

Mr George Smith
DP9 Ltd
100 Pall Mall
LONDON
SW1Y 5NQ

Application Ref: **2017/5026/P**
Please ask for: **Stuart Clapham**
Telephone: 020 7974 **3688**

21 February 2018

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Approval of Details Granted

Address:
22 Frognal Way
LONDON
NW3 6XE

Proposal: Details of building foundations affecting trees as required by Condition 6 of 2015/3530/P granted on 09/03/2017 (on appeal as APP/X5210/W/16/3150327) for demolition of existing dwelling house at 22 Frognal Way and redevelopment to provide a single detached family dwelling house and all other necessary works

Drawing Nos: Arboricultural Method Statement, prepared by Adam Hollis, Dated 07/02/2018, Ref: KSR/22FW/AMS/01e

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

Informative(s):

- 1 Reason for granting permission



The application seeks to discharge details of foundations and excavations with relation to impact on trees, as required by condition 6 of planning permission 2015/3530/P granted on 09/03/2017 (on appeal as APP/X5210/W/16/3150327).

The submitted details include a Arboricultural Method Statement produced by Landmark Trees. The submitted details have been reviewed alongside the Council's Trees Officers. Following the request for further details, a revised report was submitted to address officers queries. The Council's Trees Officers confirm that the updated reporting is sufficient to discharge condition 6. The details and proposed mitigation measures submitted in the report are therefore considered sufficient to ensure that neither the foundations nor the service trenches will adversely affect the trees that are to be retained.

The proposed details would not have a harmful impact on neighbouring amenity. The planning history of the site has been taken into account when coming to this decision. No comments / responses have been received in relation to the proposed development.

Considerable importance and weight has been attached to the harm and special attention has been paid to the desirability of preserving or enhancing the character of the Conservation Area, under section 72 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013

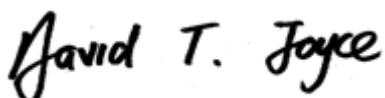
As such, the details are in accordance with policy CS15 of the London Borough of Camden Local Development Framework Core Strategy and policies A2 and A3 of the London Borough of Camden Local Plan 2017, the London Plan 2016 and the National Planning Policy Framework 2012.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

A handwritten signature in black ink that reads "David T. Joyce". The signature is written in a cursive, slightly slanted style.

David Joyce
Director of Regeneration and Planning