



77 Guilford St, WC1N 1DF

Schedule of Works

January 2018

Introduction

This document has been prepared by Re (Regional Enterprise) Ltd in support of an application for the refurbishment and conversion of No 77 Guilford Street, LONDON, WC1N 1DF to form 5no flats. This document will consider the proposed method, as well as providing a schedule of the proposed works (including the location, extent and character of items to be removed, retained and replicated) and an overview of any structural implications.



Structural Report

The property is currently a 5 storey (Basement to 3rd) former Georgian townhouse designed by James Burton c1793-1799 currently being occupied as residential use. The building has been designed as part of a terrace of 5 essentially identical units.

As per Approved Document A (structure), residential buildings greater than 4 storeys are defined by class 2b.

Provided Measures:

- The building is to be designed and constructed in accordance with the rules given in approved document A.
- The existing building will not comply with the A3 requirement for a class 2B building.
- The proposed design is to ensure the works do not involve alterations resulting in the existing structure being more unsatisfactory in relation to A3 than it is at present.
- This proposal to be confirmed as acceptable to the building control authority before works commence on site.

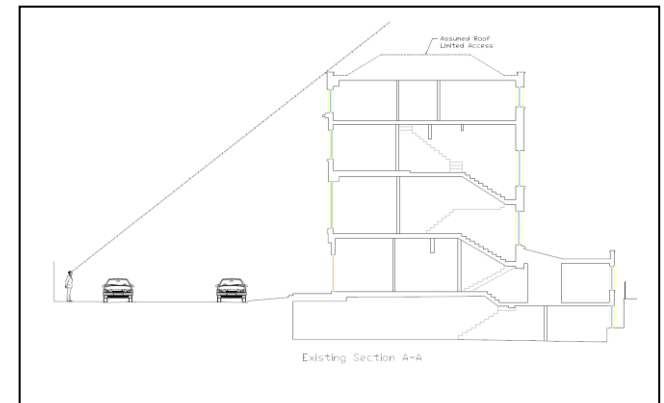
To safeguard the heritage of the original architectural design and style, all structural works to be carried out are to be agreed by the conservation officer prior to commencement. Any defects in the building's structural integrity found during construction must also be reported to the conservation officer if such alterations might affect its architectural appearance.

Where openings are to be created within structural load bearing walls or if they are to be removed entirely, particularly with the lower levels, box frames are to be considered with satisfactory joint rigidity in order to retain lateral sway stability/robustness to the structure. This will not include any contribution measures to the stability of adjacent properties when considering the stability of the proposal. A party wall agreement must also be in place prior to commencement of the works.

The client is to appoint a competent contractor to control the construction phase of the entire project, to oversee and manage all other sub-contractors.

It will be the contractor's responsibility to appoint a temporary works engineer [should one be required] prior to construction to prevent collapse during development and will provide advice on site where structural elements are to be altered or removed. All works should be carried out in accordance with CDM regulations.

Existing front façade is made of soft red brick with a soft mortar. These are not as hard as bricks used in modern construction and are vulnerable to weather damage and deterioration. Precautions will need to be put in place to ensure that the development does not put the façade at any greater risk of deterioration.



Schedule of Works

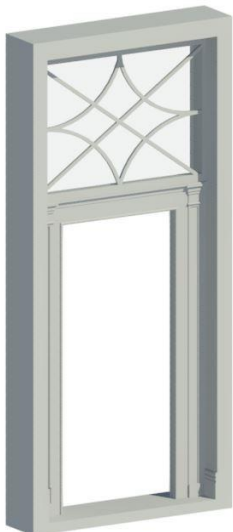
Existing Features:



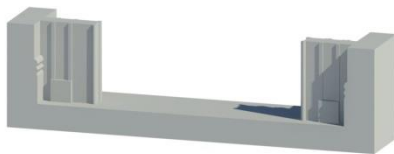
Ground Floor: Principal entrance door with fanlight and listed railing



Ground Floor: Decorative arch moulding in hallway



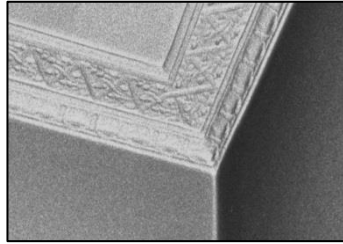
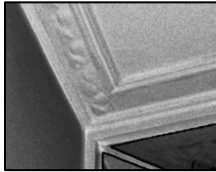
Ground Floor: Decorative internal door frame and transom in hallway



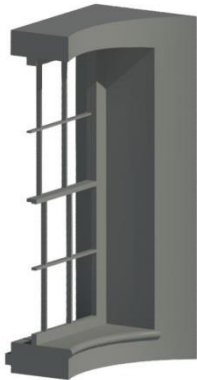
All Floors: Typical moulded doorframe



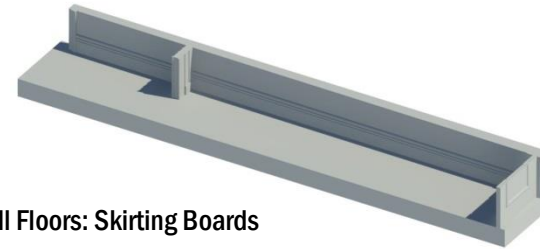
Existing Features:



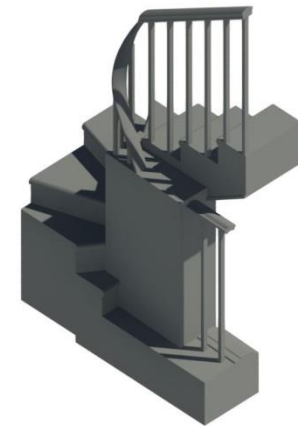
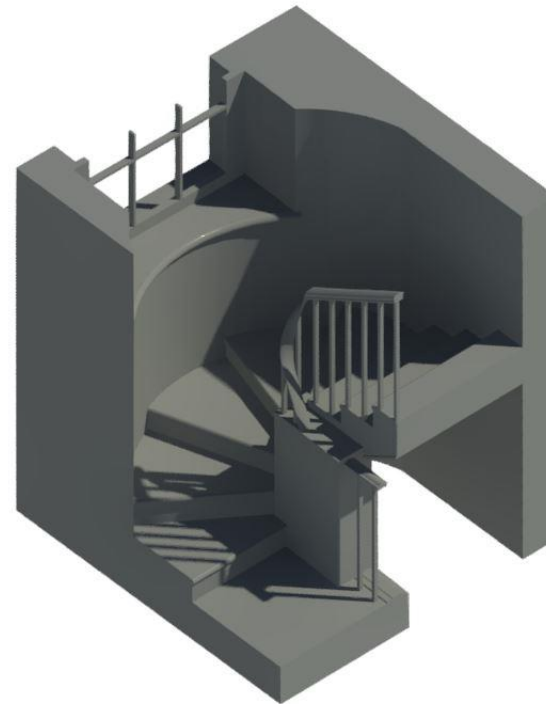
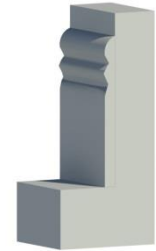
Ground Floor: Moulded ceiling detail



Rear Elevation: Typical multi-bar sash windows



All Floors: Skirting Boards



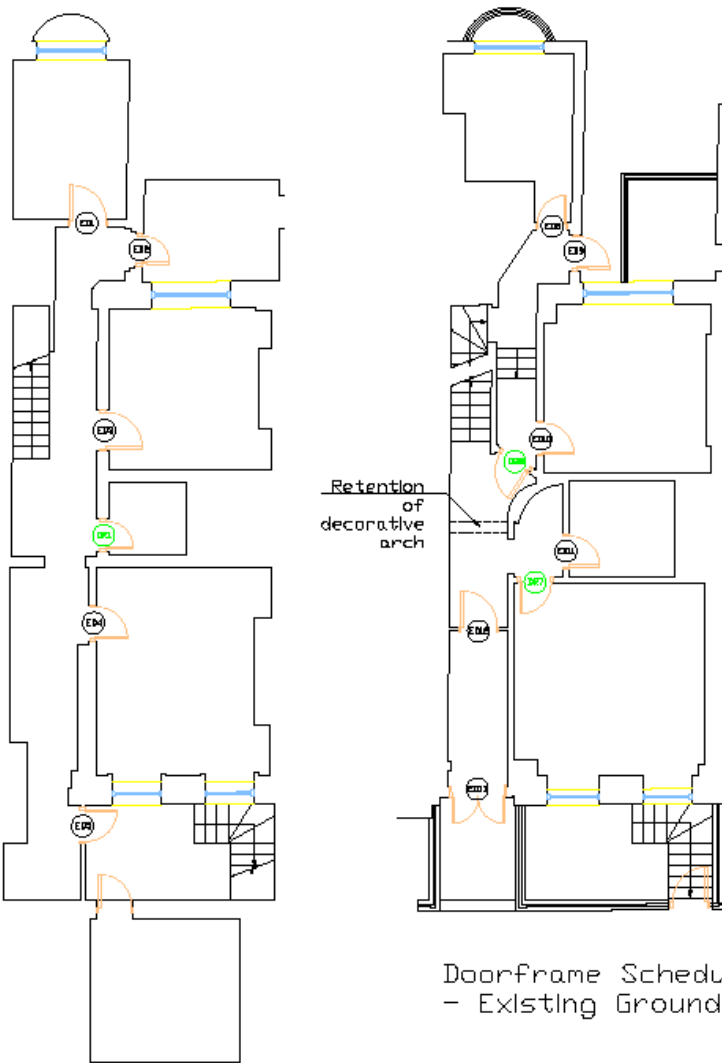
Original staircase and bannister/balustrade

Proposal - Moulded doorframes & architrave

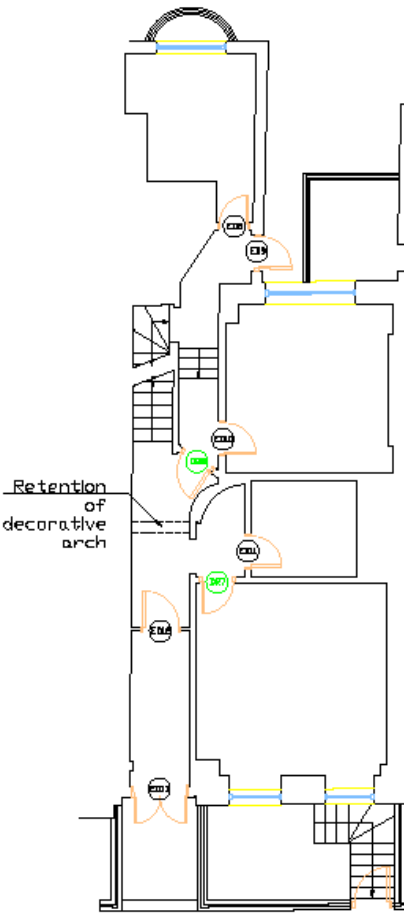
To be retained and re-used throughout:



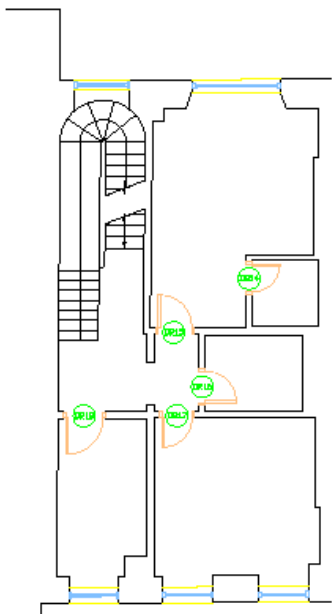
Existing moulded architrave & door



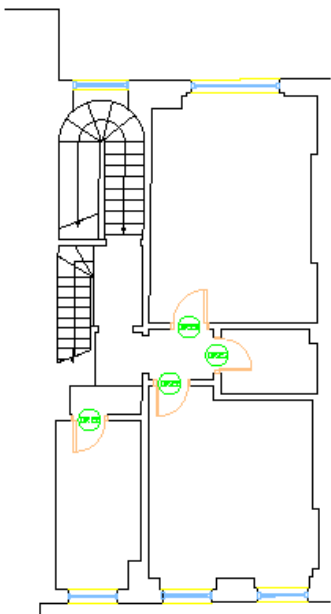
Doorframe Schedule - Existing Basement



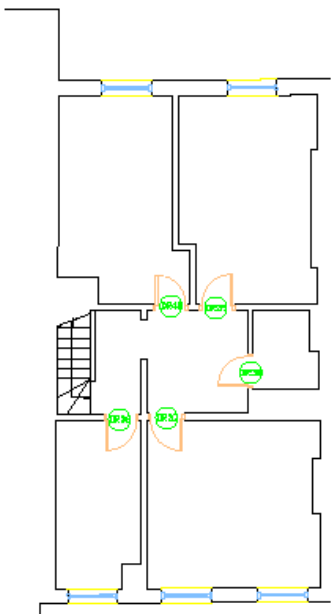
Doorframe Schedule - Existing Ground



Doorframe Schedule - Existing First



Doorframe Schedule - Existing Second



Doorframe Schedule - Existing Third

Existing Moulded Doorframes Re-used

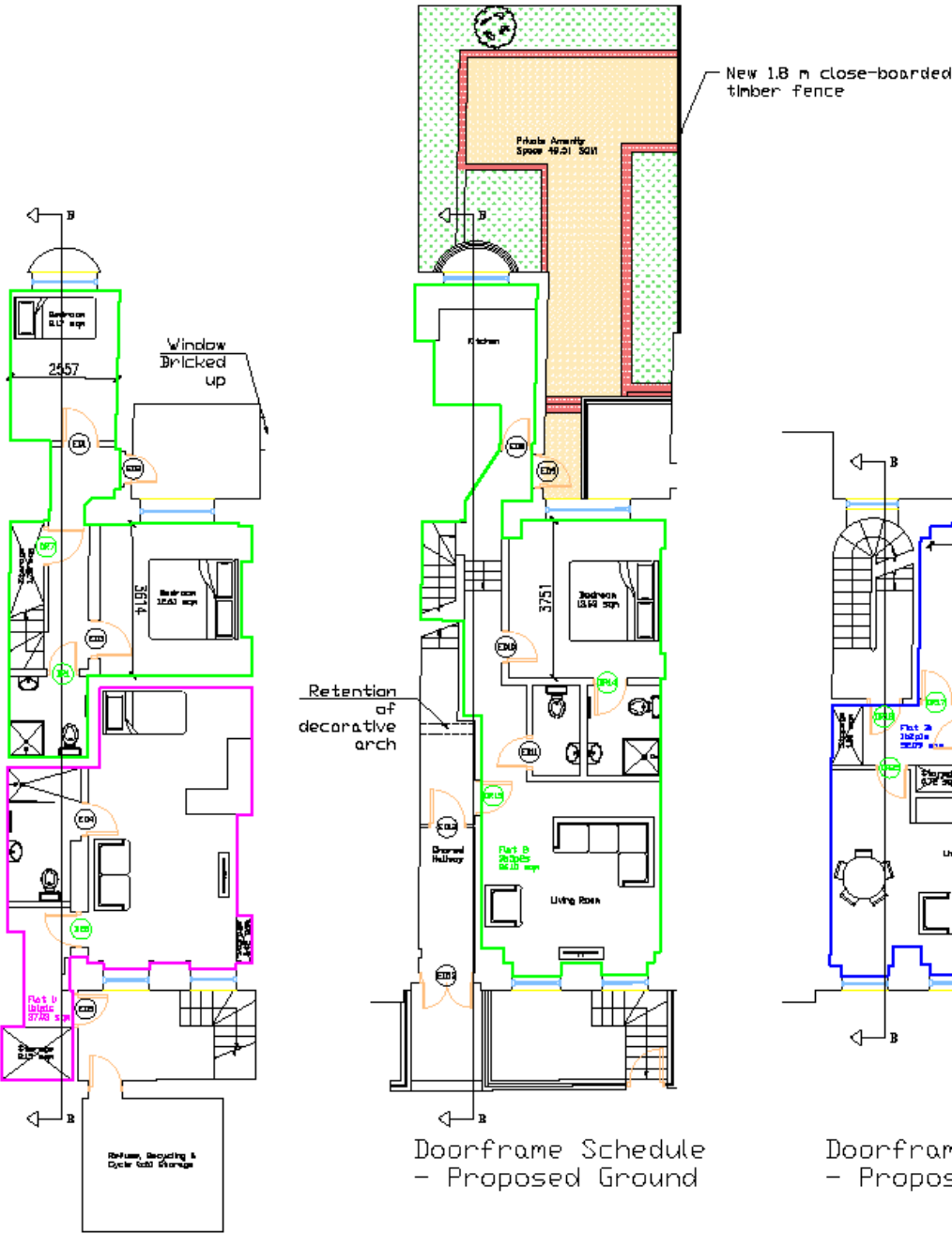
Floor	Door No.	Proposal
Basement	ED1	Retained as existing
	ED2	Retained as existing
	ED3	Retained as existing
	ED4	Retained as existing
	ED5	Retained as existing
	DR1	Retained & relocated @ B Level
Ground	ED8	Retained as existing
	ED9	Retained as existing
	ED10	Retained as existing
	ED11	Retained as existing
	ED12	Retained as existing
	ED13	Retained as existing
First	DR7	Retained & relocated @ B Level
	DR8	Retained & relocated @ B Level
	DR14	Retained & relocated @ G Floor
	DR15	Retained & relocated @ G Floor
	DR16	Retained & relocated @ 1st Floor
Second	DR17	Retained & relocated @ 1st Floor
	DR18	Retained & relocated @ 1st Floor
	DR25	Retained & relocated @ 1st Floor
	DR26	Retained & relocated @ 2nd Floor
Third	DR27	Retained & relocated @ 2nd Floor
	DR28	Retained & relocated @ 2nd Floor
	DR36	Retained & relocated @ 2nd Floor
	DR37	Retained & relocated @ 3rd Floor
	DR38	Retained & relocated @ 3rd Floor
	DR39	Retained & relocated @ 3rd Floor
	DR40	Retained & relocated @ 3rd Floor

Proposal - Moulded doorframes

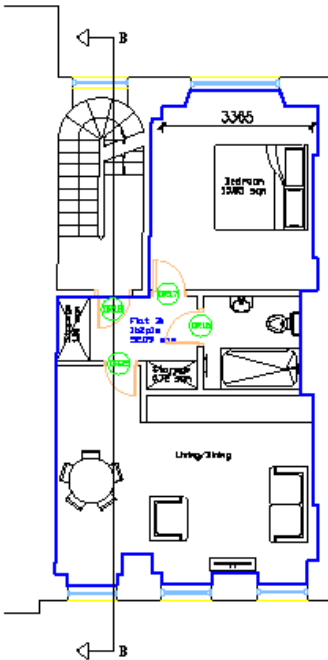
To be retained and re-used throughout:



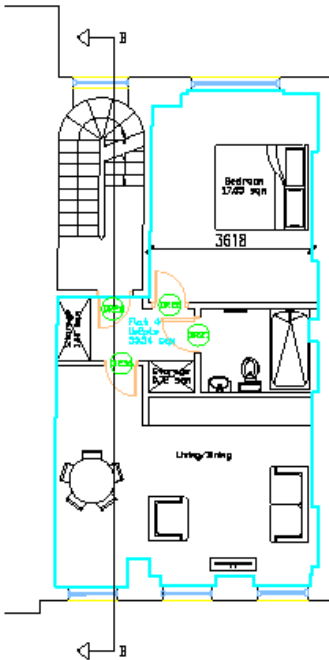
Proposed moulded architrave & typical ground/first floor door



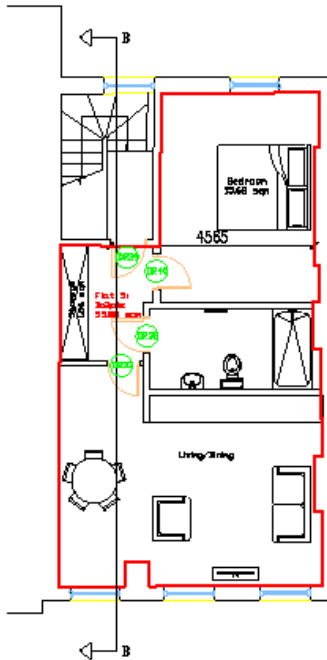
Doorframe Schedule - Proposed Ground



Doorframe Schedule - Proposed First



Doorframe Schedule - Proposed Second



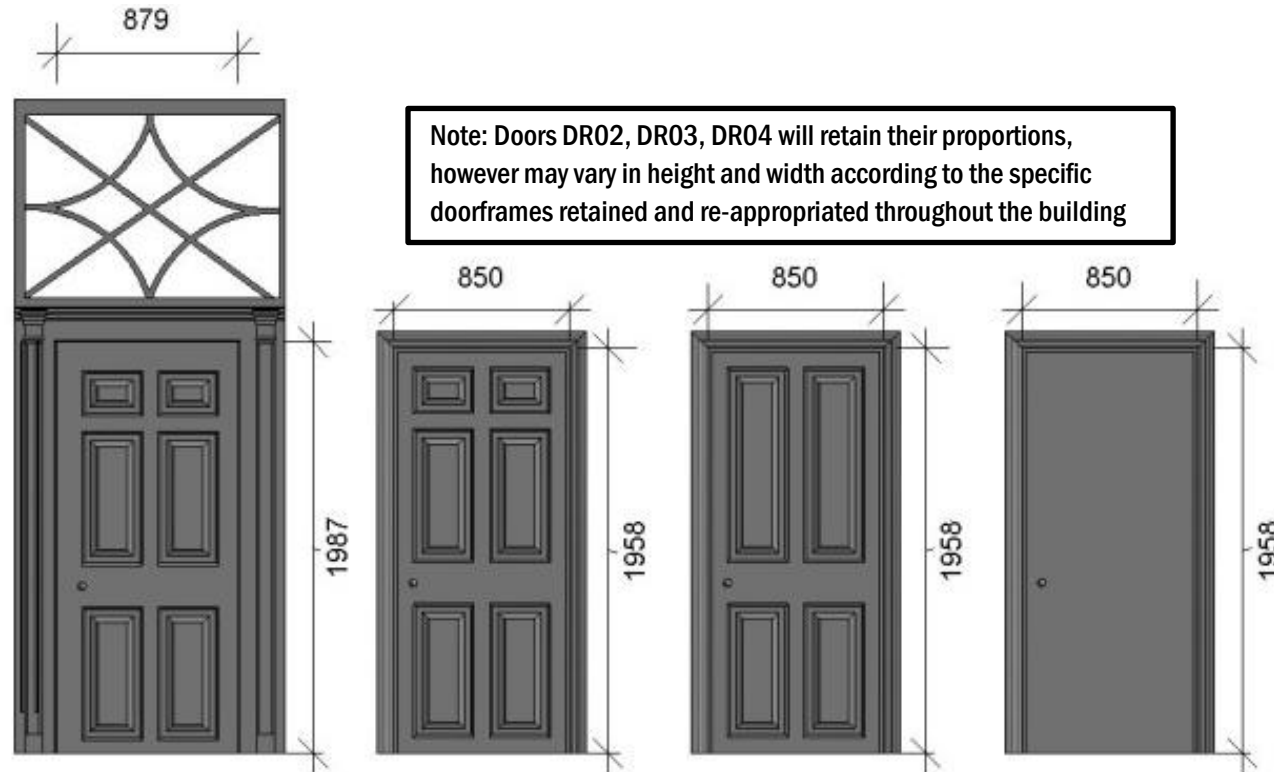
Doorframe Schedule - Proposed Third

Doorframe Schedule - Proposed Basement

Existing Moulded Doorframes Re-used

Floor	Door No.	Proposal
Basement	ED1	Retained as existing
	ED2	Retained as existing
	ED3	Retained as existing
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	DR15	Retained & relocated @ G Floor
	DR16	Retained & relocated @ 1st Floor
	DR17	Retained & relocated @ 1st Floor
	DR18	Retained & relocated @ 1st Floor
Second	DR25	Retained & relocated @ 1st Floor
	DR26	Retained & relocated @ 2nd Floor
	DR27	Retained & relocated @ 2nd Floor
	DR28	Retained & relocated @ 2nd Floor
Third	DR36	Retained & relocated @ 2nd Floor
	DR37	Retained & relocated @ 3rd Floor
	DR38	Retained & relocated @ 3rd Floor
	DR39	Retained & relocated @ 3rd Floor
	DR40	Retained & relocated @ 3rd Floor

Proposal – Internal Doors



DR01 - Ground floor hallway decorative frame and transom to have a new bespoke draft lobby 6 panel fire rated door built in.

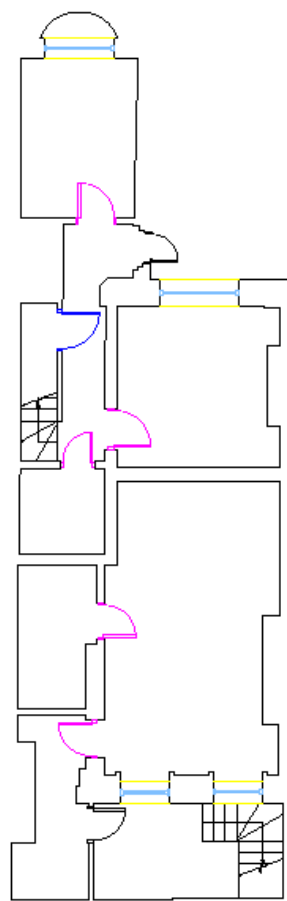
DR02 - Largely the ground and first floors will feature bespoke 6 panel doors with architrave details retained as existing or re-used from other areas of the building to match. Door to be fire rated where necessary.

DR03 - Basement, second and third floors will feature bespoke 6 panel doors with architrave details retained as existing or re-used from other areas of the building to match. Door to be fire rated where necessary.

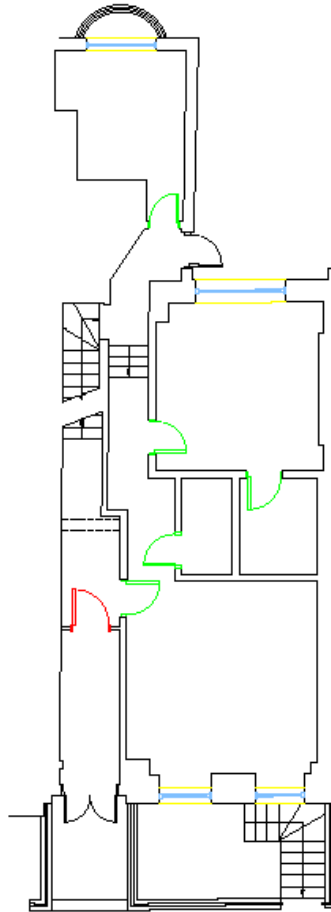
DR04 - Basement, second and third floors, in various locations such as cupboards, will feature single panel doors with architrave details retained as existing or re-used from other areas of the building to match.

Proposal - Internal Door Locations

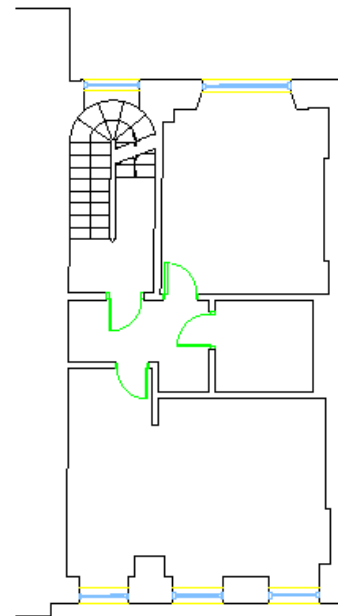
Internal doors to be replaced with mock Georgian style doors and to be fire protected where necessary. Colour coded



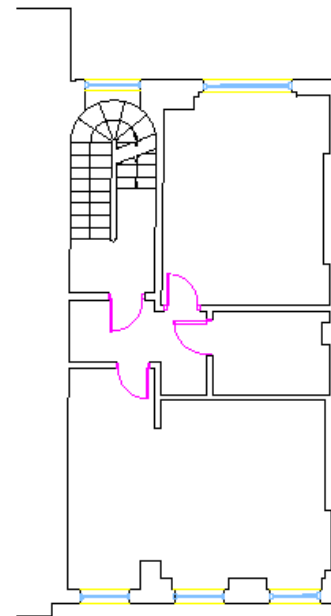
Internal Door
Location - Proposed
Basement



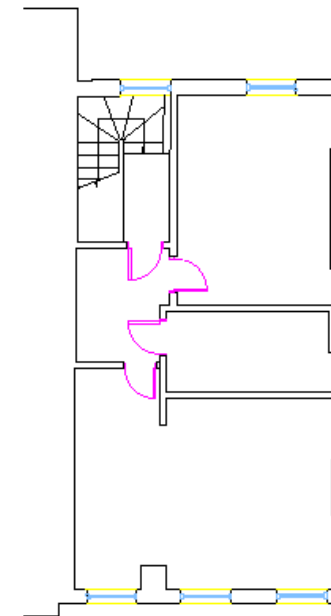
Internal Door
Location - Proposed
Ground



Internal Door
Location - Proposed
First



Skirting Board Detail
Location - Proposed
Second



Internal Door
Location - Proposed
Third

Key:

Remain as
Existing

DR01

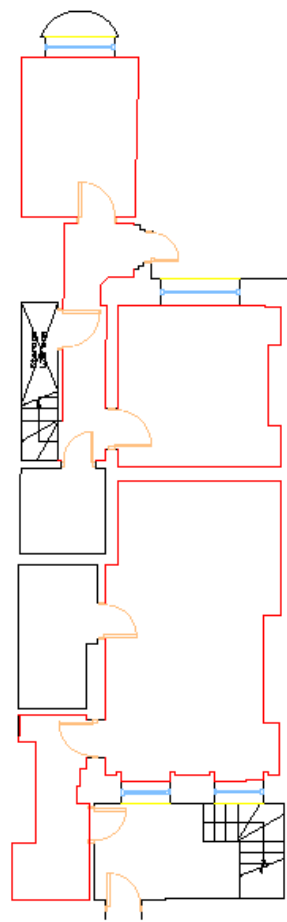
DR02

DR03

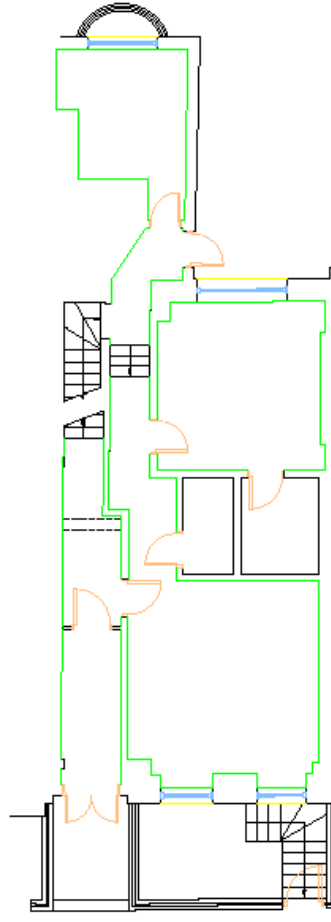
DR04

Proposal - Skirting Board detail

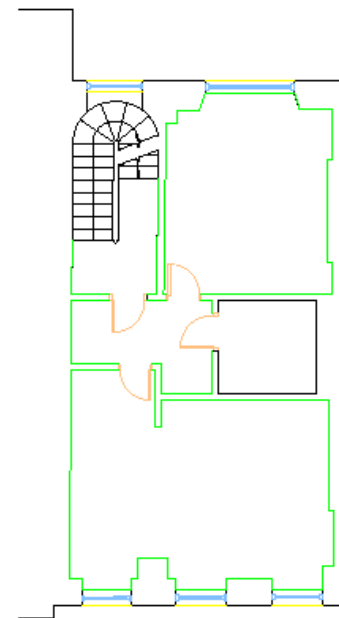
- Skirting board to be retained in rooms which are not altered due to internal reconfiguration.
- Existing skirting around the stairs to be retained
- Skirting boards to be installed where demonstrated via the colour coded drawings.
- Full height skirting with the most elaborate detailing to be installed at ground and first floors
- Lower height skirting with less elaborate detailing to be installed at second floor
- Basement & third skirting to be identical to second floor skirting, however with a shallower flat (85mm instead of 95mm)



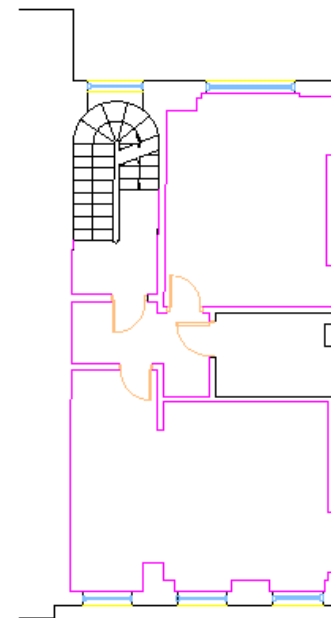
Skirting Board Detail Location - Proposed Basement



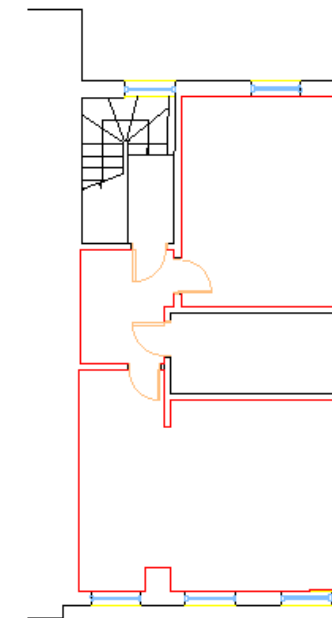
Skirting Board Detail Location - Proposed Ground



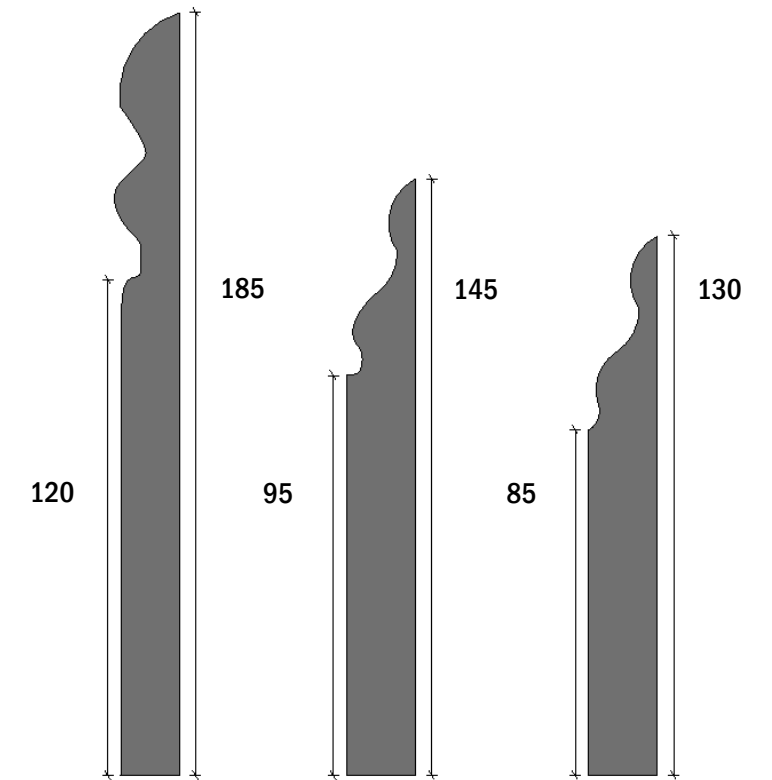
Skirting Board Detail Location - Proposed First



Skirting Board Detail Location - Proposed Second



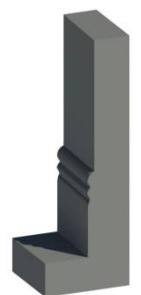
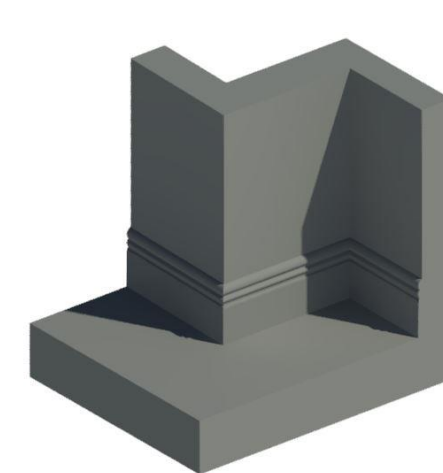
Skirting Board Detail Location - Proposed Third



Ground & First

Second

Basement & Third



Example of skirting boards to be replicated in Georgian style at ground floor hallway where internal configuration has been rearranged

Proposal - Existing Moulded ceiling detail

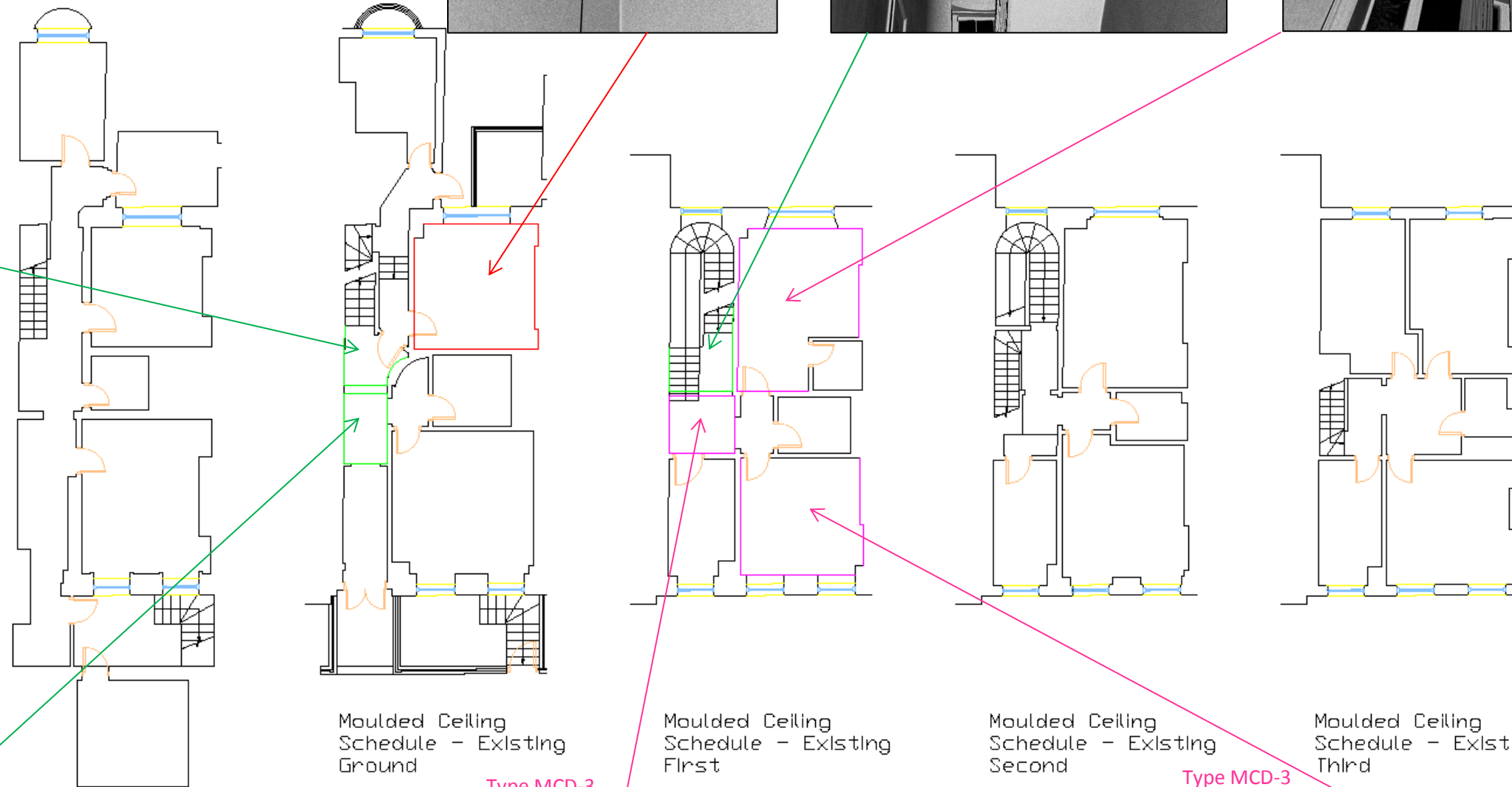
To be retained and replicated where internal configuration changes

Type MCD-1

Type MCD-2

Type MCD-3

Type MCD-2

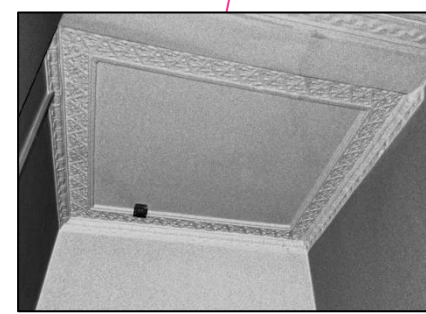


Type MCD-2



Moulded Ceiling Schedule - Existing Basement

Type MCD-3

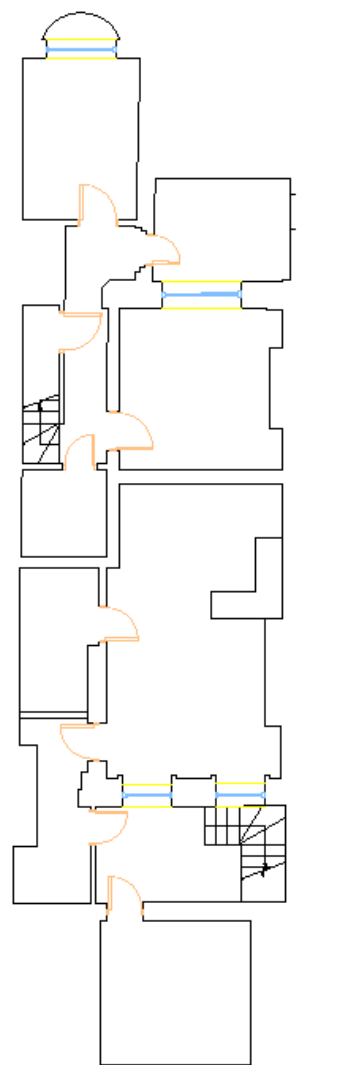


Type MCD-3

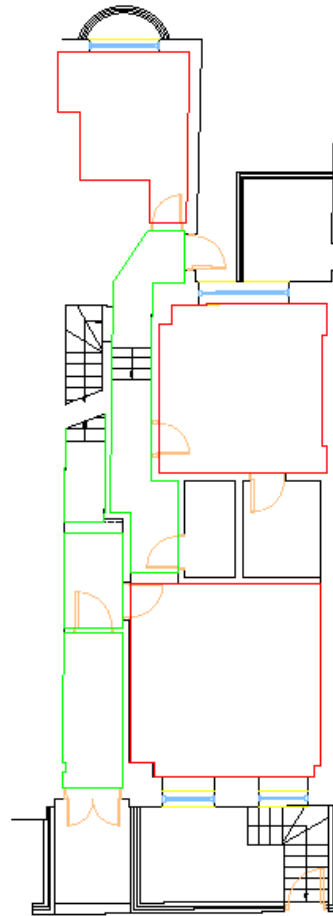


Proposal - Proposed Moulded ceiling detail

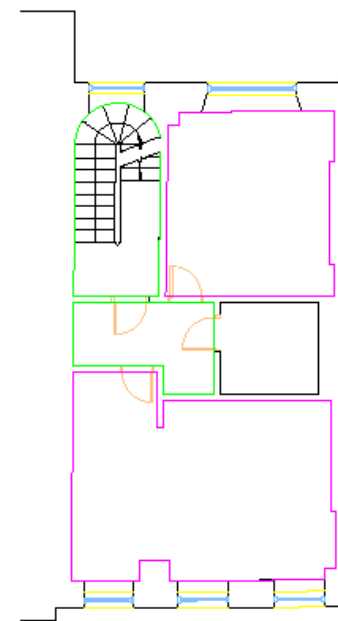
To be retained and replicated where internal configuration changes:



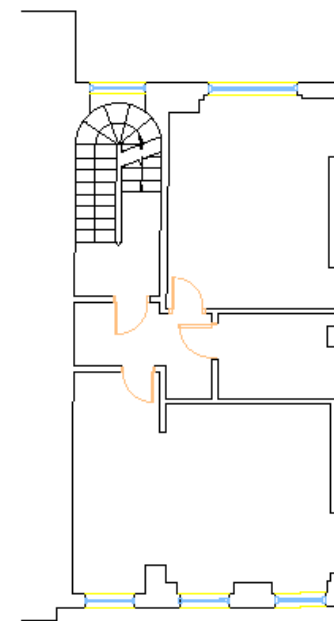
Moulded Ceiling
Schedule - Proposed
Basement



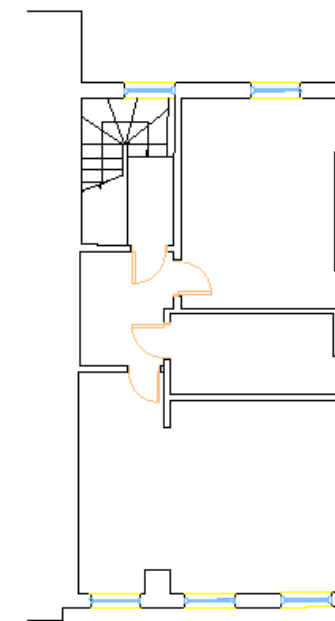
Moulded Ceiling
Schedule - Proposed
Ground



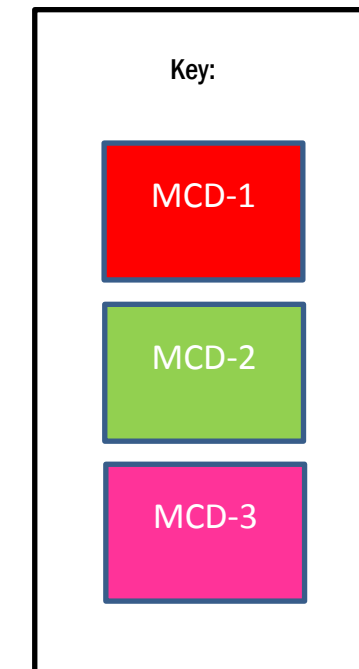
Moulded Ceiling
Schedule - Proposed
First



Moulded Ceiling
Schedule - Proposed
Second



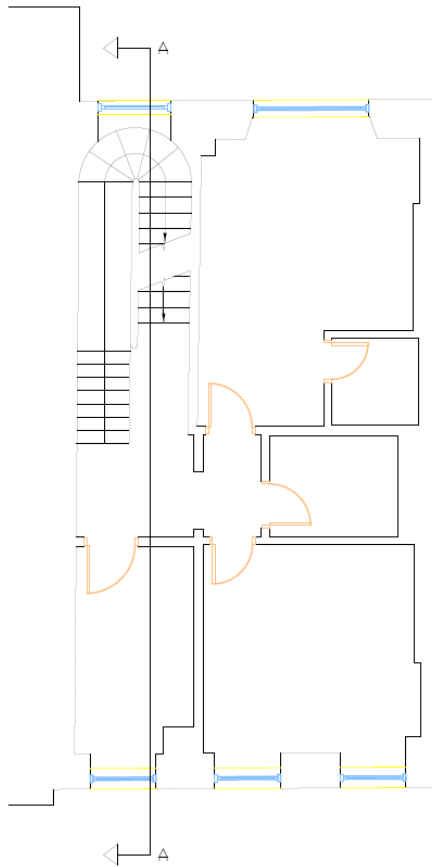
Moulded Ceiling
Schedule - Proposed
Third





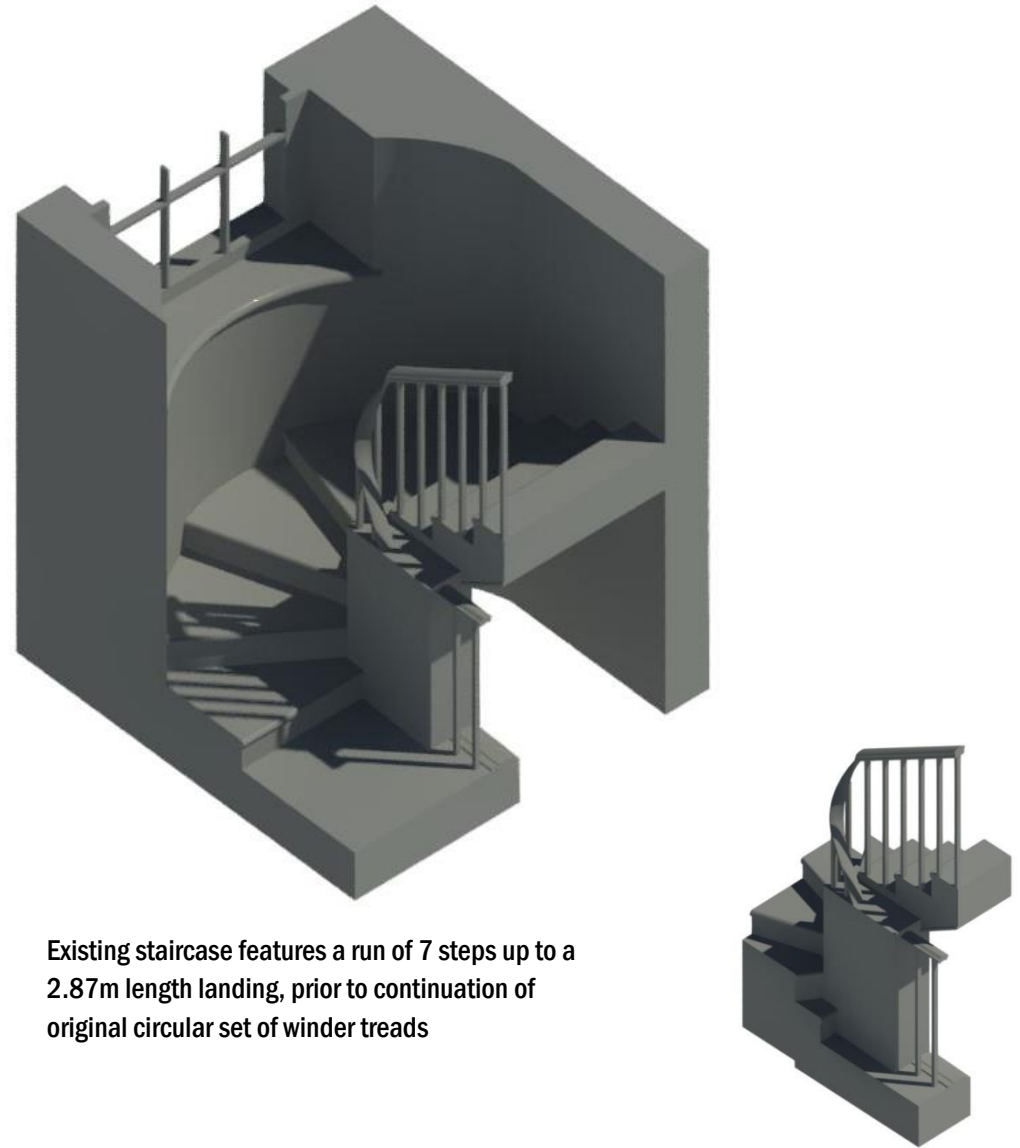
Proposal – Existing internal staircase (1st to 2nd floor)

Continuation of original staircase detailing to be restored to its original form



Existing First Floor

Issued in Confidence to Planning & Development Ltd

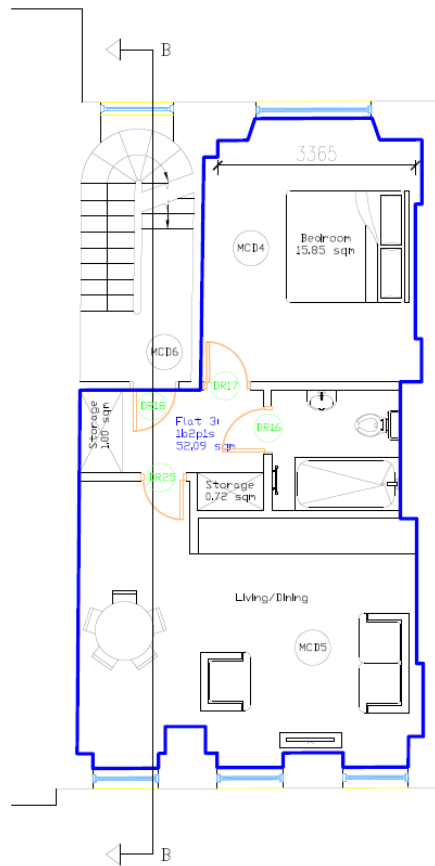


Existing staircase features a run of 7 steps up to a 2.87m length landing, prior to continuation of original circular set of winder treads

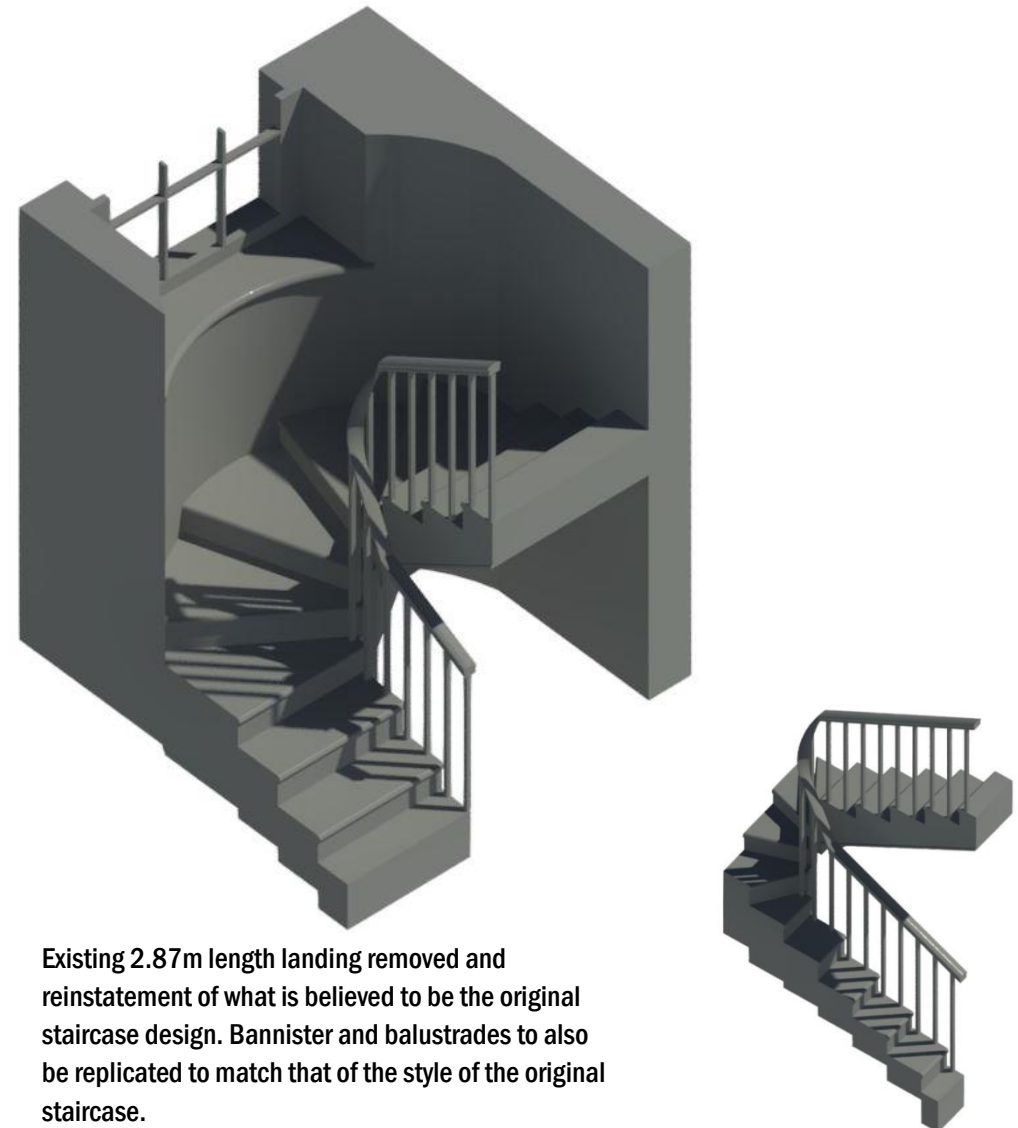
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Proposal – Proposed internal staircase (1st to 2nd floor)

Continuation of original staircase detailing to be restored to its original form



Proposed First Floor



Existing 2.87m length landing removed and reinstatement of what is believed to be the original staircase design. Bannister and balustrades to also be replicated to match that of the style of the original staircase.

Method Statement

A full structural investigation will be required to identify the load bearing walls within the existing structure. Where openings are to be created within structural load bearing walls or if they are to be removed entirely, trial pits are to be dug to inspect foundations. Foundations may need to be improved through underpinning with the addition of new structural columns to support the existing structure. A party wall surveyor will be appointed if excavations are within close proximity of the party wall(s) and/or where additional foundations are required to support any new columns.

Existing floorboards at all floors to be lifted for inspection of the structural integrity of the building. Existing timber joists are to be reused where possible, subject to visual inspection for determining the structural soundness of wood members. Timber will be inspected for rot, decay and the presence or absence of moisture. Timbers that will be adequate for reclamation and reuse within the proposal may be required to be treated/cured off site to ensure structural integrity.

Where required, the addition of new beams will be installed within the depth of existing floors where a download is to be avoided. This will reduce the impact of such beams protruding the face of the ceiling whilst maintaining the tall floor to ceiling height as with Georgian architectural style.

Existing walls will be treated and repaired to certify that loads from any proposed beams can be taken. A party wall surveyor will be appointed where any repair works relate to the existing party wall. To ensure the structural stability of the front and rear facades and to avoid collapse, both will be tied back and fixed to the party walls during construction/alteration of the structure. Where there are any alterations to the structure, such alterations must relate sensitively to the original building and required craftsmanship and professional skill of a very high standard.

