

REVISIONS

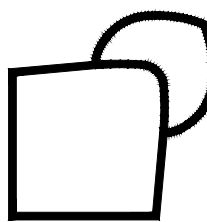
Rev.	Date	By
-	-	-
A: Flue ducting location amended	08.01.14	SN
B: Lockers removed from cycle store 1.50m wide access corridor provided Headroom dimension indicated	12.02.14	CT
C: - Rearrangement warehouse space by adding additional basement in lower level. - New Larger Lifts to accommodate cycles to basement level. - Rearrangement of Cycle Store, Plant and Laundry.	15.08.15	SP
D: General plan amendments.	21.06.16	FP
E: Electric risers Revision Stair1	09.08.16	FP
F: Slab level decreased by 950mm Sheet plus perimeter updated Stair 7 added as per Fire Strategy requirement	17.11.17	FP
G: Warehouse area increased by 200 sqm. Cycle Store relocated.	18.02.08	MG

Outline of previous approved set

PLANNING APPLICATION

ALL DIMENSIONS TO BE CHECKED ON SITE
WORK TO FIGURED DIMENSIONS ONLY
REPORT DISCREPANCIES TO THE ARCHITECT
AT ONCE BEFORE PROCEEDING

Contemporary Design Solutions



46 Great Marlborough Street
London
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Telephone: 020 7494 9000 Fax: 020 7494 4944

Client

HALLMARK PROPERTY GROUP

Project Title

B8WAREHOUSE & STUDENT ACCOMMODATION
65-69 HOLMES ROAD

Drawing Title

PROPOSED LOWER BASEMENT
PLAN

Scale: 1: 100@A0 NTS@A3	Date: FEB 2018
Drawn: FP	Checked: CT
Drawing No:	Rev:

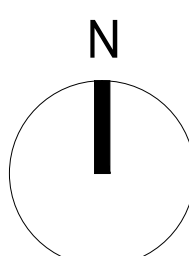
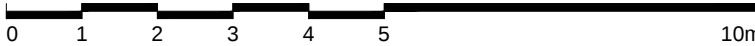
131050 A(GA)P080

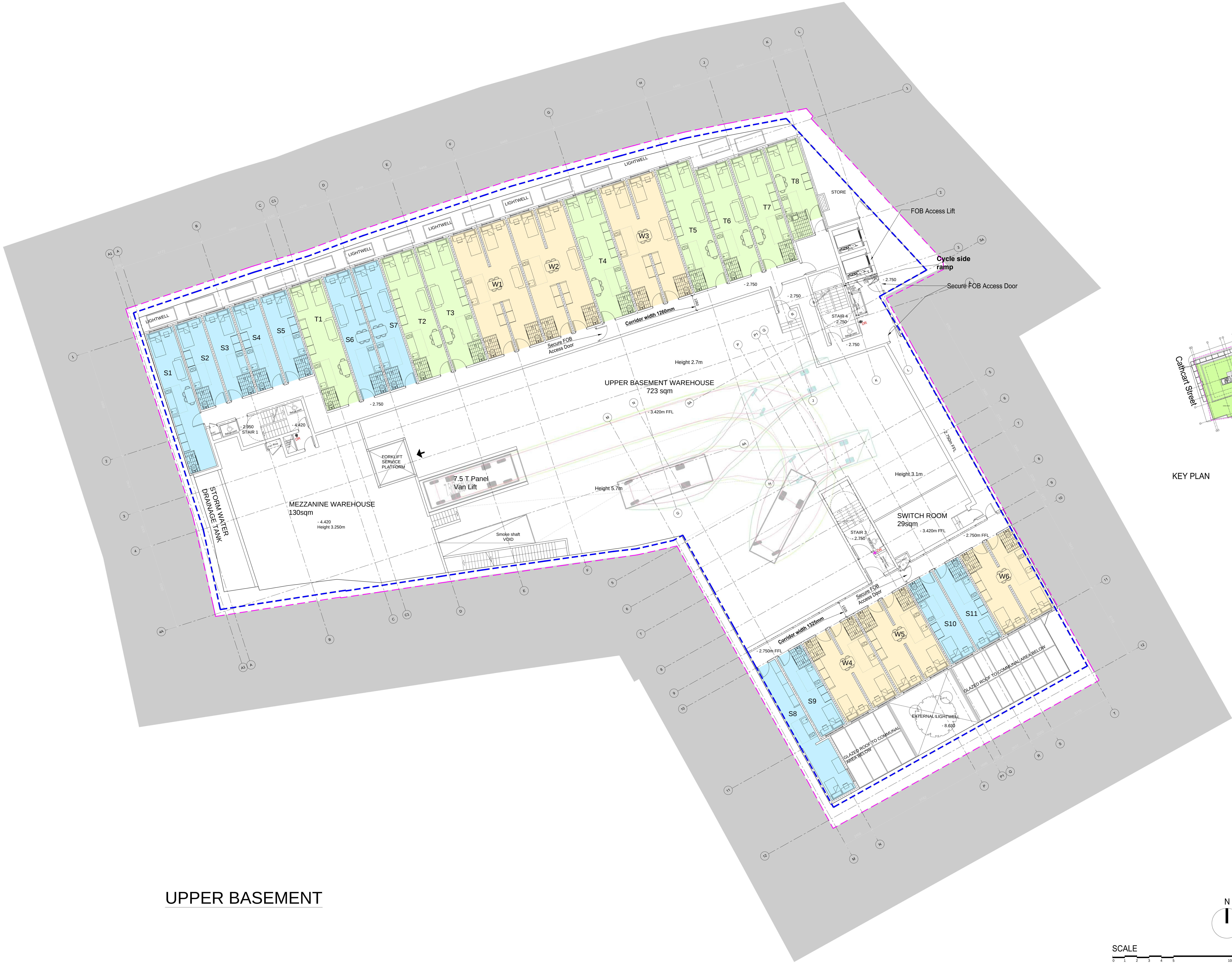
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CAD plot date:

LOWER BASEMENT

SCALE

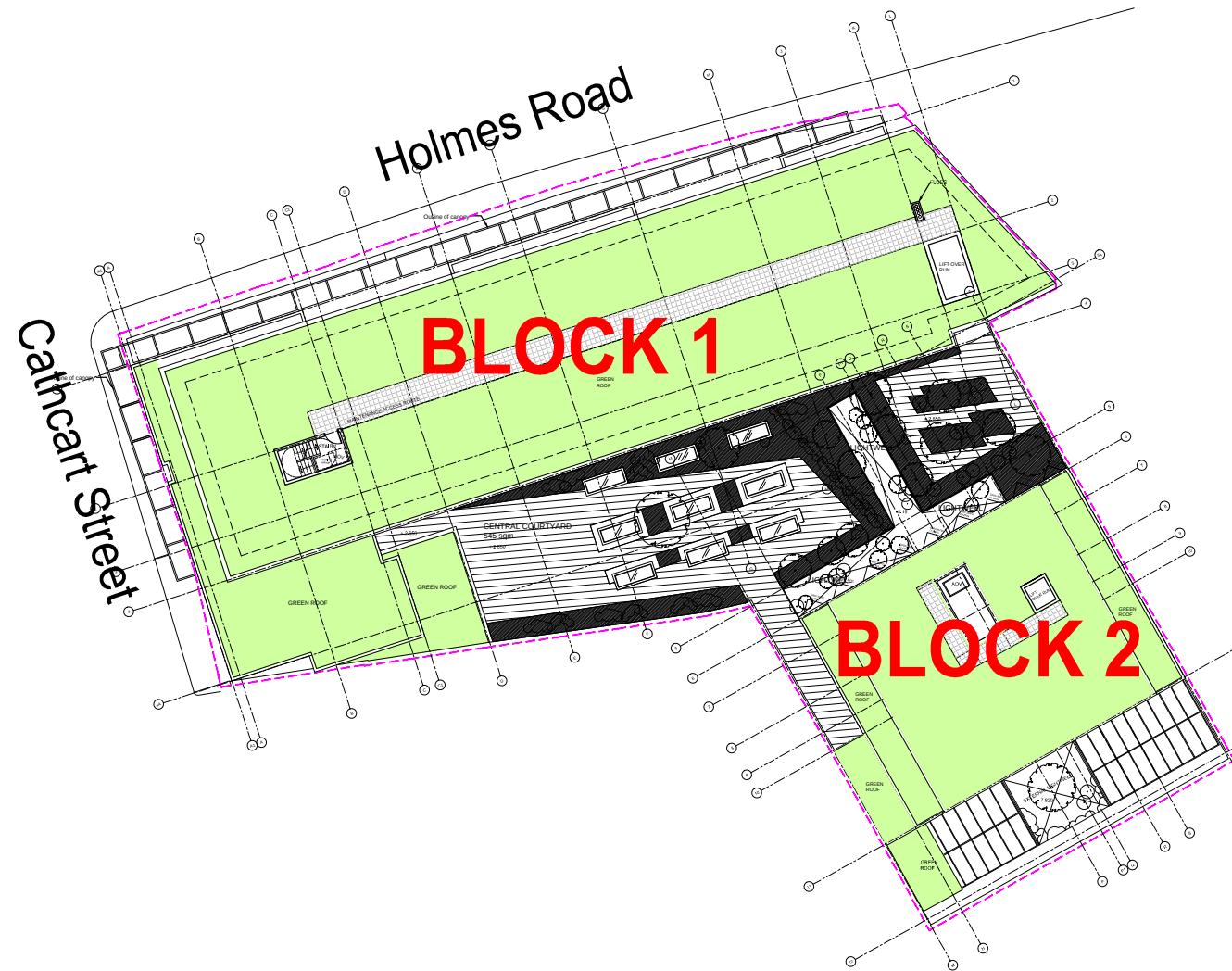




UPPER BASEMENT

REVISIONS			
Rev.	Date	By	
A:	08.01.14	SN	Flux ducting location amended.
B:	15.08.15	SP	New Larger Lifts to accommodate cycles to basement level. Rearrangement of rooms in 'Block 2'. Lightwell added over lower basement extension.
C:	20.11.15	SP	Rearrangement of single and twin rooms in 'Block 2'. Renumbering of single rooms.
D:	21.06.16	FP	General plan amendments.
E:	09.08.16	FP	General plan amendments. Revision stair 1. Electric risers.
F:	09.02.18	FP	Sheet piles perimeter updated. Stair 7 added as per Fire Strategy requirement.

- Single studio (x11)
- Twin studio (x8)
- Double studio (x6)



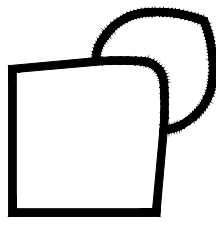
KEY PLAN

Outline of previous approved scheme

PLANNING APPLICATION

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BBIWAREHOUSE & STUDENT ACCOMMODATION
65-69 HOLMES ROAD

Drawing Title

PROPOSED UPPER BASEMENT
PLAN

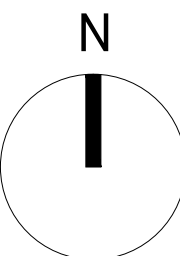
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Drawn FP Checked CT

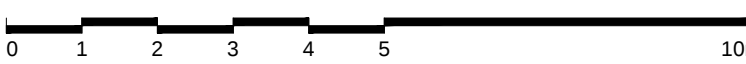
Drawing No. Rev.

131050 A(GA)P090 F

CAD plot date:



SCALE



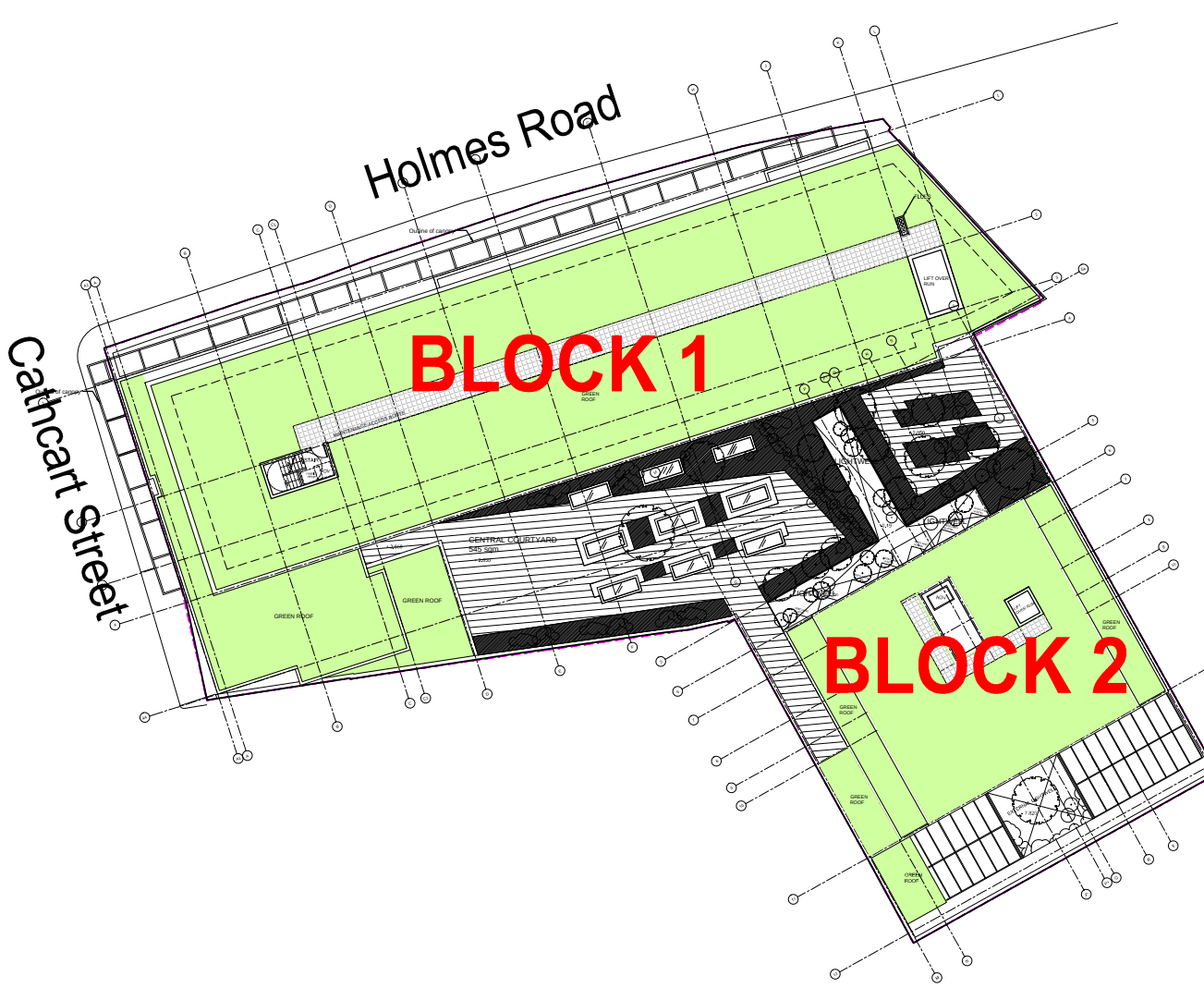


GROUND FLOOR

REVISIONS

Rev.	Date	By
A: Outline of canopy added,	22.11.13	HS
B: Showroom entrance ramp added, Flue ducting location amended.	08.01.14	SN
C: Showroom / warehouse cycle storage increased to 16 cycle spaces.	12.02.14	CT
D: - Rearrangement of rooms in "Block 2". - Area Warehouse Mezzanine converting to Social space and Study Rooms. - Rearrangement of Roof lights and light well over new social space and Study Rooms. - Rearrangement of Entrance Reception. - New Larger Lifts to accommodate cycles to basement level. - Rearrangement of Bin store.	15.08.15	SP
E: - Rearrangement of single and twin rooms in "Block 2". - Renumbering of single and twin rooms.	20.11.15	SP
F: - General plan amendments. - Revision Stair 1 - Electric risers	09.08.16	FP
G: - Stair 7 added as per Fire Strategy Requirement	08.02.18	FP

- Single studio (x10)
- Twin studio (x3)
- Double studio (x3)
- Social/Study area

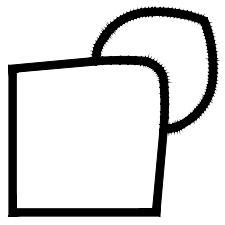


KEY PLAN

PLANNING APPLICATION

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Project Title

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65-69 HOLMES ROAD

Drawing Title

PROPOSED GROUND FLOOR PLAN

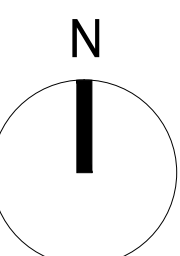
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Drawn: FP Checked: CT

Drawing No. 131050 A(GA)P100 Rev. G

CAD plot date:

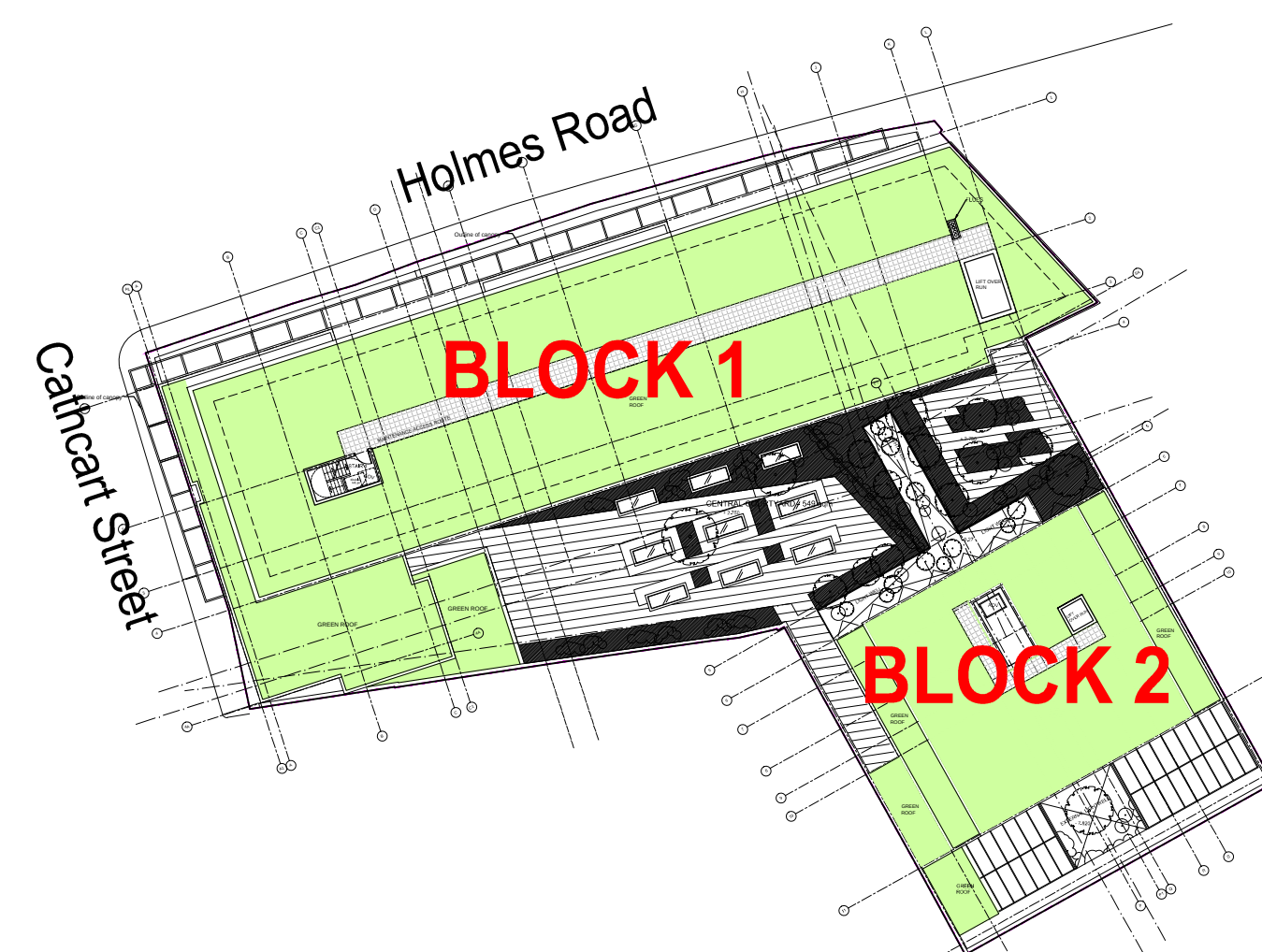
SCALE





REVISIONS		
Rev.	Date	By
A:	22.11.13	HS
Outline of canopy added, High level windows added to rear of delivery yard, Door next to fire escape stairs made solid Room T22 layout amended and window removed.		
B:	08.01.14	SN
Flue ducting location amended.		
C:	15.08.15	SP
Rearrangement of rooms in 'Block 2', Rearrangement of roof lights and light well over new social space and Study Rooms, New Larger Lifts to accommodate cycles to basement level.		
D:	20.11.15	SP
Rearrangement of single and twin rooms in 'Block 2', Renumbering of single and twin rooms.		
E:	21.06.16	FP
General plan amendments.		
F:	09.08.16	FP
Revision start 1, Electric risers, Central courtyard.		
G:	06.09.16	FP
Wheelchair accessible en-suite amended following Access and Service development Officer comments		

- Single studio (x23)
- Twin studio (x18)
- Double studio (x7)
- Disabled studio (x1)

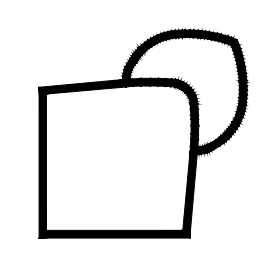


KEY PLAN

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Project Title
**B8/WAREHOUSE & STUDENT ACCOMMODATION
65-69 HOLMES ROAD**

Drawing Title
PROPOSED FIRST FLOOR PLAN

Scale	1: 100@A0 NTS@A3	Date	Sept 2016
Drawn	FP	Checked	CT
Drawing No.	131050 A(GA)P110	Rev.	G

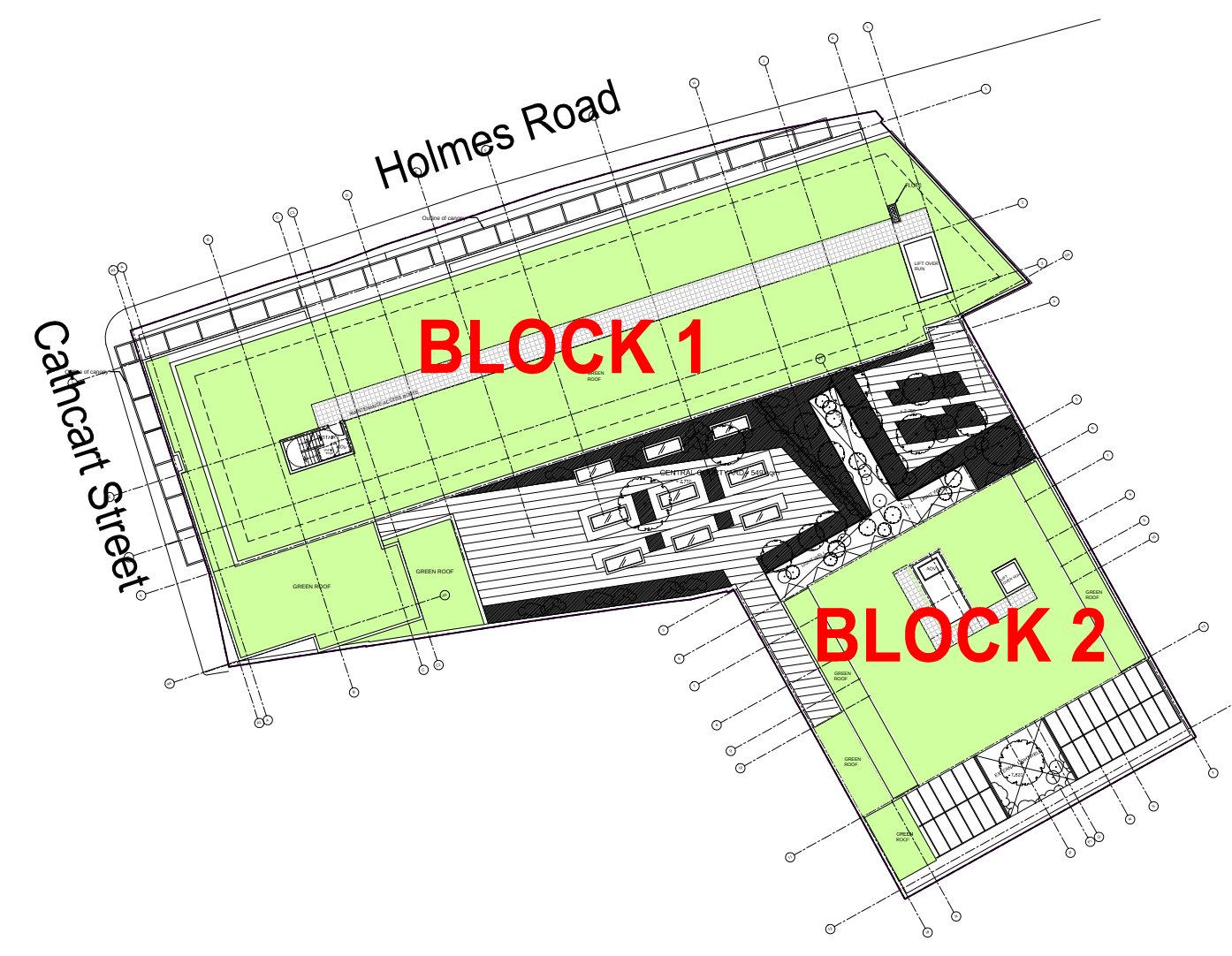
CAD plot date:



SECOND FLOOR

REVISIONS		
Rev.	Date	By
A: Outline of canopy added.	22.11.13	HS
B: Flue ducting location amended.	08.01.14	SN
C: - Rearrangement of rooms in 'Block 2'. - New Larger Lifts to accommodate cycles to basement level.	15.08.15	SP
D: - Rearrangement of single and twin rooms in 'Block 2'. - Renumbering of single and twin rooms.	20.11.15	SP
E: - General plan amendments.	21.06.16	FP
F: - General plan amendments. - Revision stair 1 - Electric risers	09.06.16	FP
G: - Wheelchair accessible en-suite amended following Access and Service development Officer comments	06.09.16	FP

- Single studio (x21)
- Twin studio (x13)
- Double studio (x5)
- Disabled studio (x6)
- Cluster studio (x8)

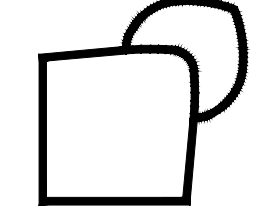


KEY PLAN

PLANNING APPLICATION

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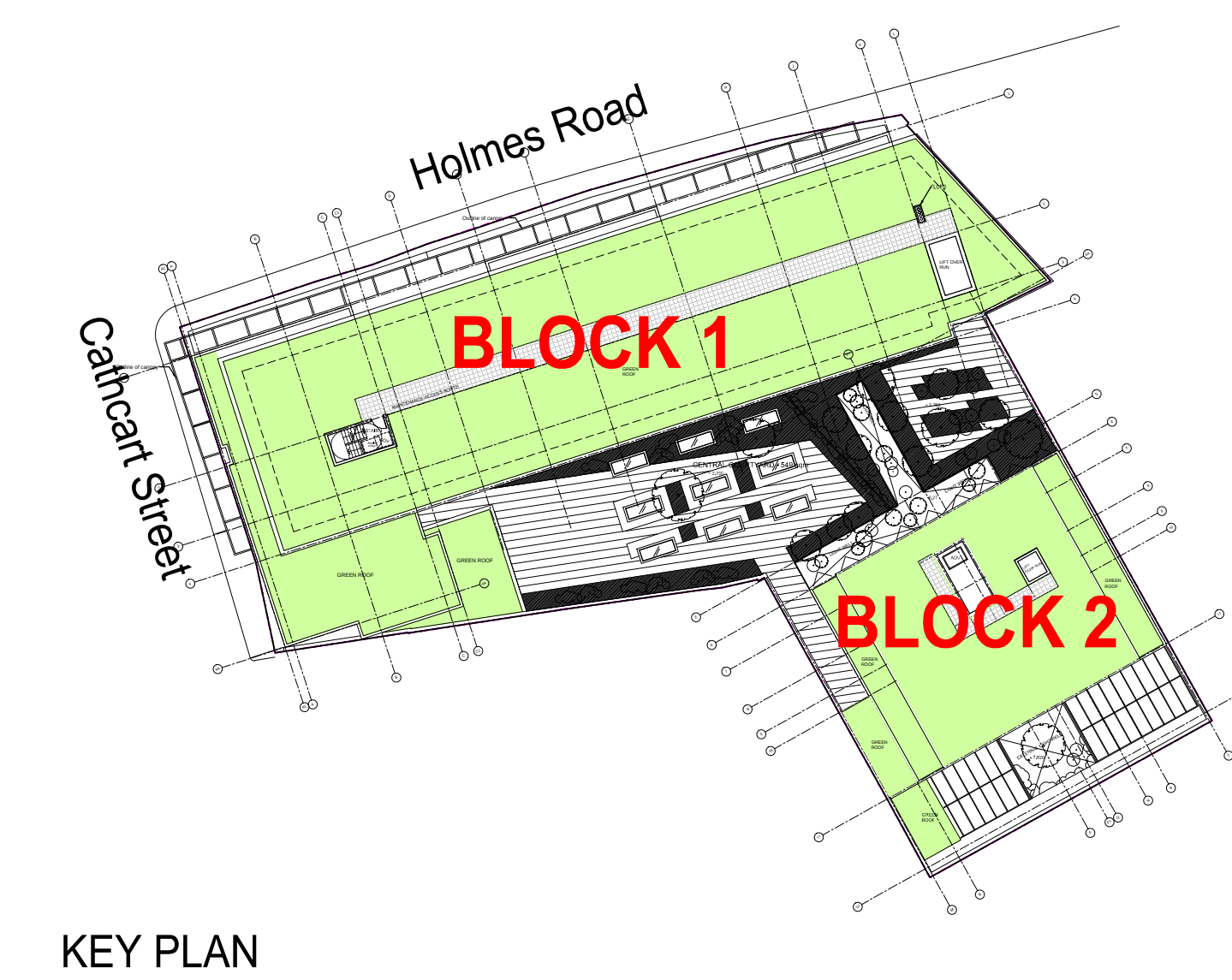
Client
HALLMARK PROPERTY GROUP

Project Title
**B8/WAREHOUSE & STUDENT ACCOMMODATION
65-69 HOLMES ROAD**

Drawing Title
PROPOSED SECOND FLOOR PLAN

Scale: 1: 100@A0 NTS@A3	Date: Sept 2016
Drawn: FP	Checked: CT
Drawing No: 131050 A(GA)P120	Rev: G

CAD plot date:



-  Single studio (x12)
-  Twin studio (x11)
-  Double studio (x4)
-  Disabled studio (x7)
-  Cluster studio (x8)

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B8/WAREHOUSE & STUDENT ACCOMMODATION
65-69 HOLMES ROAD

PROPOSED THIRD FLOOR PLAN

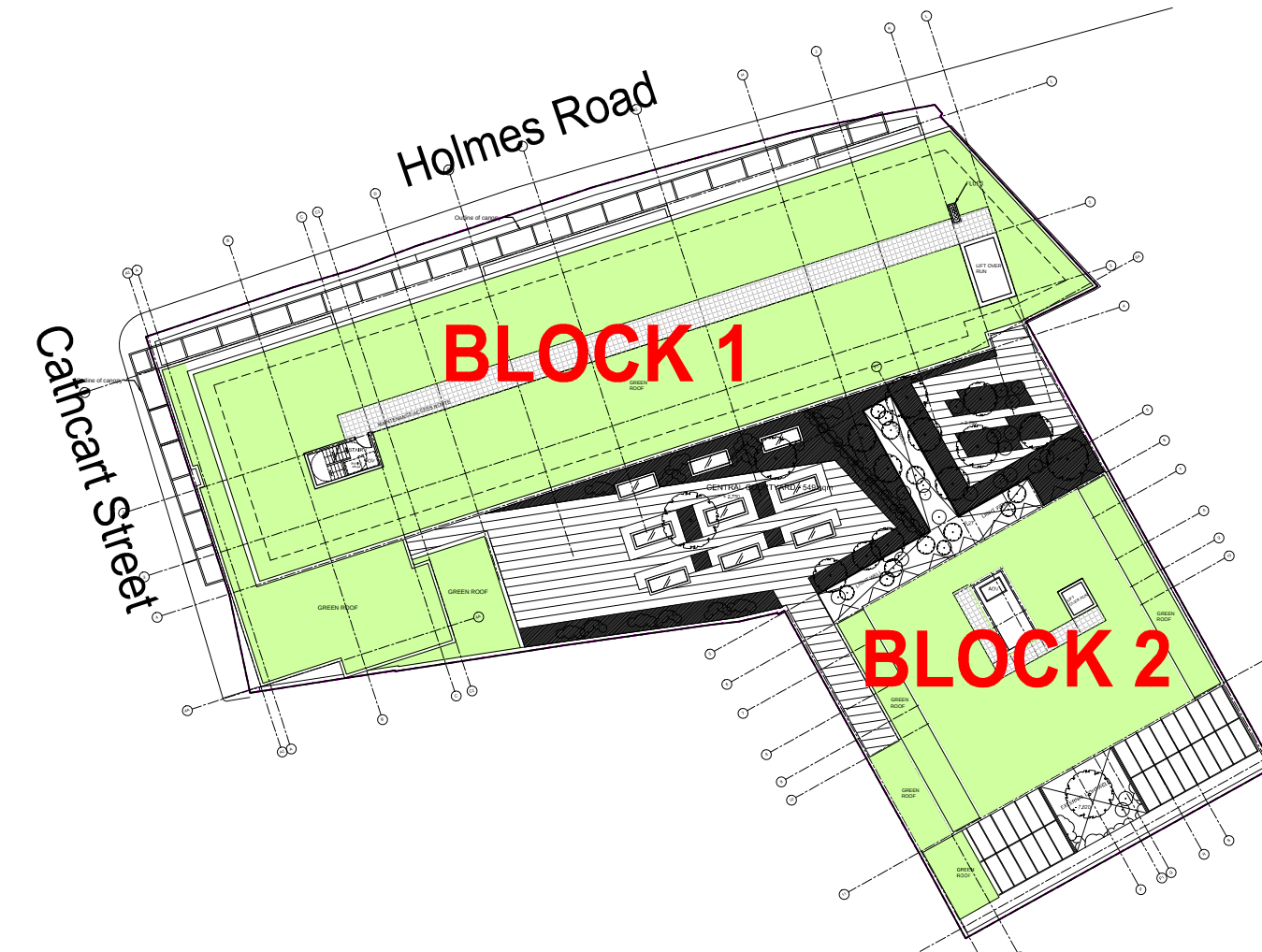
131050 A(GA)P130	G
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CAD plot date



REVISIONS		
Rev.	Date	By
A:	Outline of canopy added, Bedroom windows adjusted to match elevations.	22.11.13 HS
B:	Flue ducting location amended.	08.01.14 SN
C:	New Larger Lifts to accommodate cycles to basement level.	15.08.15 SP
D:	Renumbering of single and twin rooms.	20.11.15 SP
E:	General plan amendments.	21.06.16 FP
F:	General plan amendments.	09.08.16 FP
G:	Wheelchair accessible en-suite amended following Access and Service development Officer comments	06.09.16 FP

- Single studio (x12)
- Twin studio (x13)
- Double studio (x4)
- Disabled studio (x5)
- Cluster studio (x8)

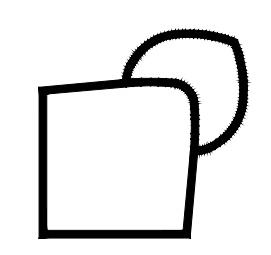


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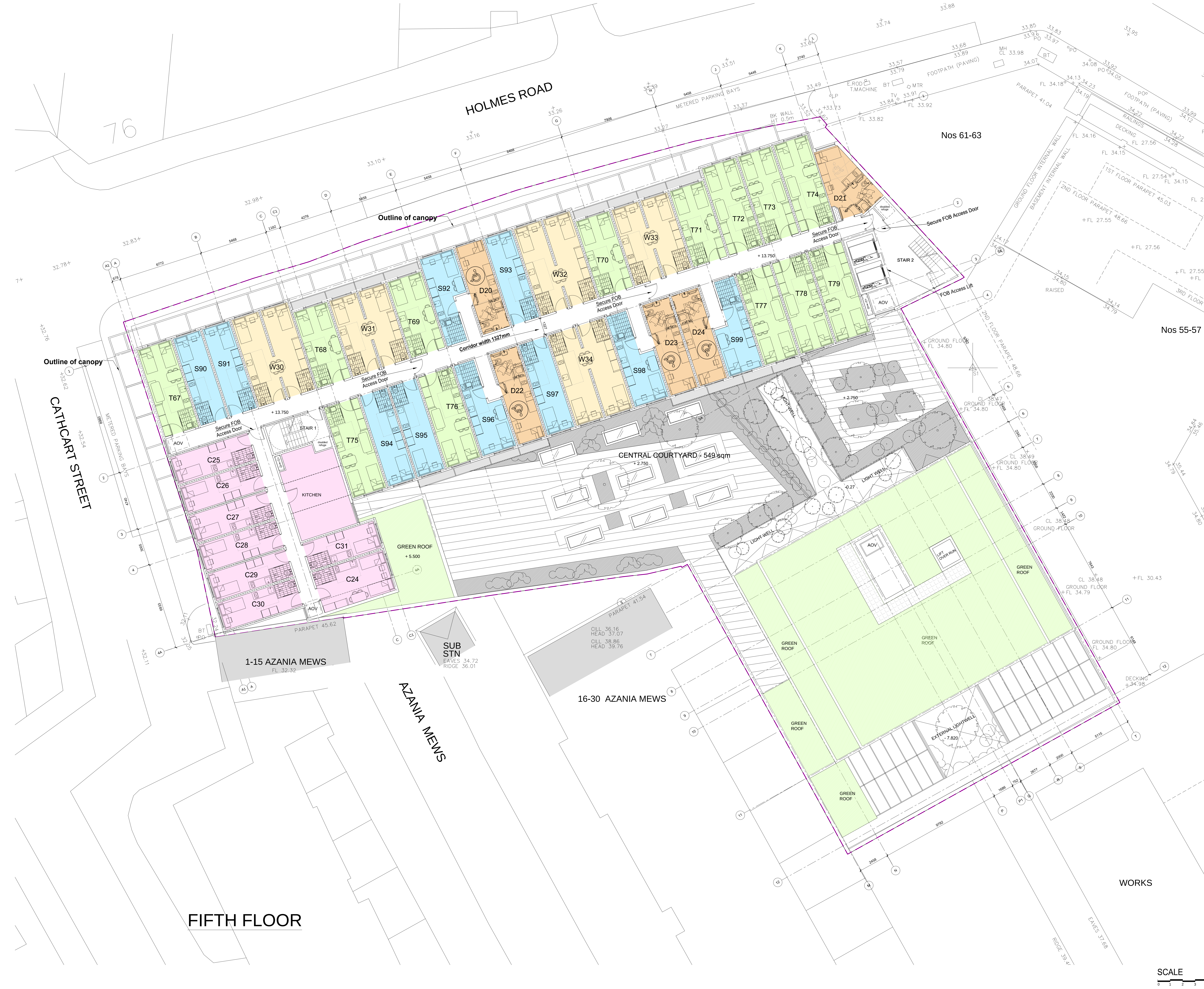
Client
HALLMARK PROPERTY GROUP

Project Title
**B8/WAREHOUSE & STUDENT ACCOMMODATION
65-69 HOLMES ROAD**

Drawing Title
PROPOSED FOURTH FLOOR PLAN

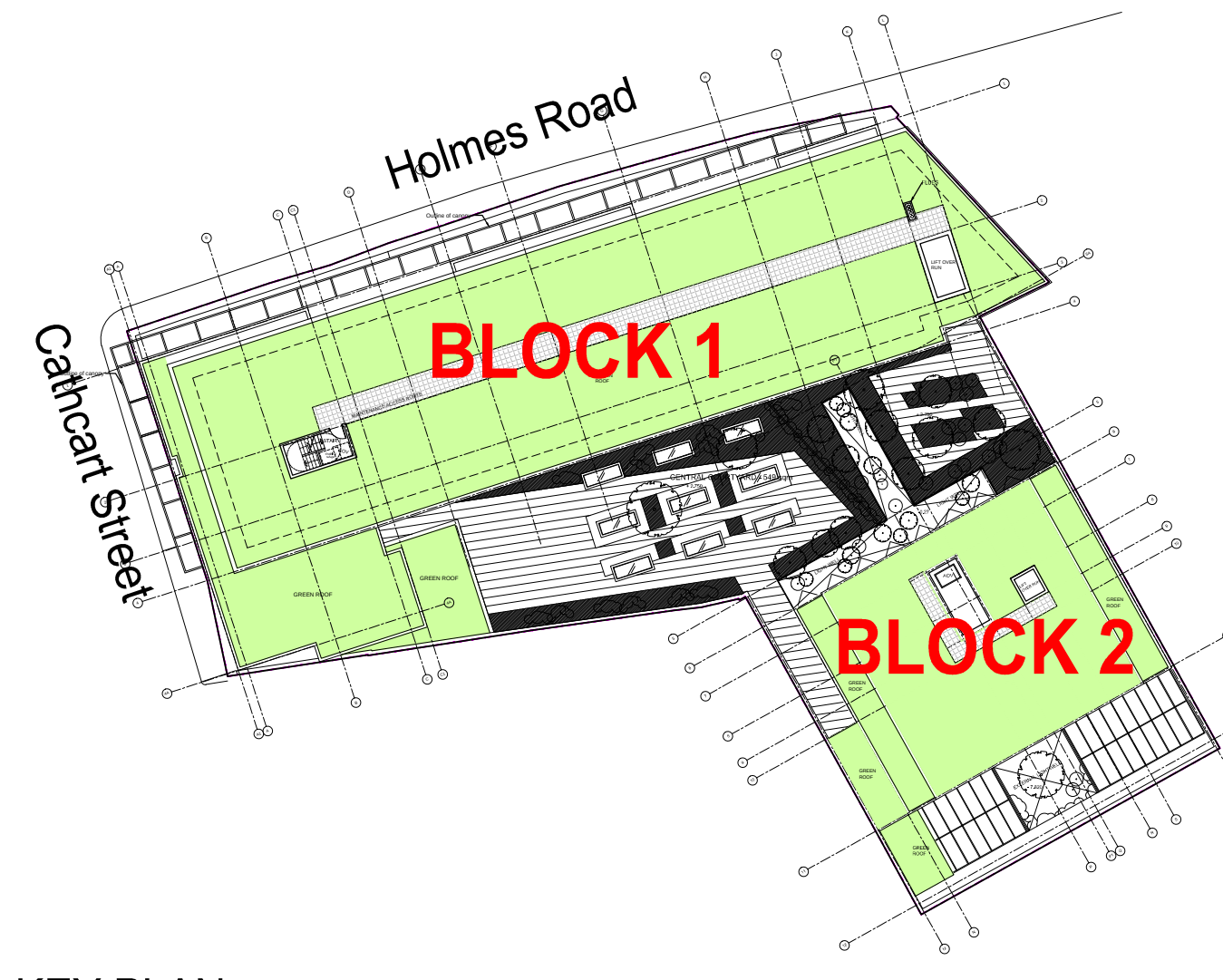
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Drawn	FP	Checked	CT
Drawing No.	131050 A(GA)P140	Rev.	G

CAD plot date:



REVISIONS		
Rev.	Date	By
A - Outline of canopy added. Bedroom windows adjusted to match elevations.	22.11.13	HS
B - Flue ducting location amended.	08.01.14	SN
C - New Larger Lifts to accommodate cycles to basement level.	15.08.15	SP
D - Renumbering of single and twin rooms.	20.11.15	SP
E - General plan amendments.	21.06.16	FP
F - General plan amendments	26.07.16	FP
G - Wheelchair accessible en-suite amended following Access and Service development Officer comments	06.09.16	FP

- Single studio (x10)
- Twin studio (x13)
- Double studio (x5)
- Disabled studio (x5)
- Cluster studio (x8)

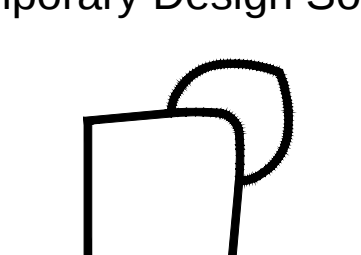


KEY PLAN

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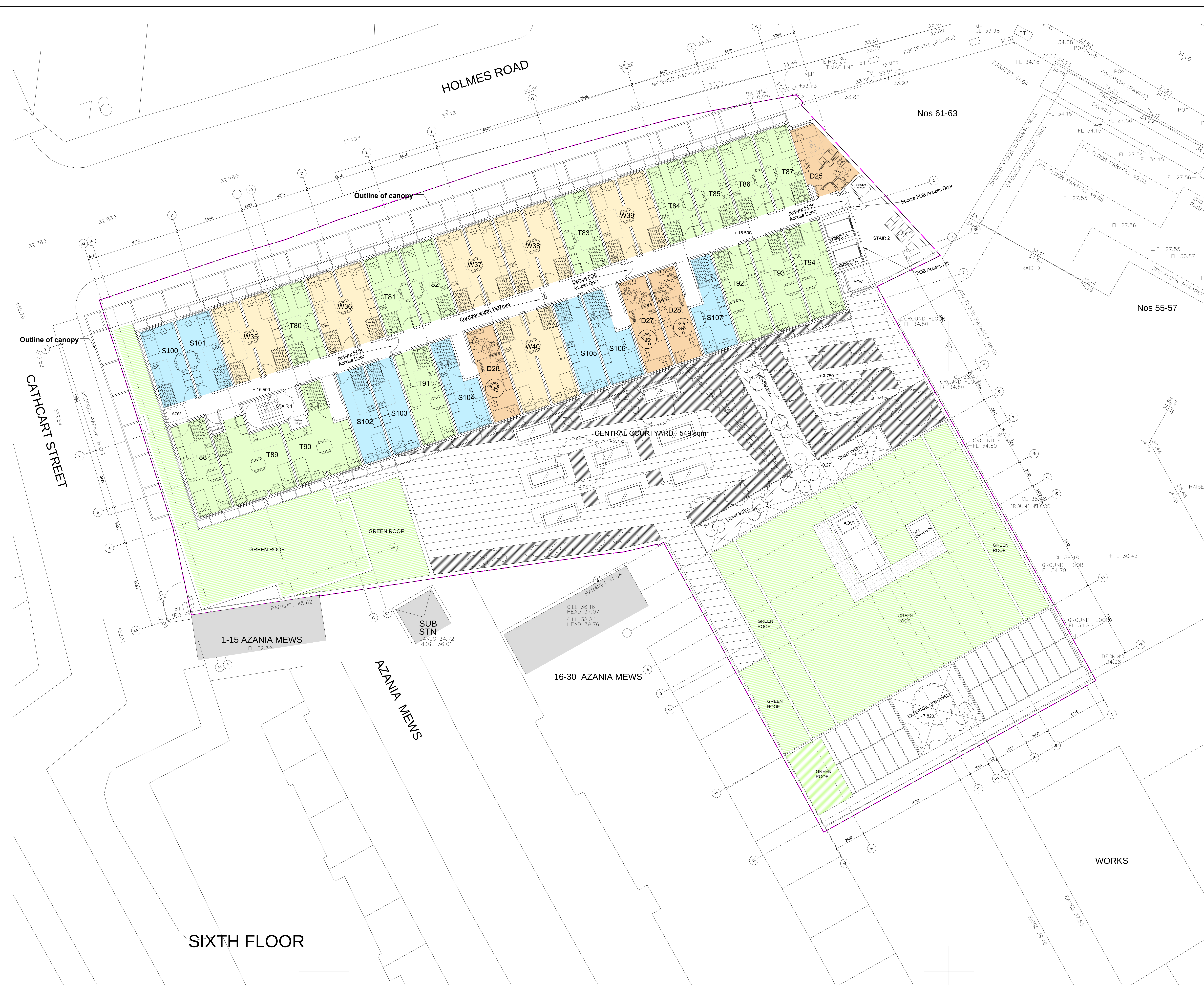
Client
HALLMARK PROPERTY GROUP

Project Title
**B8/WAREHOUSE & STUDENT ACCOMMODATION
65-69 HOLMES ROAD**

Drawing Title
PROPOSED FIFTH FLOOR PLAN

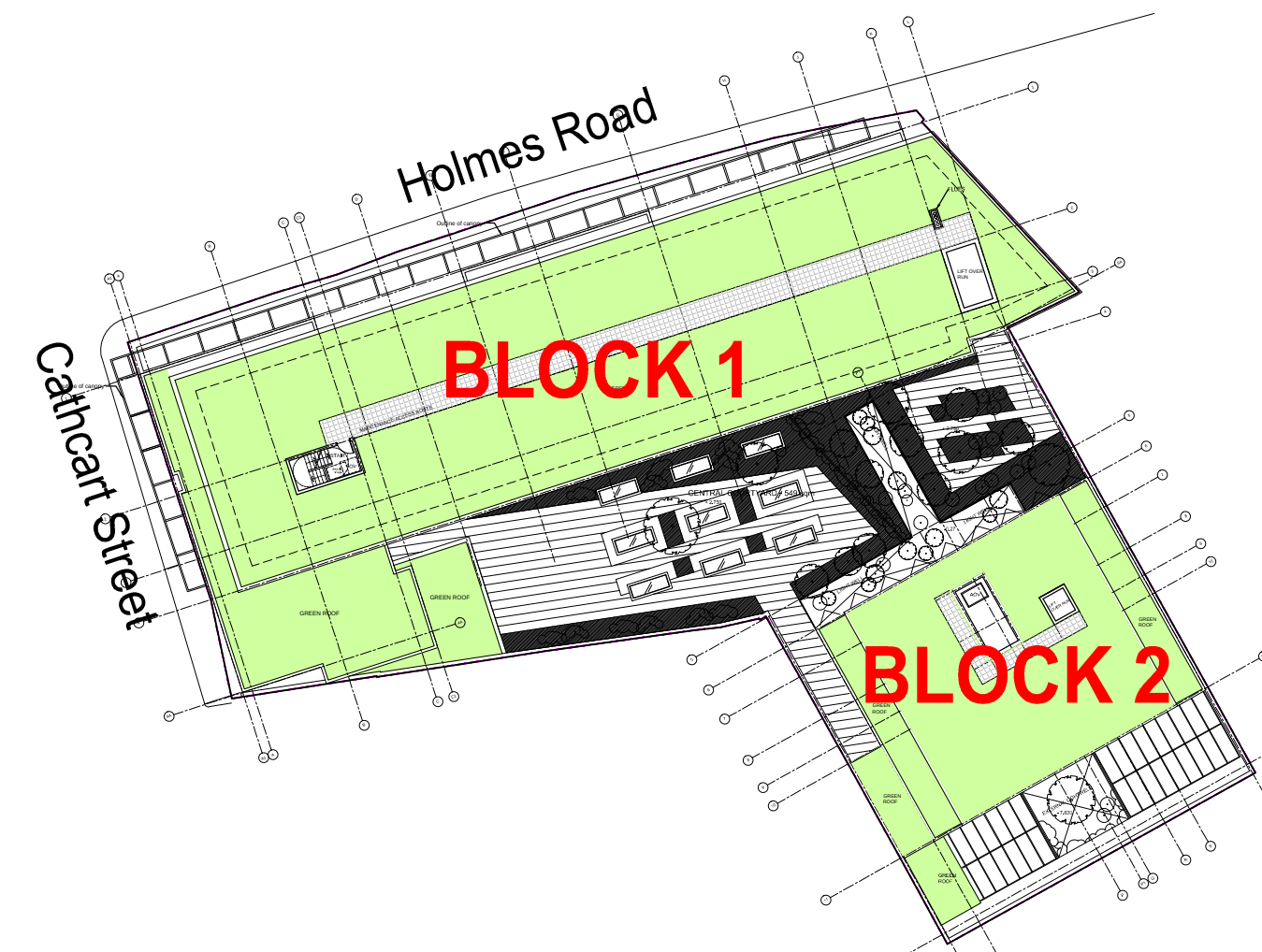
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Drawn	FP	Checked	CT
Drawing No.	131050 A(GA)P150	Rev.	G

CAD plot date:



REVISIONS		
Rev.	Date	By
A	22.11.13	HS
Outline of canopy added. Bedroom windows adjusted to match elevations. Cladding plan adjusted to match elevations.		
Window added to room 192.		
B	08.01.14	SN
Flue ducting location amended.		
C	15.08.15	SP
New Larger Lifts to accommodate cycles to basement level.		
D	20.11.15	SP
Re-numbering of single and twin rooms.		
E	21.06.16	FP
General plan amendments.		
F	21.06.16	FP
General plan amendments		
Revision Stair 1		
G	06.09.16	FP
Wheelchair accessible en-suite amended following Access and Service development Officer comments		

- Single studio (x8)
- Twin studio (x15)
- Double studio (x6)
- Disabled studio (x4)

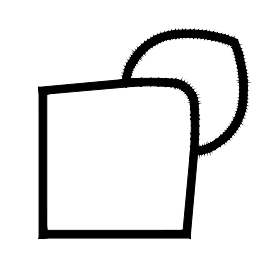


KEY PLAN

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65-69 HOLMES ROAD**

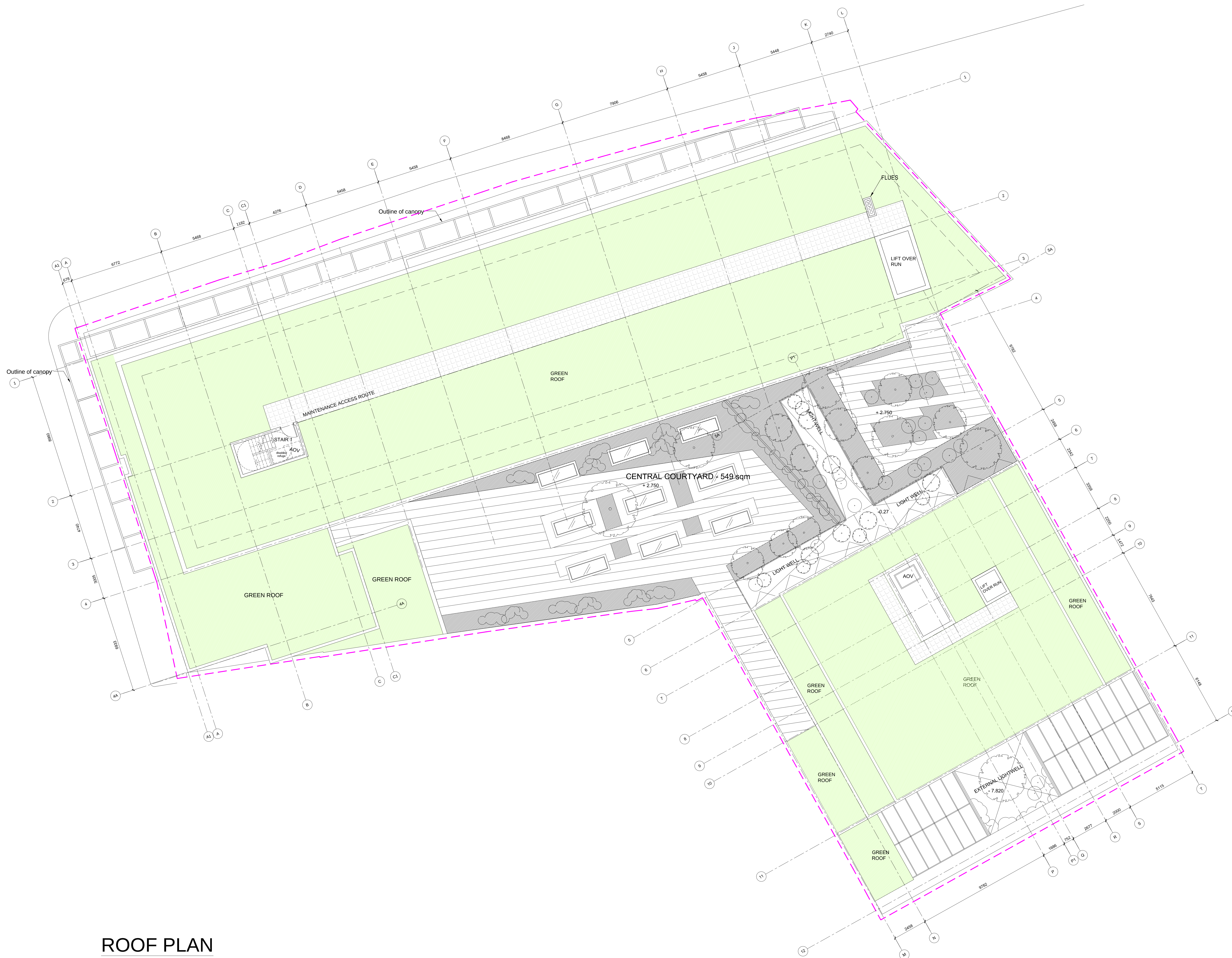
Drawing Title
PROPOSED SIXTH FLOOR PLAN

Scale	1: 100@A0 NTS@A3	Date	Sept 2016
Drawn	FP	Checked	CT
Drawing No.	131050 A(GA)P160	Rev.	G

CAD plot date:

REVISIONS

Rev.	Date	By
A: Outline of canopy added, Outline of cladding added	22.11.13	HS
B: Flue ducting location amended	15.08.15	SP
C: General plan amendments	21.08.16	FP
D: General plan amendments Revision Stair 1	09.08.16	FP

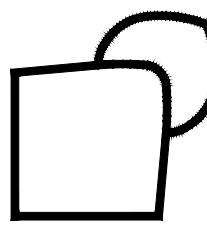


ROOF PLAN

PLANNING APPLICATION

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65-69 HOLMES ROAD

Drawing Title

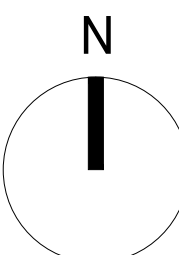
PROPOSED ROOF PLAN

Scale 1: 100@A0 NTS@A3 Date Aug 2016

Drawn FP Checked CT

Drawing No. 131050 A(GA)P170 Rev. D

CAD plot date:



SCALE
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