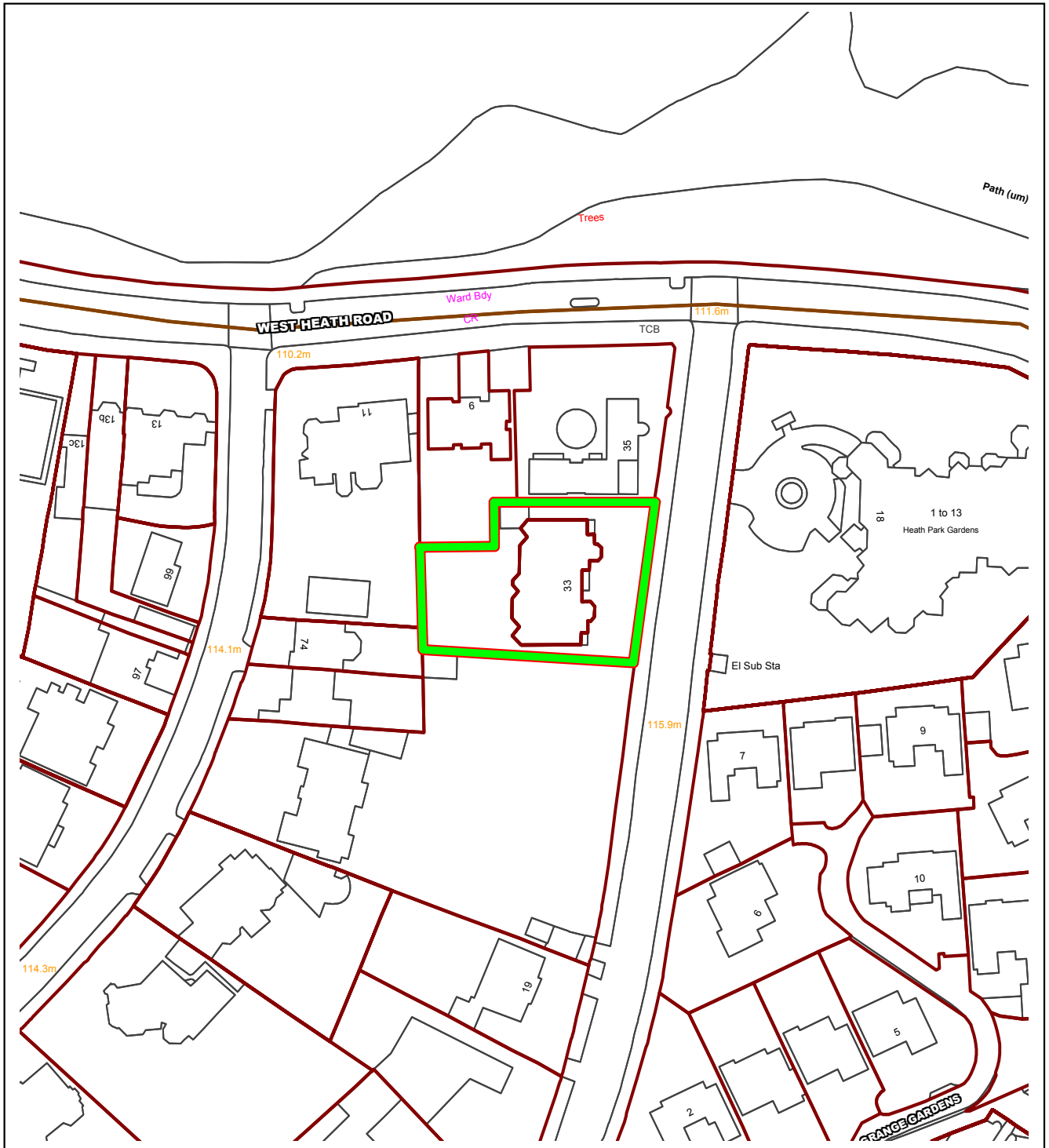


33 Flat 4 Temple Heath Lodge Templewood
Avenue NW3 7UY 2017/5960/P



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1. Subject window in red outline





2 -3 Rear elevation of subject property



4- 5 Rear elevation and subject window (above rear conservatory extension)

Delegated Report (Members Briefing)		Analysis sheet		Expiry Date:	16/02/2018
		N/A / attached		Consultation Expiry Date:	15/12/2017
Officer			Application Number(s)		
Lisa McCann			2017/5960/P		
Application Address			Drawing Numbers		
Flat 4, 33 Temple Heath Lodge Templewood Avenue London NW3 7UY			See draft decision notice		
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature		
Proposal(s)					
Proposed replacement of kitchen window to flat.					
Recommendation(s):		Grant Planning Permission			
Application Type:		Full Planning Permission			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice			
Informatives:				
Consultations				
Adjoining Occupiers:	No. of responses	00	No. of objections	00
Summary of consultation responses:	<p>A site notice was displayed on 24/11/2017 and expired on 15/12/2017.</p> <p>A press notice was advertised on 23/11/2017 and expired on 14/12/2017.</p>			
Hampstead Conservation Area Advisory Committee comments:	<p>The <u>Hampstead Conservation Area Advisory Committee</u> have objected on the following grounds:</p> <ul style="list-style-type: none"> • Proposal does not match adjacent windows and would be an oddity in the elevation. <p>Officer response:</p> <p><i>Please refer to paragraph 3.2 of the report</i></p>			

Site Description

The application site is a 3-storey block of flats in modern brick design idiom with mansard roof extension, located on the west side of Templewood Avenue near its junction with West Heath Road and the listed Schreiber House. The site is in the Redington/Frognaal Conservation Area.

Relevant History

2010/3417/P - Extension of existing canopy over main entrance of existing residential property (Class C3) - **Granted 24-08-2010**

PWX0103131 – Erection of two small extensions at first floor level over existing balcony areas - **Granted 26-03-2001**

PWX0202676 - Erection of roof extension at second floor level, as shown on drawing numbers: 421/001, 002, and 003 - **Granted 05-11-2002**

9100290 - Erection of a three storey residential block providing 4 self-contained flats and underground car parking - **Granted 18-07-1991**

Relevant policies

National Planning Policy Framework (2012)

London Plan 2016

Camden Local Plan 2017

A1 Managing the impact of development

D1 Design

D2 Heritage

Camden Planning Guidance

CPG1 Design (2015)

CPG6 Amenity (2011)

Redington Frogna Conservation Area Statement (2000)

Assessment

1.0 Proposal

1.1 This application seeks planning permission for the following:

- Replacement of timber framed window at first floor level with larger timber framed window.

2.0 Revisions

2.1 Revised plans were received during the course of the application which were annotated to specify that the proposed materials would match the existing timber window frame material. The revised plans also included the rear conservatory extension which is currently in situ at the rear of the subject property.

3.0 Assessment

3.1 The main planning considerations in the assessment of this application are:

- Design (the impact that the proposal has on the character of the host property as well as that of the wider street scene and Redington Frogna Conservation Area);
- Amenity (the impact of the proposal on the amenity of adjoining occupiers).

4.0 Design

4.1 Local Plan Policies D1 (Design) and D2 (Heritage) are aimed at achieving the highest standard of design in all developments. Policy D1 requires development to be of the highest architectural and urban design quality, which improves the function, appearance and character of the area; and Policy D2 states that the Council will preserve, and where appropriate, enhance Camden's rich and diverse heritage assets and their settings, including conservation areas.

4.2 The proposed timber frame material for the replacement window is considered appropriate and the scale and design would respect the context of the host building and site surroundings. It is noted that the proposed window is slightly larger than the existing, however this is considered to be a modest alteration to the rear elevation of the subject property which would not give rise to any harm to the character of the host building. Furthermore, its limited visibility from the public realm would ensure that no significant harm is caused to the appearance of the surrounding conservation area.

4.3 Within this context, it is considered that the proposed development, by virtue of the high quality materials proposed and sympathetic scale and design of the development, would be in keeping with the character of the host property and would preserve the character and appearance of the surrounding conservation area. The replacement window would not cause harm to the setting of any nearby listed building or structure.

4.4 Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area and the special importance of nearby listed buildings under

s.16 and s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013. The proposal is not considered to have a significant impact on the character of the conservation area given its limited visibility from the public realm.

5.0 Amenity

5.1 Policy A1 seeks to protect the amenity of Camden's residents by ensuring the impact of development is fully considered. It seeks to ensure that development protects the quality of life of occupiers and neighbours by only granting permission for development that would not harm the amenity of neighbouring residents. This includes privacy, outlook, daylight and sunlight. CPG6 (Amenity) provides specific guidance with regards to privacy, overlooking and outlook.

5.2 As the proposed window would replace the existing there would be no increase in overlooking, as such the proposal would not harm the amenity of adjoining occupiers. The works would not cause a loss of outlook or daylight to any neighbouring resident. No new openings are being created and no amenity concerns are therefore raised.

6.0 Conclusion

6.1 The proposed development is considered acceptable in terms of both design and impact on amenity.

6.2 Grant Conditional Planning Permission.

DISCLAIMER

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 12th February 2018, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Mr Mark Eldridge
Huntsman Eldridge Surveyors Ltd
17 Devonshire Mews
Chiswick
London
W4 2HA

Application Ref: **2017/5960/P**
Please ask for: **Lisa McCann**
Telephone: 020 7974

2 February 2018

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:
**33 Flat 4 Temple Heath Lodge
Templewood Avenue
London
NW3 7UY**

DECISION

Proposal:
Proposed replacement of kitchen window to flat.
Drawing Nos: Unnumbered location plan, 1235 201b, 1235 205b, 1235 101a, 1235 105a,
1235 1210.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

Executive Director Supporting Communities



- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans:

Unnumbered location plan, 1235 201b, 1235 205b, 1235 101a, 1235 105a, 1235 1210.

Reason:

For the avoidance of doubt and in the interest of proper planning.

DRAFT

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Noise and Licensing Enforcement Team, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (Tel. No. 020 7974 4444 or search for 'environmental health' on the Camden website or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Director of Regeneration and Planning