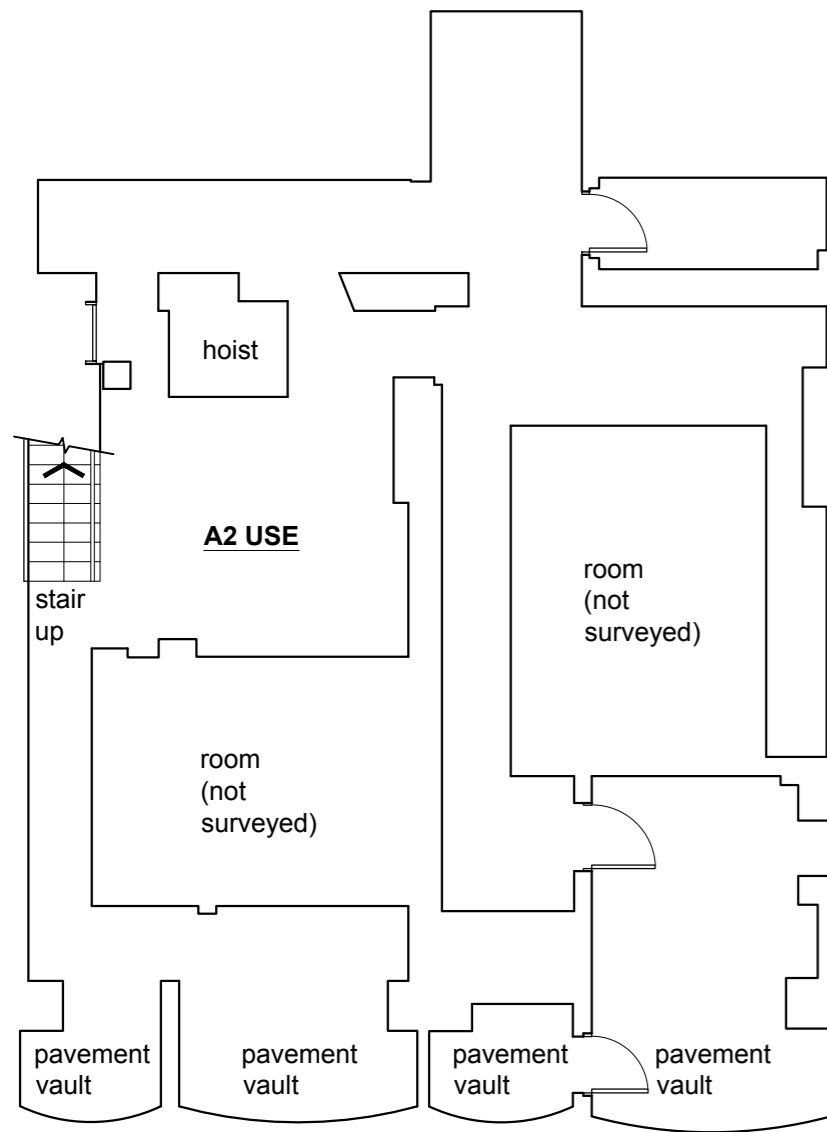
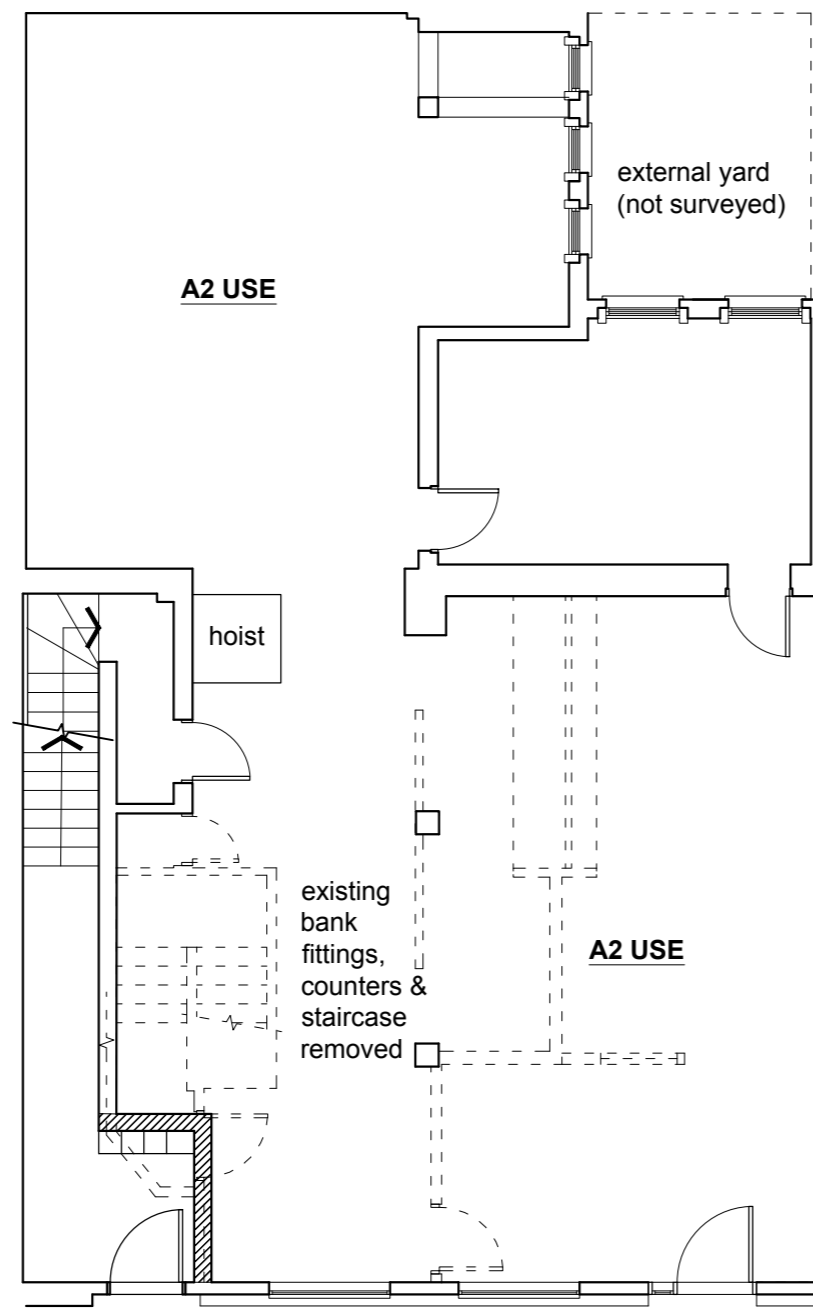


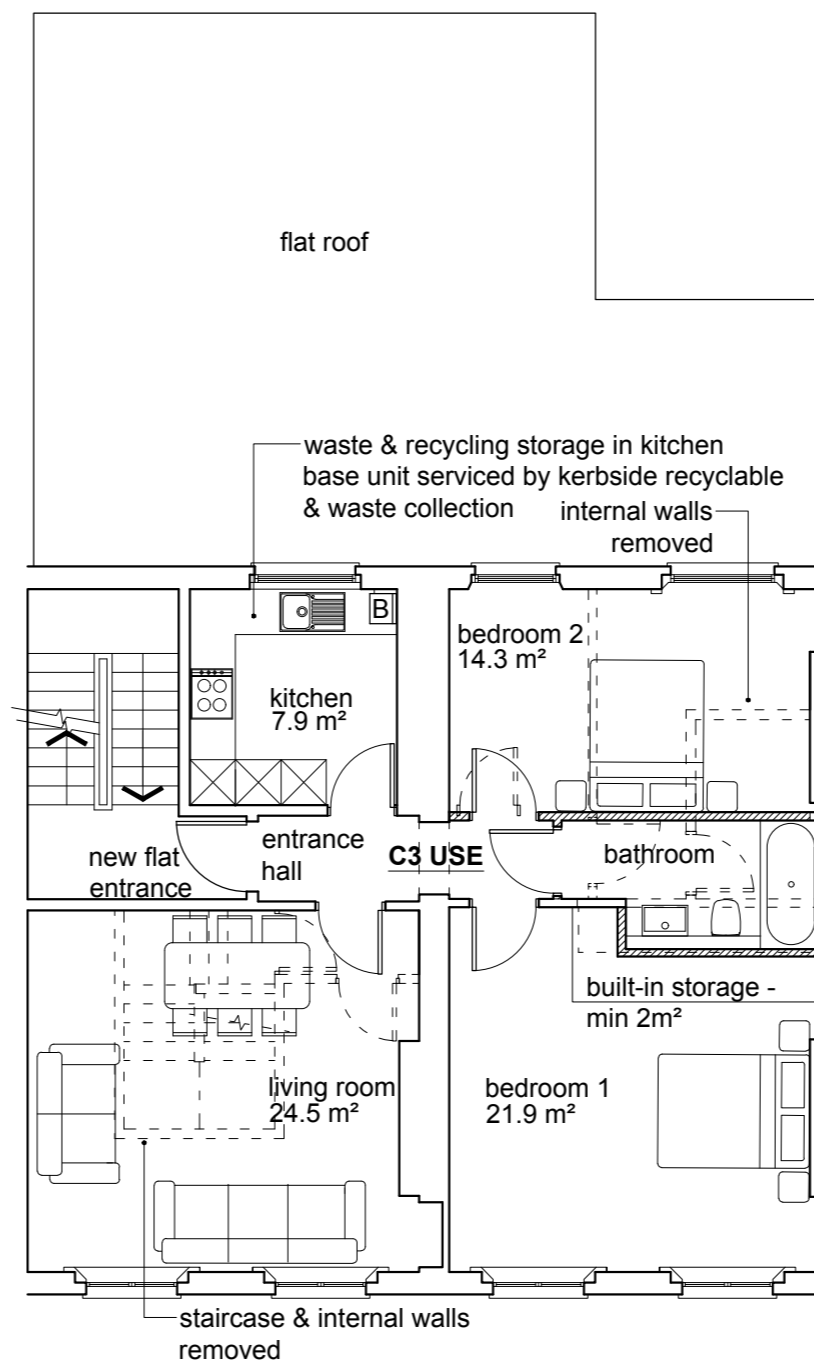
Notes: Do not scale from this drawing. Contractor to take and check all dimensions on site before work commences. Discrepancies to be reported to architect. Subcontractors to verify all dimensions on site before making shop drawings or commencing manufacture. This drawing is copyright.



Proposed Basement Plan
Scale: 1:100

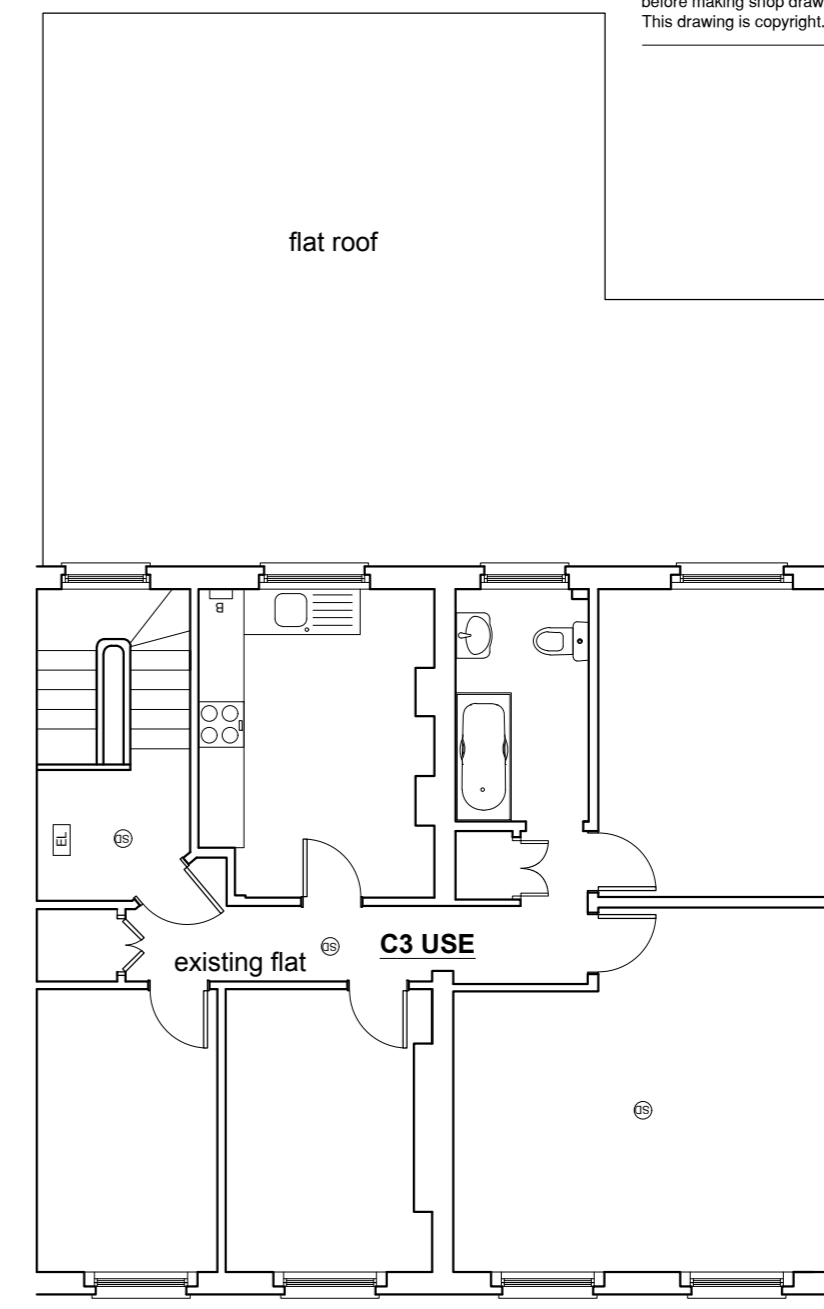


Proposed Ground Floor Plan
Scale: 1:100

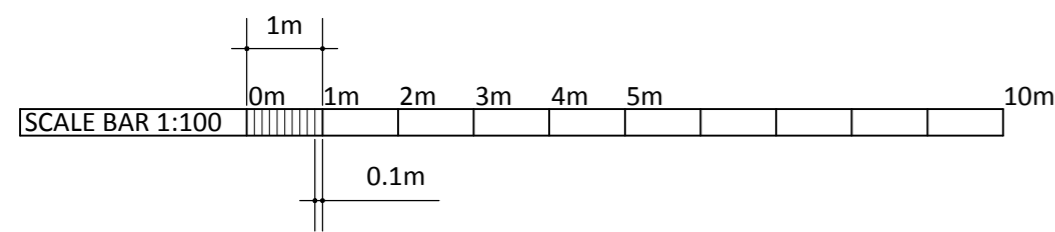


First Floor Flat GIA: 84.2 m²

Proposed First Floor Plan
Scale: 1:100



Proposed Second Floor Plan - *Unaltered*
Scale: 1:100



AREA SCHEDULE - ALL AREAS IN LINE WITH THE NATIONALLY DESCRIBED SPACE STANDARDS

Requirements
Minimum GIA for 2b,4p flat = 70 m²
Minimum built-in storage included in the above figure = 2 m²

New First Floor Flat
2 bedroom, 4 person unit GIA = 84.2 m² including 2 m² of in-built storage in bedroom 1

PRIOR APPROVAL REQUIREMENTS

Prior Approval, Class M - Allowable area to be converted = 150 m²
The building must not be listed, a scheduled monument, located on Article 2(3) land, in a site of special scientific interest, in a safety hazard area or in a military explosives storage area

Area to be converted including ground to first floor access/staircase area & first floor flat = 107.2 m²



Site Location Plan
Scale: 1:1250



Rev	Description	Date	Initial
A			



Second Floor T 020 7494 3522 The Priory, Draycott Rd T 01749 34 66 99
26A Ganton Street F 020 7494 3533 Shepton Mallet F 01749 34 66 77
London W1F 7QZ Somerset BA4 5HS
info@prime-meridian.co.uk www.primem-meridian.co.uk

Client: **KENNY PROPERTIES LTD.**

Project: **246-248 KENTISH TOWN RD.
LONDON
NW5 2BS**

Title: **PROPOSED FLOOR PLANS**

Date: 19-02-2018
Scale: 1:100/1250 @ A1
Drawn: JB