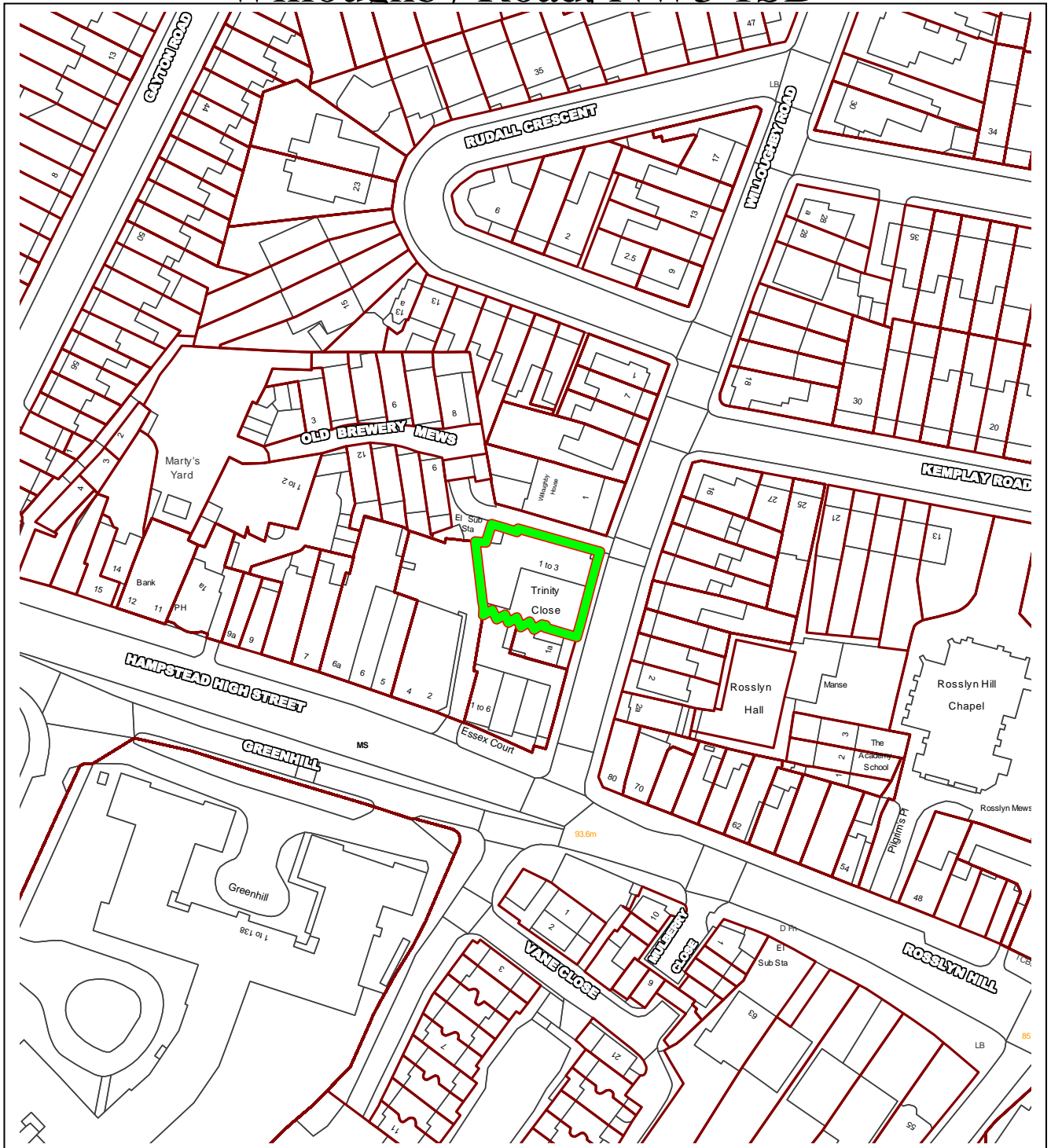


2017/6507/P – 3 Trinity Close, Willoughby Road, NW3 1SD



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1. Trinity Close photograph taken from Willoughby Road - red dots denote living area windows of no.1



2. Front/side of 3 Trinity Close



3. Photograph taken from no.1 living area showing roof of no.3 and no.2 (including existing roof light at no.2)



4. Previously approved plan of no.3 showing 8 x front facing roof lights (Ref: 2013/7665/P dated 27/08/2014)

Delegated Report		Analysis sheet		Expiry Date:	31/01/2018
(Members Briefing)		N/A / attached		Consultation Expiry Date:	04/01/2018
Officer			Application Number(s)		
Ben Farrant			2017/6507/P		
Application Address			Drawing Numbers		
3 Trinity Close Willoughby Road London NW3 1SD			Please refer to draft decision notice		
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature		
Proposal(s)					
Installation of 1 x rooflight to front roof slope					
Recommendation(s):		Grant conditional planning permission			
Application Type:		Householder application			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:	No. notified	0	No. of responses	0	No. of objections	3
Summary of consultation responses:	<p>A site notice was displayed on 07/12/2017 (consultation end date 28/12/2017), and a press notice was displayed on 14/12/2017 (consultation end date 04/01/2018).</p> <p>3 objections were received in response to the public consultation, the results of which are summarised below:</p> <p><u>1 Trinity Close</u></p> <ul style="list-style-type: none"> • Loss of privacy • Whilst no.2 has a rooflight, the acute angle between the properties means privacy is not as harmed as proposed in this application • Inaccurate drawings, internal floor levels are higher than shown increasing the potential for overlooking <p><u>10 Willoughby Road</u></p> <ul style="list-style-type: none"> • Loss of privacy <p><u>12 Willoughby Road</u></p> <ul style="list-style-type: none"> • Loss of privacy <p><u>Officer Response:</u></p> <ul style="list-style-type: none"> • <i>The proposed addition is considered not to result in undue harm to neighbouring privacy and refusal is not warranted on this basis. Please see section 4 of the main report for further discussion.</i> • <i>Further plans were submitted following these comments clarifying the internal height and position of the roof light, given the minor nature of the alterations no further consultation was required, however the plans are publically available on the Council's website. The plans are considered accurate for the determination of the application. Please see section 2 of the main report for further discussion</i> 					

Site Description

The site is a two storey building (plus roof extension and basement addition) on the western side of Willoughby Road off of Trinity Close. The 3 properties which constitute Trinity Close face onto a central hard landscaped courtyard/driveway.

The site is within the Hampstead Conservation Area, and is noted as a positive contributor within the Hampstead Conservation Area Statement. There are no nearby listed buildings which would be impacted as a result of the proposal.

Relevant Planning History

3 Trinity Close (application site)

2013/7665/P - Replacement of front extension and installation of railings at front boundary at ground floor level; installation of skylights within roof slope and minor alterations to fenestration in side elevation – **Granted 27/08/2014** – application included the installation of 8no. front facing conservation style rooflights, however the permission was not implemented.

Relevant policies

National Planning Policy Framework (2012)

London Plan (2016)

Camden Local Plan (2017)

A1 Managing the impact of development

D1 Design

D2 Heritage

Camden Planning Guidance

CPG1 Design (2015)

CPG6 Amenity (2011)

Hampstead Conservation Area Statement (October 2001)

Assessment

1. The proposal

1.1. This application seeks planning permission for the following works:

- Installation 1 x front facing rooflight

2. Revisions

2.1. The following revisions were received during the course of the application:

- Clarification of the internal height and position of the proposed roof light. It was confirmed that no alterations to the existing internal levels is proposed, this was shown on updated plans; given the minor nature of the alteration no further consultation was required, however the amended plans are publically available on the Council's website.

3. Conservation and design

- 3.1. The application site is located within the Hampstead Conservation Area, wherein the Council has a statutory duty to pay special attention to the desirability of preserving or enhancing the character and appearance of that area.
- 3.2. The planning history of the site and surrounding area has been considered when determining this application, and it is acknowledged that 8no. conservation style rooflights have been previously approved on this front facing roofslope (ref: 2013/7665/P dated 27/08/2014). It is also noted that a similarly styled and positioned roof light to that proposed here exists at no.2 Trinity Close.
- 3.3. The proposed rooflight is considered to be of a simple siting, scale and design and subject to a condition ensuring it is conservation style finishing flush with the slope of the roof, would not result in harm to the character, appearance or historic interest of the host building or conservation area. The rooflight would sit within and would not visually dominate the front roofslope, remaining in accordance with the requirements of CPG1 (Design). Whilst the proposed addition would be publically visible, it would not serve to cause harm to these views, nor would it harm the surrounding conservation area or any nearby listed buildings.
- 3.4. Given the above assessment, the proposal is considered to be acceptable in terms of design in accordance with Policies D1 and D2 of the London Borough of Camden Local Plan (2017).

4. Impact on Neighbour Amenity

- 4.1. Policy A1 of the Local Plan seeks to protect the quality of life of neighbouring occupiers. The factors to consider include: visual privacy and outlook; sunlight, daylight and overshadowing; artificial light levels; noise and vibration.
- 4.2. In this instance the only potential impact from the development would be on neighbouring privacy. Whilst it is acknowledged that the proposed rooflight would face towards the central courtyard area of Trinity Close, and would to some extent allow views towards no.1 Trinity Close in particular, the loss of privacy is considered not to constitute undue harm to these neighbouring residential amenities. There is already a level of overlooking between these neighbouring properties (i.e. at 1st floor level windows), and given the separation distance of the proposed rooflight (approx.9.5m), coupled with the oblique angle of any views afforded towards no.1, the proposed rooflight would not represent undue harm to neighbouring properties and refusal is not warranted on this basis. The development would not result in the loss of any outlook or natural light to any neighbouring resident and the level of artificial light spill from a window of this size and position would not result in undue harm.
- 4.3. Overall, the proposal is considered to be acceptable in terms of its impact on privacy, outlook, sunlight, daylight, overshadowing, artificial light levels, noise, and vibration.

Recommendation:

Grant conditional planning permission

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 12th February 2018, nominated members will advise whether they consider this

application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

James Little
Cool Basements Ltd
Clarendon House
42 Clarence Street
Cheltenham
GL50 3PL

Application Ref: **2017/6507/P**
Please ask for: **Ben Farrant**
Telephone: 020 7974

6 February 2018

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Householder Application Granted

Address:
**3 Trinity Close
Willoughby Road
London
NW3 1SD**

DECISION

Proposal:

Installation of 1 x rooflight to front roof slope

Drawing Nos: Location Plan (unnumbered), EE02, 273/01, 273/02, 17/275/02, 17/275/03
& 17/275/04

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

Executive Director Supporting Communities



- 2 The development hereby permitted shall be carried out in accordance with the following approved plans: Location Plan (unnumbered), EE02, 273/01, 273/02, 17/275/02, 17/275/03 & 17/275/04.

Reason:

For the avoidance of doubt and in the interest of proper planning.

- 3 The roof light hereby approved shall be conservation style finishing flush with the plain of the roof.

Reason: To safeguard the appearance of the premises and the character of the conservation area in accordance with the requirements of policy D1 & D2 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Noise and Licensing Enforcement Team, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (Tel. No. 020 7974 4444 or search for 'environmental health' on the Camden website or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Director of Regeneration and Planning