

Matt Corcoran
Argyle House
Joel Street
H6 1NW

Application Ref: **2017/1912/P**
Please ask for: **Gideon Whittingham**
Telephone: 020 7974 **5180**

8 February 2018

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Approval of Details Granted

Address:
254 Kilburn High Road
London
NW6 2BS

Proposal:
Details required by Conditions 6 (landscaping), 10 (cycle storage) and 12 (refuse) granted under reference 2015/2775/P dated 22/12/2016 (Redevelopment to provide a mixed use development, comprising the six storey of commercial space (Classes B1 and B8) and 60 dwelling).

Drawing Nos: 3144_030 (Condition 6); 3144_025 (Condition 12) and 3144_020 Rev D and 3144_021 (Condition 10).

The Council has considered your application and decided to grant permission.

Informative(s):

- 1 Reasons for granting permission:

With regard to Condition 6, the hard and soft landscaping details are considered to be suitable for the site and an improvement on the existing landscaping. The paving is permeable in line with the specifics of the condition.



With regard to Condition 10, the cycle storage, by virtue of their size and accessibility, provides secure and covered storage which would meet the Council's cycle storage standards. Although the movement of these spaces from within the building to outside are not optimal, the relocation affords improved configuration for the commercial units and associated residential cores, which is considered to outweigh this imposition.

With regard to Condition 12, the refuse store has an internal measurement of 42sqm. This provides sufficient space for both waste and recycling. It is recommended that the above conditions be discharged.

The full impact of the proposed development has already been assessed. The proposed details would not have a harmful impact on the appearance of the host buildings and streetscene, on the character of the conservation area or on neighbouring amenity.

As such, the proposed development is in general accordance with policies CS14; CS15; CS5; CS11 of the London Borough of Camden Local Development Framework Core Strategy and policies DP17; DP24; DP26 of the London Borough of Camden Local Development Framework Development Policies. The proposed development also accords with the London Plan 2016 and the National Planning Policy Framework 2012.

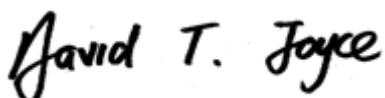
- 2 You are reminded that conditions 3 (samples), 4 (facing brickwork), 9 (contamination), 11 (privacy), 15 (bird and bat boxes), and 18 (sound attenuation) of planning permission ref 2015/2775/P dated 22/12/2016 are outstanding and require details to be submitted and approved.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully



David Joyce
Director of Regeneration and Planning