



90 Leverton Road
London, NW5 2NY

Pre-Application Document
REF. 25. DOC 002 | 17.01.18

1.0 Executive Summary

This document has been prepared by ROAR Architects on behalf of Mr & Mrs Thompson for the proposed extension and refurbishment of 90 Leverton Street, London, NW5 2NY. It contains the site context, drawings and precedent for the extension and refurbishment of the town house and is supported by additional drawn and measured information which is submitted to accompany this document.

All proposals are subject to further design development, coordination and verification.

2.0 Context and planning restrictions

2.0 Site Context - Aerial Photo 01





2.0 Site Context - Birdseye Photos



Northern Birdseye



Eastern Birdseye



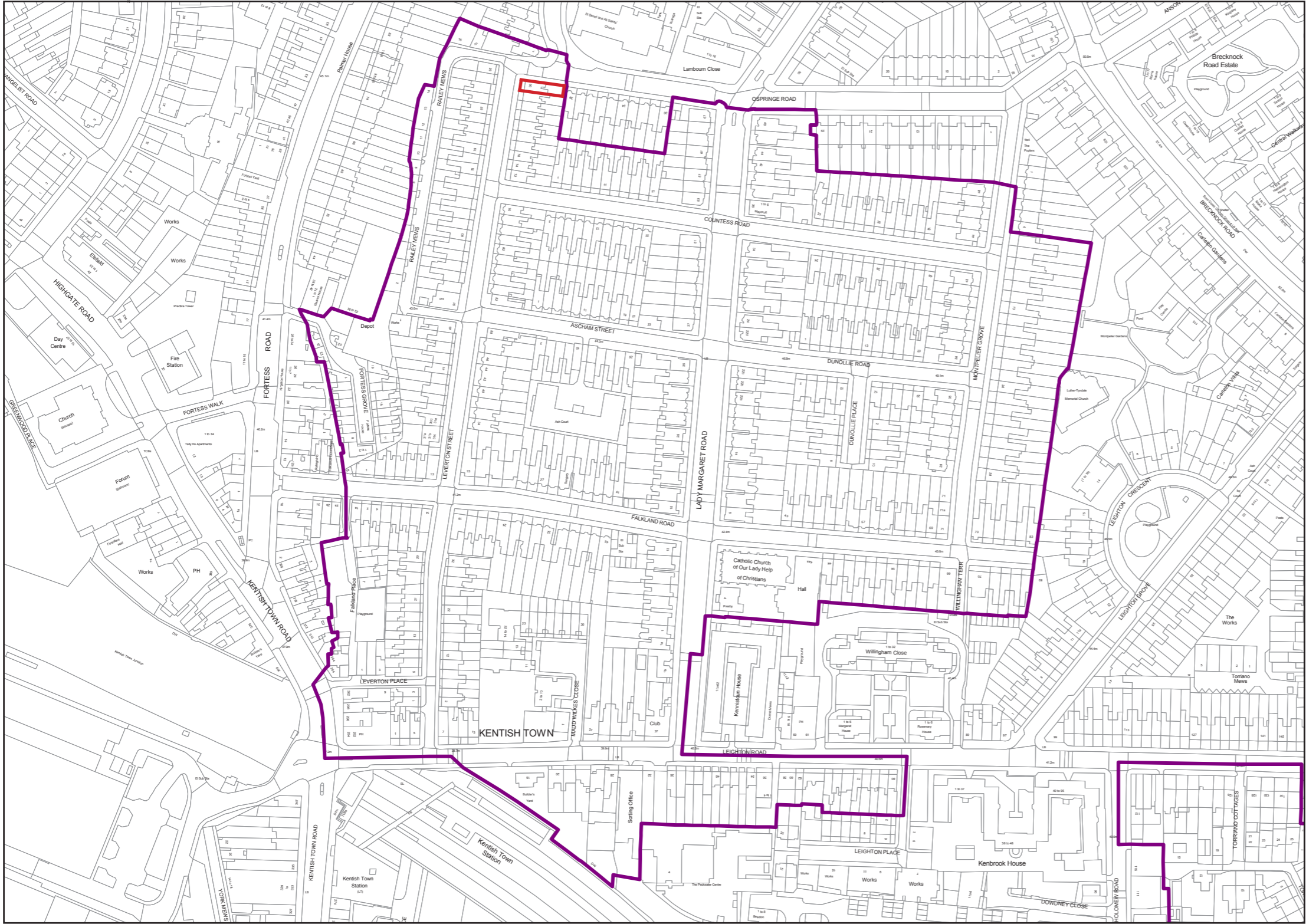
Southern Birdseye



Western Birdseye

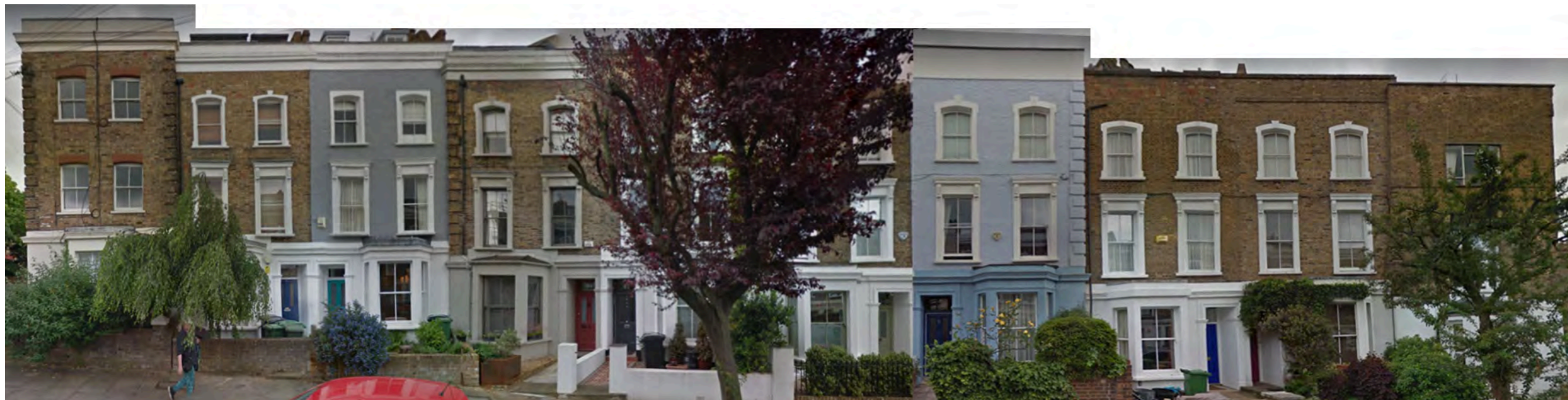


2.0 Site Context - Kentish Town Conservation Area



Location of 90 Leverton Street within Kentish Town Conservation Area

2.0 Site Context - Existing Streetscape - Leverton Street



Terrace of which no.90 forms bookend (72 - 90 shown above)



2.0 Site Context - Planning History

Applications are all pursuant to Tree Works a requirement as the site sits within the Kentish Town Conservation Area.

2016/4525/T

90 Leverton Street London NW5 2NY
REAR GARDEN: 1 x Tree of Heaven - Reduce to most recent points (30% of crown volume)
FINAL DECISION - 15-08-2016
No Objection to Works to Tree(s) in CA

2012/6848/T

90 Leverton Street London NW5 2NY
REAR GARDEN: 1 x Tree of Heaven - Reduce crown by 4m.
FINAL DECISION - 24-12-2012
No Objection to Works to Tree(s) in CA

8894082

90 Leverton Street NW5
Advice on tree at rear.
FINAL DECISION - 18-11-1988
Agree to Tree removal without replacemnt

Building Control application in relationship to the replacement of the consumer unit.

Application No : 11/CP/2942

Address : 90 Leverton Street London NW5 2NY
Description : Replacement consumer unit
Completion date : 07 Dec 2010

The property had, at the point of purchase by the current owner (Completion September 2017) been subdivided into 5 single rooms, with communal kitchen and toilet facilities. There is no record of the property on the Camden Councils 'House Of Multiple Occupancy Licensing Register' and no License for the property to be used as an HMO has been found. Upon contacting Camden Council to enquire the officer could not confirm the Use Class of the property.

The title deeds clearly refer to the property as 90 Leverton Street with the red-lie boundary being associated to the whole site, a single property. This is confirmed by Title Deed LN180145, dated 07.11.2017. The client purchased the property at auction from 'Circle Thirty Three Housing Trust', the Title Deed of their acquisition dated 08.12.1992, again references a single dwelling.

There is no history of a Householder or Lawful Development Application being registered for the site and as such there is no history of a Change of Use or Building Regulation approval associated with a HMO or the applications / licensing associated or required for the sub-division of a dwelling house into multiple occupancies. All utility bills are addressed to 90 Leverton Street and Council Tax is registered to a single property.

Given the aforementioned we ascertain that the property is currently Use Class C4 or potentially C3(c) as the property is currently owner occupied. The property is clearly, historically, a single dwelling and we would seek to ratify the Use Class as C3 for the purposes of any future application on site. Given that under General Permitted Development Order 2015 Rev. 2017 we can lawfully change use class from C4 to C3 we don't consider there being an issue with reverting or confirming the Use Class as C3 for the purpose of any future applications. This is obviously complicated by the restriction of Permitted Development Rights within a Conservation Area / Article 4 Direction but given that there would be no visible/external implications to this change/confirmation of use, we do not see why this should be problematic.

In conclusion we feel that ratifying the properties use as a single dwelling house would be a return to the principal, historical use of the property and therefore favourable in a conservation area where historical value is paramount.