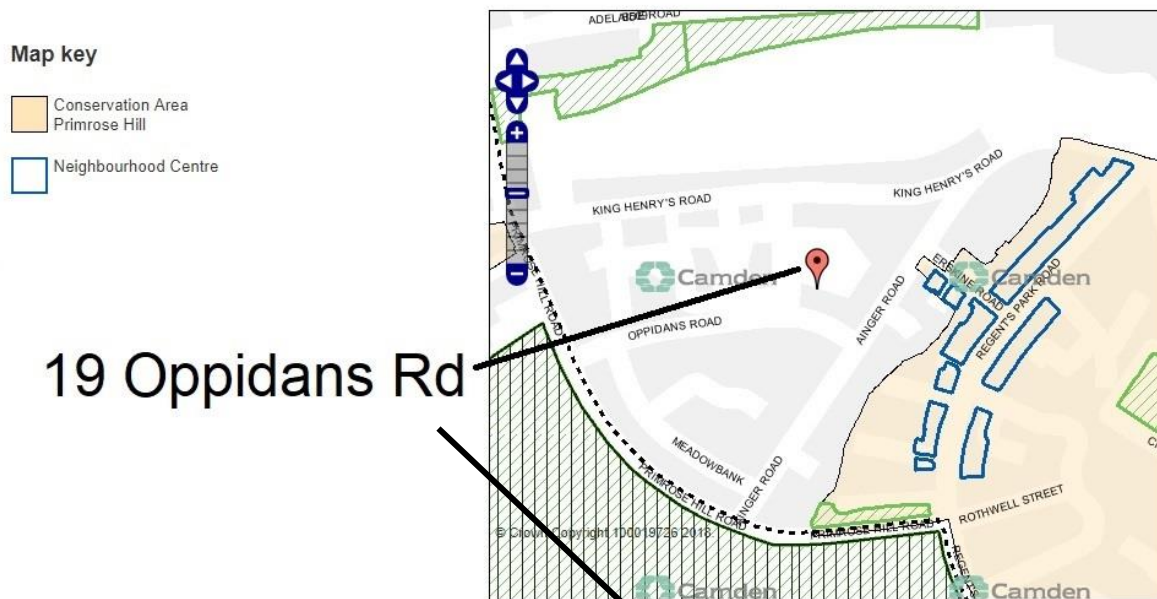


19 OPPIDANS ROAD – LONDON NW3 3AG

STATEMENT IN SUPPORT OF AN APPLICATION FOR A CERTIFICATE OF LAWFULLNESS FOR A PROPOSED USE

THE SITE

The application site is an existing single family dwelling house on the northern side of Oppidans road. The site is not within a conservation area.



AERIAL VIEW TO REAR OF OPPIDANS ROAD



REAR ELEVATION



FRONT ELEVATION

THE PROPOSAL

The proposal is to add a full width dormer window to the rear of the property.

PERMITTED DEVELOPMENT RIGHTS

The house is a single family dwelling and is outside the area of the Primrose Hill conservation area and therefore is not within article 1(5) land. It is not subject to an article 4 directive. The property therefore does have permitted development rights.

This statement sets out the criteria by which the proposed development accords with the criteria within the General Permitted Development Order (1995) (As Amended)

PROPOSED REAR DORMER WINDOW

The proposed roof enlargement and new dormer window would come under class B of the GPDO

Class B

This provides permitted development rights for the enlargement of a house consisting of an addition or alteration to its roof.

Under Class B the following limits and conditions apply:

B.1 Development is not permitted by Class B if –

(a) any part of the dwellinghouse would, as a result of the works, exceed the height of the highest part of the existing roof **DOES NOT APPLY**

(b) any part of the dwellinghouse would, as a result of the works, extend beyond the plane of any existing roof slope which forms the principal elevation of the dwellinghouse and fronts a highway **DOES NOT APPLY**

(c) the cubic content of the resulting roof space would exceed the cubic content of the original roof space by more than -

(i) 40 cubic metres in the case of a terrace house, **ADDED CUBIC CONTENT IS MEASURED AS CROSS SECTIONAL AREA OF NEW DORMER (1/2 WIDTH X HEIGHT OR $4M/2 \times 1.7M$ HIGH = $3.4M^2$ X LENGTH OF DORMER OF 5.4M TO GIVE INCREASE IN VOLUME OF 18.46M³ AND THEREFORE BELOW THE 40M³ MAXIMUM PERMITTED**

or

(ii) 50 cubic metres in any other case **DOES NOT APPLY**

For the purposes of Class B “resulting roof space” means the roof space as enlarged, taking into account any enlargement to the original roof space, whether permitted by this Class or not.

(d) it would consist of or include -

(i) the construction or provision of a veranda, balcony or raised platform, or **DOES NOT APPLY**

(ii) the installation, alteration or replacement of a chimney, flue or soil and vent pipe **DOES NOT APPLY**

(e) the dwellinghouse is on article 1(5) land **DOES NOT APPLY**

Conditions

B.2 Development is permitted by Class B subject to the following conditions –

(a) the materials used in any exterior work shall be of a similar appearance to those used in the construction of the exterior of the existing dwellinghouse **THE NEW DORMER WINDOW WOULD HAVE PAINTED TIMBER WINDOWS AND SLATED CHEEKS**

(b) the enlargement shall be constructed so that –

(i) other than in the case of a hip-to-gable enlargement or an enlargement which joins the original roof to the roof of a rear or side extension – (aa) the eaves of the original roof are maintained or reinstated; and (bb) the edge of the enlargement closest to the eaves of the original roof shall, so far as practicable, be not less than 20 centimetres from the eaves, measured along the roof slope from the outside edge of the eaves; and **THE NEW DORMER WINDOW IS SET IN 200MM FROM THE ORIGINAL EAVES**

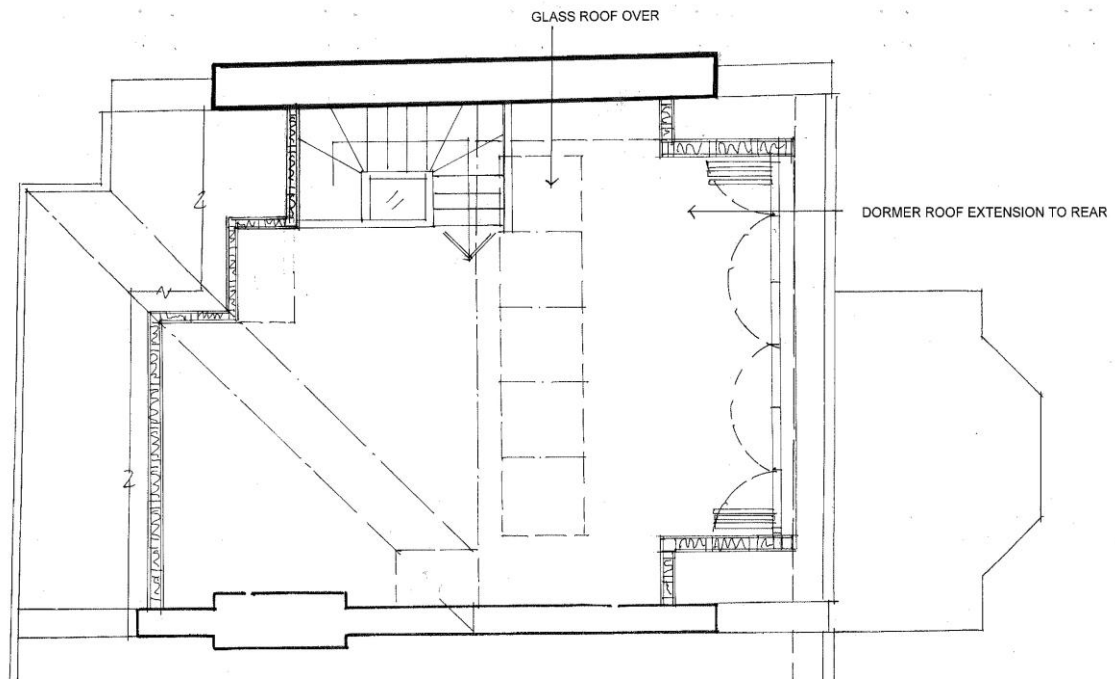
(ii) other than in the case of an enlargement which joins the original roof to the roof of a rear or side extension, no part of the enlargement extends beyond the outside face of any external wall of the original dwellinghouse **DOES NOT APPLY**

(c) any window inserted on a wall or roof slope forming a side elevation of the dwellinghouse shall be - **DOES NOT APPLY**

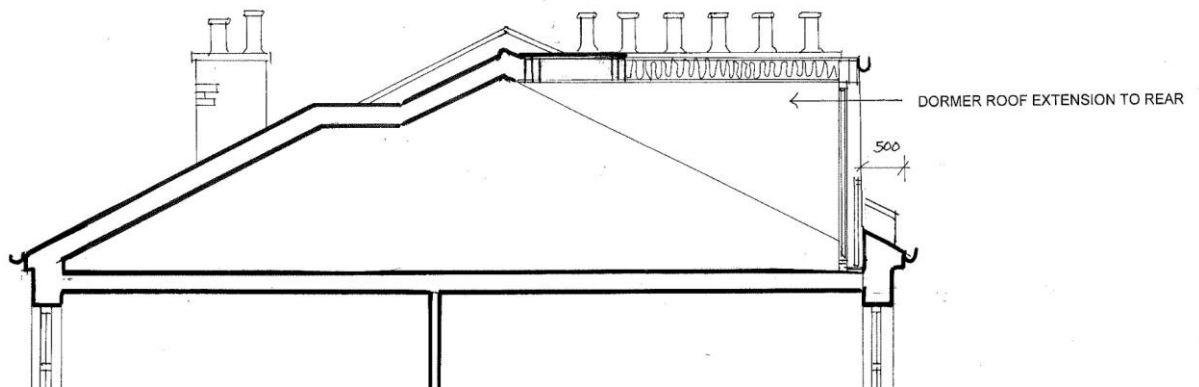
(i) obscure-glazed, and **DOES NOT APPLY**

(ii) non-opening unless the parts of the window which can be opened are more than 1.7 metres above the floor of the room in which the window is installed **DOES NOT APPLY**

PROPOSED DRAWINGS



PROPOSED FLOOR PLAN WITH DORMER WINDOW TO REAR



PROPOSED CROSS SECTION



REAR DORMER ELEVATION

CONCLUSION

The Proposed dormer window would meet the provisions of class B of the General Permitted Development Order (1995) and therefore would represent permitted development.