

DESIGN AND ACCESS
&
HERITAGE STATEMENT



PROPOSED RECONFIGURATION WORKS TO MEETING ROOM/RECEPTION/WAITING ROOM
2 STONE BUILDINGS, LINCOLN'S INN

Prepared by: William Martin Property Consultants Ltd

75 King William Street

London

EC4N 7BE

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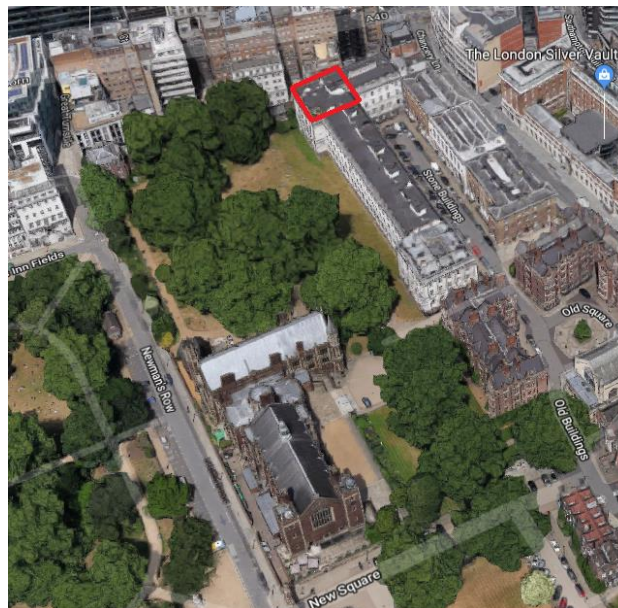
6 Access

1. Application Premises and Site

The application premises is a four storey Grade I listed building located within The Honourable Society of Lincoln's Inn Estate situated in the Bloomsbury Conservation Area.

Stone Buildings were constructed between 1775 and 1780 for use as chambers to provide a library and offices for the Court of Chancery.

2 Stone Buildings is one of seven buildings along Stone Buildings with Portland Stone cladding with arched window openings with timber single glazed sliding sash windows.



The property is predominantly offices although there are residential units located to the top floor. Access to the building is via a private road which off of Newman's Row.

Previous Planning Applications

Application Number	Works	Outcome
2012/3940/L	Ground Floor reconfiguration works between reception and waiting room.	Granted
2011/5005/L	Ground Floor reconfiguration works between reception and waiting room	Granted
9070079	Refurbishment of chambers	Granted
8670377	Internal sub-division of first floor room	Refused

2. USE & LAYOUT

The property is currently occupied by the applicants, Edwin Coe who are a law firm.

The majority of the existing property is remaining untouched and the proposed works do not seek to extend the current foot print of the building. The proposed works are confined within the demise of the property and two separate Listed Building Consents applications are to be submitted:

- Reception/Waiting Room Works
- Conference Reconfiguration Works

The proposed alterations to the property are as follows:

1. Removing a small office/meeting room and associated nonstructural partitioning to the ground floor meeting room which will enable the room to be used a large conference room in the original open plan configuration as originally intended.
2. Creating a larger opening into the proposed conference room via expanding the original opening from a single door and widening to create a double width entranceway providing easier access for entertainment and disabled users.
3. Removing nonstructural timber partitioning and mezzanine storage room adjacent to the central ground floor meeting room and installing full height frameless glazed partitioning enabling the original vaulted ceiling to be exposed to the lobby area whilst providing natural light into the lobby area.
4. Creating an opening between the main reception and the waiting room and supplying and installing a glass partitioning with double doors to the center of partition to provide a more dynamic interaction between the main reception and the waiting room.
A structural goal post system will be required to be installed. The current wall separating the reception and meeting room is of blockwork construction and is not original.
5. Removing the Georgian window to the main entrance doorway and installing a large Georgian styled Glass door. The original window/style will remain to the head of the window within the curvature of the opening. The current doorway will be partially blocked up have a new timber sash window to match the existing style of the surrounding windows.

The proposal seeks to demonstrate that the amount of development needed is the minimum required. The proposed alterations have been designed so as not to visually dominate the significance of the character and appearance of the locality.

3. SCALE / AMOUNT

The scale of the accommodation will not be affected by these works.

4. LANDSCAPING

The development is self-contained within the main demise of the property as such there are no landscaping works relating to this application.

5. APPEARANCE

The composition of the building would not be altered to an unacceptable extent. The proposed materials would match with the character of the application property. The alterations would respect their surrounding context and have been designed to enhance the visual amenities of the area and to respect its surrounding context and are easily removable.

6. ACCESS

During the course of the proposed works to item 1, 2 & 3 the meeting rooms will be closed to staff no access will be available to these meeting rooms. The west wing is a self-contained area serviced by a central core staircase as such no means of escape issues will arise by temporarily blocking the opening into the meeting room lobby.

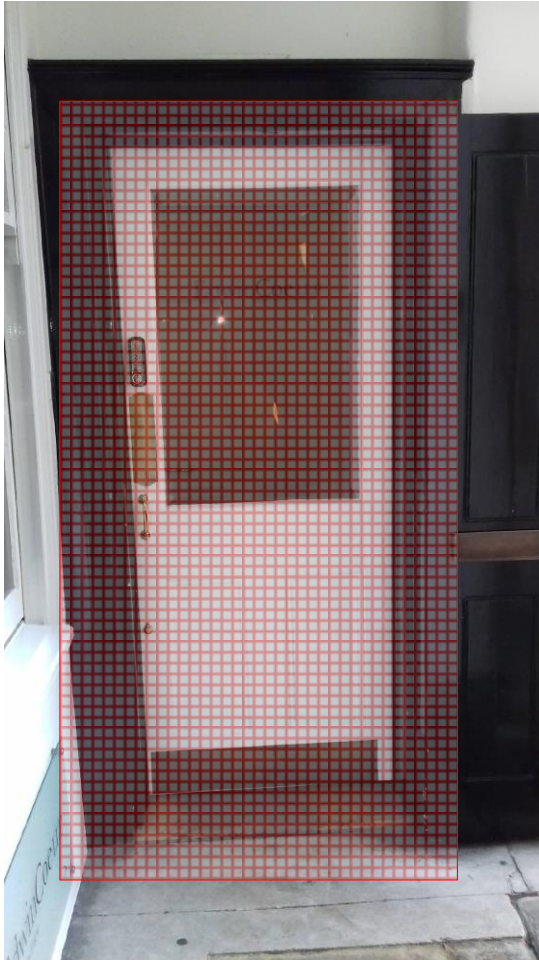
The main reception is proposed to be moved into the basement allowing for the proposed reception works to be undertaken. There are secondary means of escape routes to the associated offices off of the reception as such there are no means of escape issues.

The proposed works are planned to be undertaken in August 2018 as the chambers/courts in Lincoln's Inn shut down over the summer break reducing the members of staff within the building.

Edwin Coe also own an adjoining building 11 Stone Buildings their staff and clients are able to use this building during the course of the works as needed.



Current Single Glazed Georgian Window to Be Replaced with Georgian Style door to become main entranceway into 2 Stone Buildings.
Arched Georgian Styled Window to remain.



Current Entrance Doorway into Reception to Be Removed and Single Timber Sliding Sash window with Matching Style, Material and Design. Ceiling to entrance way is vaulted enabling arched windows to match surrounding style.



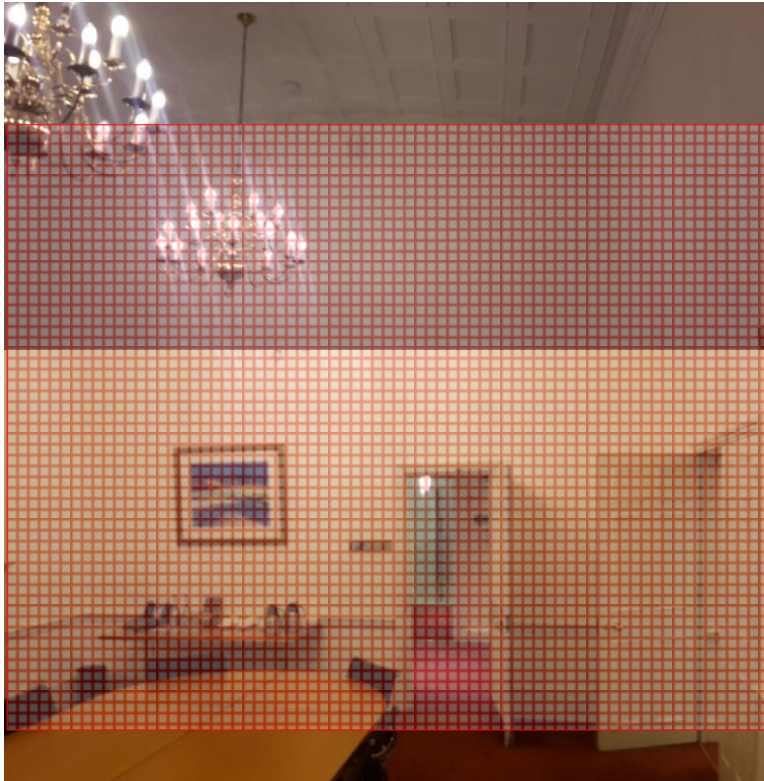
Creating Larger Opening to enable double doors into the Conference Room.



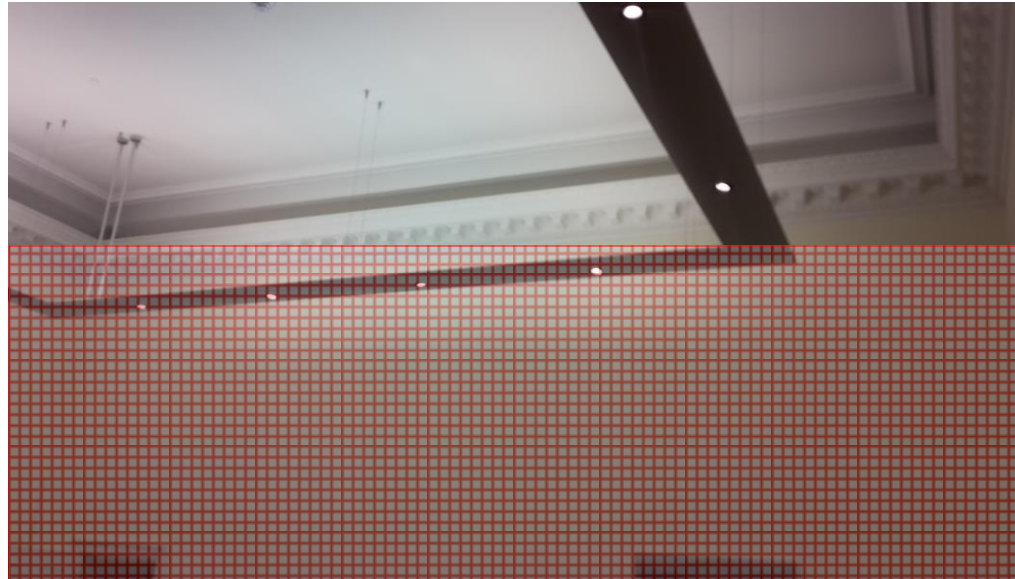
Plasterboard ceiling housing loft storage to be removed to expose vaulted ceiling.



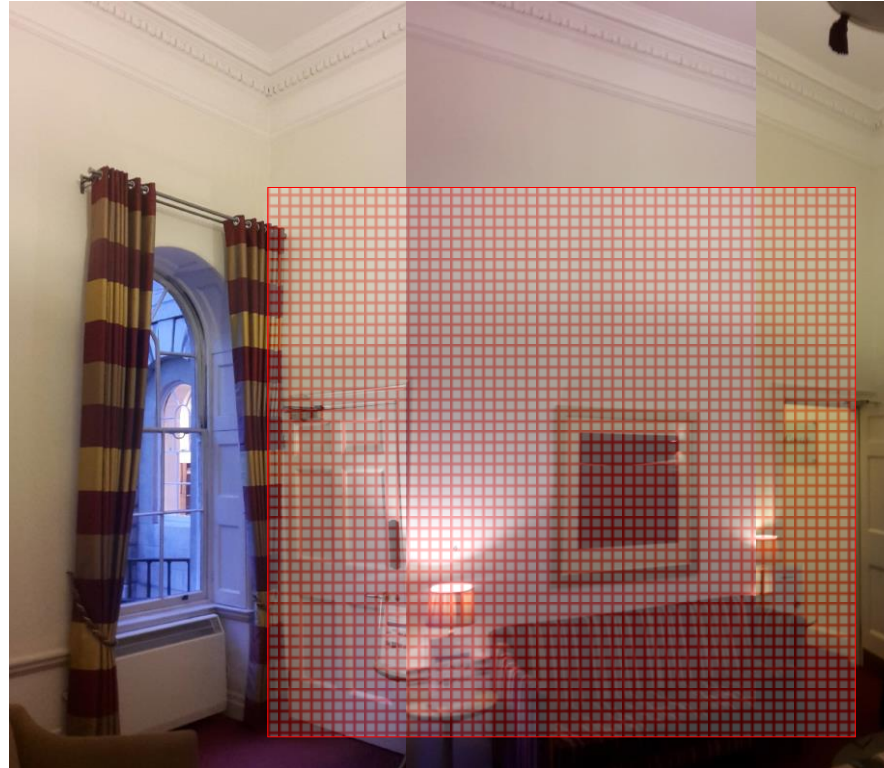
Storage Room with Vaulted Ceiling



Internal Timber Partitioning Between Lobby & Meeting Room to be removed and replaced with Glass Partitioning allowing natural light to enter the corridor.



Full Height Timber partitioning with glass core to be remove to entirety and conference room opened up to original configuration. Removing small lobby and meeting room.



Waiting Room/Reception Room wall to be removed and frameless glass partitioning to be installed. Existing Wall is an alteration constructed of blockwork and is not an original feature.