

3.0

Access Statement - Inclusive Design

Existing Guest rooms

Existing floors 1-5 contain a total of 18 universal access rooms suitable for use by disabled guests , some of which have interconnecting doors to adjoining rooms for use by carers. The ground floor has an existing disabled wc adjoining the bar and restaurant areas highlighted on the plan on previous page.

London Plan

The London Plan states all new hotel development is to provide 10% accessible accommodation. The proposals have been considered as a whole to ensure that this figure is met.







The existing hotel has 174 keys and 18 of these guest rooms are accessible (10%).The increase to guest rooms based on the new extension is 46 net rooms which increases the total room count to 220.

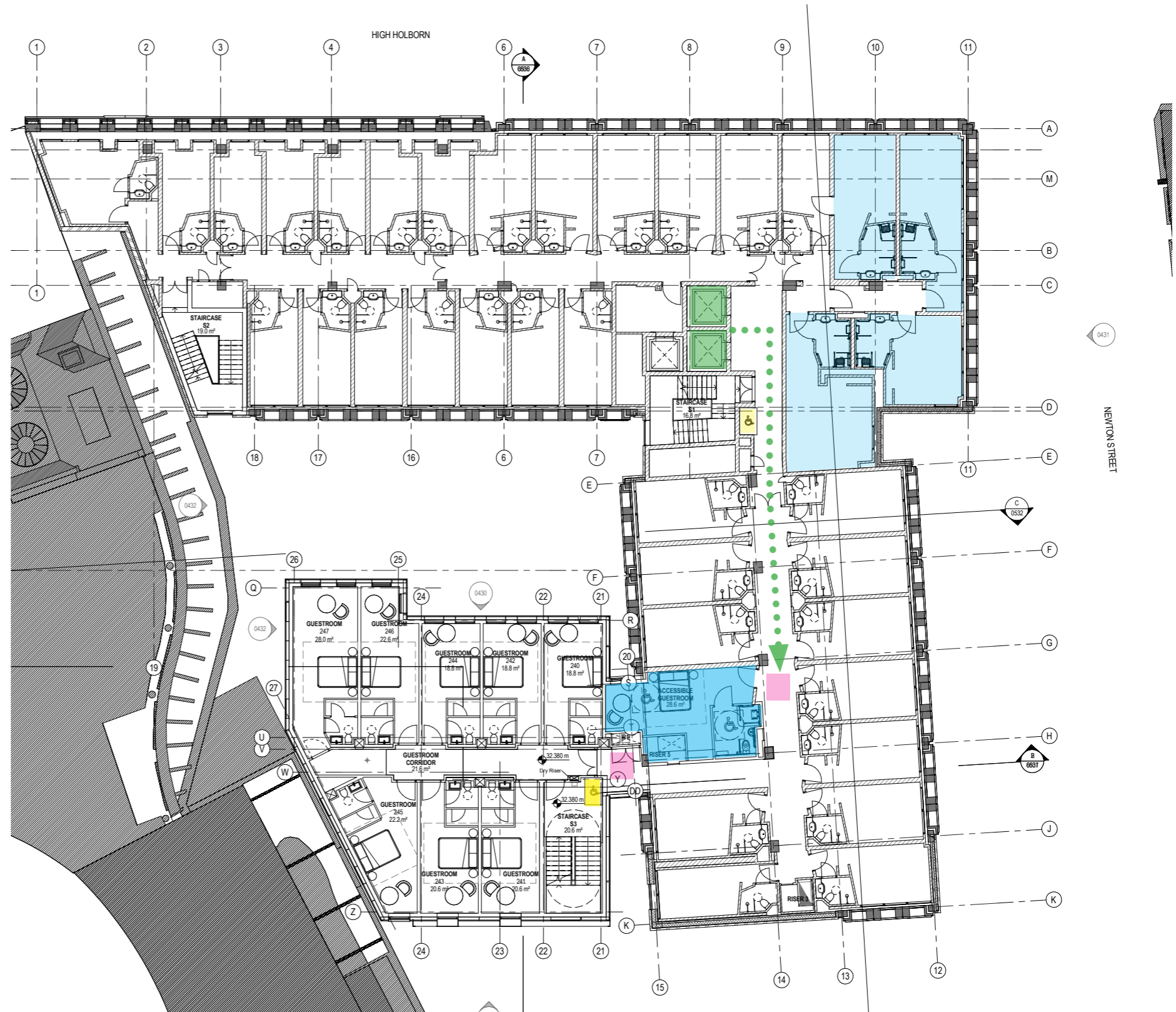
Based on this figure 22 accessible rooms are required (-18 existing) = 4 new accessible guest rooms . These are provided on levels 1, 2, 3 and 4 as indicated.

2 of each left and right hand transfer to shower seat and wc layouts are offered by the new guest rooms.

The new accessible room is formed from 2 former standard rooms that have been used to create the link between the new and existing hotel and to provide a larger room to meet part M compliance that is closer to the existing lift core than if located in the new service yard extension.

KEY:

-  STEP FREE CIRCULATION ROUTE
-  EXISTING ACCESSIBLE GUEST ROOMS
-  PROPOSED ACCESSIBLE GUEST ROOMS
-  PROPOSED REFUGE
-  EXISTING REFUGE
-  1800MM X 1800MM PASSING PLACE



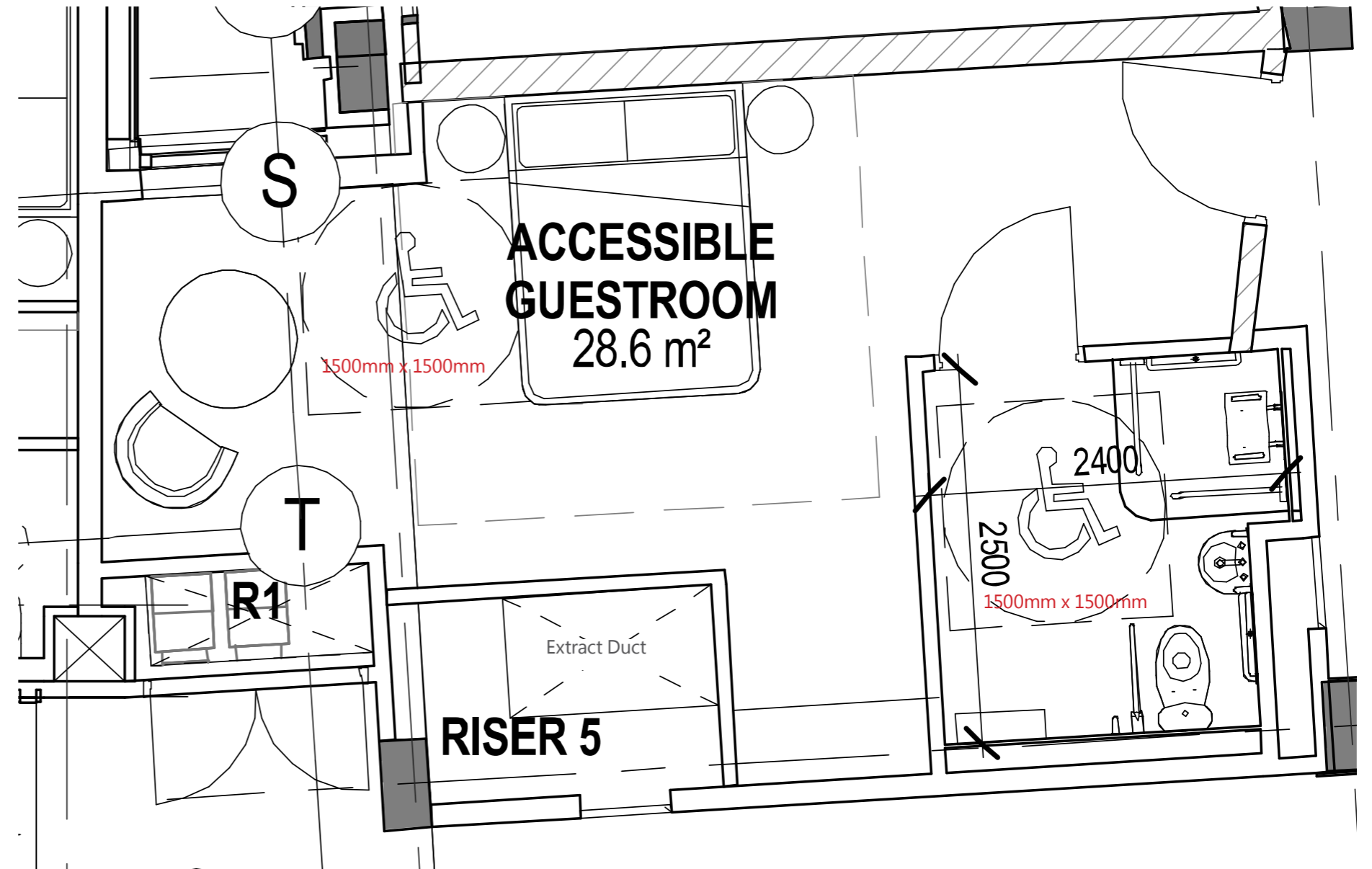
1. Proposed Typical Upper Floor Plan with Accessible Guestroom Layout Updated

3.0

Access Statement

A typical proposed wheelchair accessible guest room is shown to the right designed in accordance with ADM, updated to the revised layout incorporating new riser for the extract ductwork serving Ground and Basement BOH areas to rooftop plant.

- Doors with min 300mm from leading edge of the door to side wall and open-able with force of no greater than 20 N at leading edge. Entrance door viewers at 1050mm and 1500mm above floor level.
- Effective clear width of the entrance and bathroom door >800mm where the corridor is at least 1500mm wide and >825mm where the corridor is at least 1200mm wide.
- Turning circles within bathroom and bedroom
- Wheelchair accessible en-suite bathroom of 2400mm x 2500mm internal dimensions compliant with diagram 24 of ADM.
- Bedroom allows for a wheelchair user to transfer to one side of bed with or without assistance.
- Layout enables wheelchair user to manoeuvre around the room , to use facilities and operate switches and controls.
- Bathroom with wall mounted drop down support rails and wall mounted shower seat.
- Part M WC and wall mounted grab rails with adjacent wash basin
- Emergency assistance pull cord
- Bathroom shelf for storage
- Bedrooms have visual alarm signal . Alarm call to reception from bedroom and bathroom
- Switches and sockets are installed in accessible locations on front plates that contrast visually with their backgrounds.
- Interior design will be developed with appropriate wall, floor and ceiling finishes to help visually impaired people appreciate the boundaries of the room.



1. Typical Accessible Bedroom Layout to Illustrate Riser 5.

4.0

Cleaning & Maintenance Strategy

10475 – Hoxton Holborn Bedroom Extension

Cleaning and Maintenance Strategy

10475-8-00-7500-ZXX-03

REV 03 26.09.17 – Addendum - Plant Relocation

This document provides a proposed method by which the Hoxton Holborn Bedroom Extension can be safely accessed and maintained, to be read in addition to the existing cleaning and maintenance strategy for the Hotel.

This document provides access proposals to all new areas requiring regular planned cleaning and maintenance. Where access is required to areas not identified as requiring regular planned maintenance temporary protective measures should be put in place as required to ensure safe access to these locations.

1.0 External Areas

1.1 Roof Maintenance

Regular tasks: Green roof maintenance and inspection, **Photovoltaic Panels maintenance and inspection**, access plant areas and gutter cleaning / maintenance.

The main roof is accessed from new Stair 3. Access to all roof areas requiring regular planned maintenance and access will be carried out from within the 'protected roof areas'. While the whole roof can be safely walked on the maintenance access should be restricted to the walkways as identified. Protected areas have a guardrail around the perimeter designed to achieve 1100mm from roof level. In limited locations fall prevention latchway systems have been utilized where guardrails or parapet provision could not be accommodated. Any access to these areas should be by trained operatives. Strategy to be developed with subcontractors.

The external GRP roof plant room roof should not be accessed. If it is necessary then appropriate guarding and access should be brought up around it with suitable spreaders to any point loads on the roof.

The roof at 4th floor is accessed via the external door leading from the guest room corridor and has a structural glass balustrade around the perimeter designed to achieve 1100mm from roof level.

1.2 External Façade

Access difficulties to overcome:

- Perimeter access path limitations due to existing buildings
- Complex configuration of existing buildings.

The perimeter façade to the service yard extension and rooftop extension will require access for inspection and cleaning. A system to enable abseiling down the green-wall face to complete maintenance tasks as detailed in the green wall suppliers maintenance strategy will need to be incorporated into the buildings design.

Due to the site limitations of access path width and existing buildings MEWP access from the service yard is not feasible with exception of South façade. Due to this area being the primary service delivery route for vehicles this is not considered a suitable location for MEWP access. Facades requiring regular maintenance will need to be accessed by abseiling with less frequent access with scaffold. **Permanent abseil posts are to be provided at roof level in locations where the window cleaning strategy requires with a cable system to provide safe access.** Provision will be made via stair access and balustrading for access to the main roof. Note: Further input is required from specialists required to review details of this strategy. Operation to be carried out by trained operatives. Visual inspection can take place from the existing hotel.

Access to the living wall can be gained by abseil. An exclusion zone should be provided at base of the building with hard level surface. The height of the parapet above road level is 22.9m.

Where abseiling or physical supports are to be provided and permanently affixed to the building, there shall be a regular regime of inspection and testing to ensure that the installations are safe. Note: Further input is required from specialists required to review details of strategy. Abseilers to be employed shall be suitably trained and certified.

1.3 Window Cleaning

The new guest rooms to the wing over the service yard have windows cannot be opened by the guests. All Guest room windows are 90deg inward opening side hung for cleaning. The window mechanism will facilitate opening in a fixed position for the window cleaner only and not the guest. The window opening height is at 520mm and a push-lock safety eye-bolt is located within guest rooms on the wall adjacent to the window. Operatives are to attach to the push-lock system by means of a safety lanyard (with energy absorber) and full body harness in compliance with the appropriate legislative requirements and manufacturers instructions.

The new roof top extension guest room windows are secondary glazed to replicate the existing building condition owing to the acoustic strategy. The outer fixed window will be cleaned by abseil and the inner inward opening side hung window will enable cleaning only (not operable by guests) as the current cleaning and maintenance strategy.

1.4 Glazing , Cladding and Lamp Repair

Guest room windows are internally beaded and glass is to be removed and replaced from within the building.

External lighting or CCTV cameras locations TBC to be accessed via scaffold or suitable fixed access.

1.5 Plant Maintenance and Replacement

The backup generator in the service yard is accessible directly from the service yard. Plant should be maintained and replaced in accordance with the supplier's documentation.

The rooftop plant area is accessed off the main roof via the new stair 03 roof access hatch to be easily operated by one person. The hatch features a gas spring assisted opening lid which incorporates a grip handle and safety hold-open stay to prevent against accidental closure. Plant should be maintained and replaced in accordance with the supplier's documentation. **Stepped access and platform with handrails is provided for access over ductwork as indicated on the roof plan.**

The rooftop plant room primarily contains hot water services plant and the compound contains VRF units and **plant room for the living wall**. The combined duty AHU serving the proposed additional guestrooms and ground floor and boh basement areas is located on the main roof.

These items of plant can be taken to and off the roof in component form to be advised by Service Engineer.

2.0 Internal Areas

Regular tasks: Ceiling cleaning / maintenance, lighting cleaning / maintenance.

2.1 Ceilings and Lighting

In general access to the ceilings and ceilings mounted lighting and other services should be via a temporary stable work platform with suitable edge protection. In general it is recommended that prior to the use of any access system within internal spaces adequate protection is to be provided to floor finishes. Rigid boarding should be used to spread loads over tiles areas.

2.2 Stairwells

High level access in stair wells should be via temporary stable work platform with suitable edge protection suitable for use on stairs.

2.3 Floor Finishes

Note floor finish maintenance requirements remain subject to final approval of floor finishes requirements for applied surface treatments.

7.1

Cleaning & Maintenance Strategy

General Notes:

All measures should be taken to ensure workers working in locations with potential danger of falling from high level are protected with guarding (or other suitable devices) and signage. Similar precautions should apply to risers.

When means of escape are hindered during the cleaning / maintenance procedures, suitable alternative measures must be put in place. All staff and guests should be advised accordingly and temporary signage provided as deemed necessary.

If areas will require furniture or fitting to be manually moved to allow access for maintenance machinery they should be designed to be movable or demountable as to not obstruct or compromise the works.

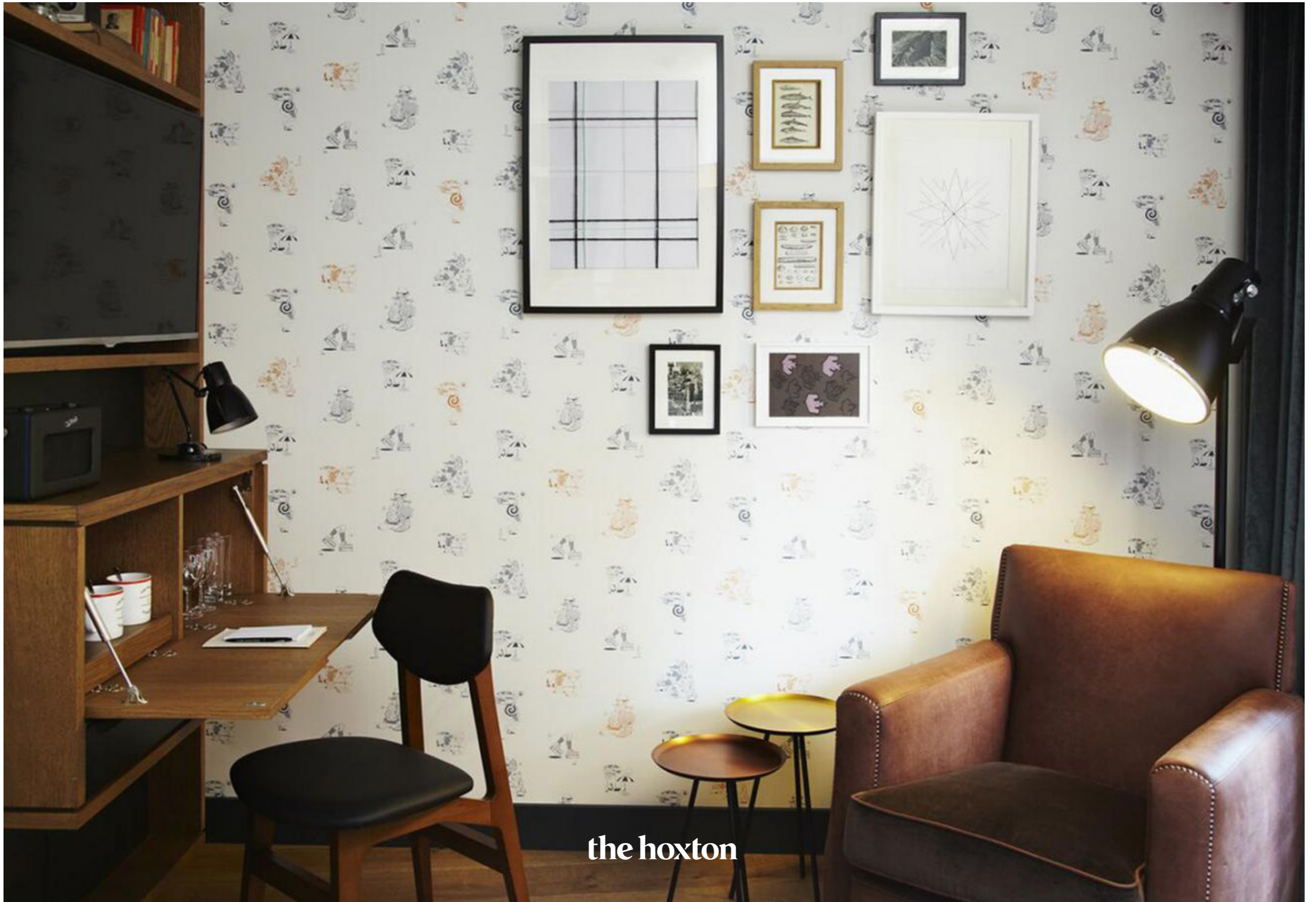
Maintenance Staff must wear the appropriate PPE as noted within the health and safety methods statements for the particular cleaning or maintenance operation being undertaken and be suitably trained and qualified for the task in hand.

Cleaning Methods - Cladding, glazing and roofing should be cleaned and maintained in accordance with the supplier's specifications and terms of warranty specific to the installation, site and location.

Protection measures may be required where any heavy maintenance vehicle (that has been agreed and deemed suitable by the transport engineer) is to be used.

Schedule of Drawings

This document is to be read in conjunction with the following Access and Maintenance Drawings (7500 series) Note : Drawings to be developed during the technical design and construction stages.



the hoxton