01 Rev 03, PA-02 Rev 04, PA-03 Rev 04

Reason: For the avoidance of doubt and in the interest of proper planning.

Informative(s):

- 1 Reasons for granting permission.

The proposed single storey rear extension partly infills the side return, preserving an internal courtyard area. Glazed patio doors will be inserted on the rear face of the existing closet wing. The proposed extension design is for a lightweight glazed structure that is subordinate to the ground floor closet wing in height and depth, and enables the host building's 19th century form and character to remain easily recognisable. As such the proposal is considered to preserve the character of the surrounding conservation area.

The extension walls will be faced in brick, and further details will be secured by condition for consideration by the local planning authority in order to safeguard the building's character and appearance.

Given the extension does not project outside the existing side return, or beyond the neighbouring extension alongside at no. 52, there is not considered to be any amenity impact on surrounding occupants arising from this proposal.

Following concerns over scale and character impact, plans were revised to significantly reduce the depth of the proposed extension, and revise its form in relation to the host building footprint.

No objections were received prior to making this decision. The planning history of the site and surrounding area were taken into account when coming to this decision. Special regard has been attached to the desirability of preserving or enhancing the conservation area, under s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013.

As such, the proposal is in general accordance with Policies D1, D2 and A1 of the Camden Local Plan 2017; and Policy D3 of the Kentish Town Neighbourhood Plan. The proposed development also accords with the policies of the London Plan 2016 and National Planning Policy Framework.

- 2 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between

dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).

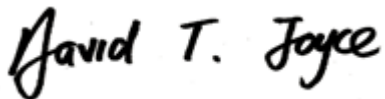
- 3 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Noise and Licensing Enforcement Team, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (Tel. No. 020 7974 4444 or search for 'environmental health' on the Camden website or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

A handwritten signature in black ink that reads "David T. Joyce". The signature is written in a cursive, slightly slanted style.

David Joyce
Director of Regeneration and Planning