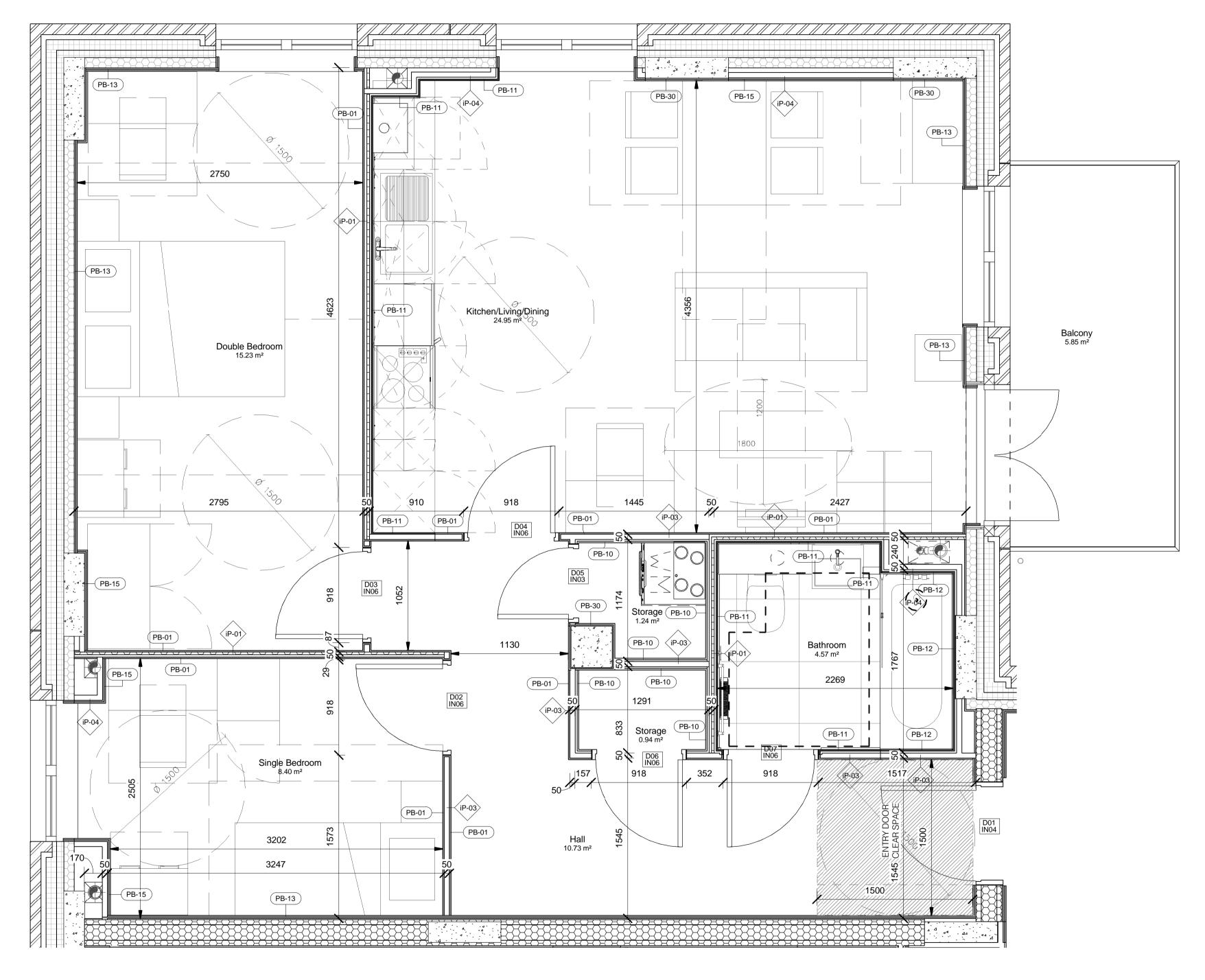
|          | Internal Door Schedule Unit Type 03 |          |           |           |            |             |           |   |                        |
|----------|-------------------------------------|----------|-----------|-----------|------------|-------------|-----------|---|------------------------|
| Mark     | Type Mark                           | SO Width | LeafWidth | SO Height | LeafHeight | Fire Rating | Unit Type | Security                                | Ironmonger<br>Schedule |
| Level 01 |                                     |          |           |           |            |             |           |   |                        |
| 01       | IN04                                | 994      | 914       | 2038      | 1981       | FD30s       | 03        | 3 point<br>multi-lock to<br>ENV 1627-30 | TBC                    |
| 02       | IN06                                | 918      | 838       | 2038      | 1981       | FD30        | 03        |   | TBC                    |
| 03       | IN06                                | 918      | 838       | 2038      | 1981       | FD30        | 03        |   | TBC                    |
| 04       | IN06                                | 918      | 838       | 2038      | 1981       | FD30        | 03        |   | TBC                    |
| 05       | IN03                                | 762      | 682       | 2038      | 1981       | FD30        | 03        |   | TBC                    |
| 06       | IN06                                | 918      | 838       | 2038      | 1981       | FD30        | 03        |   | TBC                    |
| 07       | IN06                                | 918      | 838       | 2038      | 1981       | FD30        | 03        |   | TBC                    |



Setting Out Unit Type 3 Plots 3,6

| Area Unit Type 3 (Plot 3,6) |           |                      |              |                      |           |               |          |  |  |
|-----------------------------|-----------|----------------------|--------------|----------------------|-----------|---------------|----------|--|--|
| Name                        | Unit Type | Accomodation<br>Type | Areas Tenure | Area                 | Area LHDG | Area Planning | Level    |  |  |
|                             |           |                      |              |                      |           |               |          |  |  |
| Plot 3                      | 3         | 2B3P                 | MARKET       | 69.97 m²             | 61        | 70            | Level 01 |  |  |
| Plot 6                      | 3         | 2B3P                 | MARKET       | 70.21 m <sup>2</sup> | 61        | 70            | Level 02 |  |  |

| Accommodation Schedule Type 3 (Plots 3,6) |                       |                   |                      |           |          |  |  |
|---|-----------------------|-------------------|----------------------|-----------|----------|--|--|
| Unit                                      | Room Name             | LHDG Requirement  | Actual Area          | Occupancy | Level    |  |  |
| <u> </u>                                  | Dalaanu               | 6 m²              | E 0E m2              | OD OD     | Lavel 04 |  |  |
| 3   | Balcony               | 6 m <sup>2</sup>  | 5.85 m <sup>2</sup>  | 2B3P      | Level 01 |  |  |
| 3   | Bathroom              | 4.4m <sup>2</sup> | 4.57 m <sup>2</sup>  | 2B3P      | Level 01 |  |  |
| 3   | Double Bedroom        | 12 m²             | 15.23 m <sup>2</sup> | 2B3P      | Level 01 |  |  |
| 3   | Kitchen/Living/Dining | 25 m²             | 24.95 m <sup>2</sup> | 2B3P      | Level 01 |  |  |
| 3   | Single Bedroom        | 8 m²              | 8.40 m <sup>2</sup>  | 2B3P      | Level 01 |  |  |
| 3   | Storage               | 2 m²              | 2.18 m <sup>2</sup>  | 2B3P      | Level 01 |  |  |

TENURE TYPE KEY
SR - Social Rented
LH - Leasehold
MARKET - Market Sale
INT - Intermediate Sale

All dimensions to be verified on site by Main Contractor before the start of any shop drawings or work whatsoever either on their own behalf or that of subcontractors.

Report any discrepancies to the Contract Administrator at once.

This drawing is to be read with all relevant Architect's and Engineer's drawings and other relevant information.

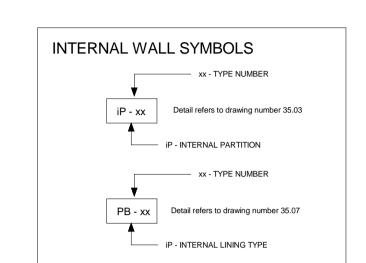
LEGEND: DO NOT SCALE

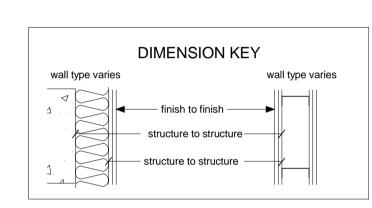
## **GENERAL NOTES**

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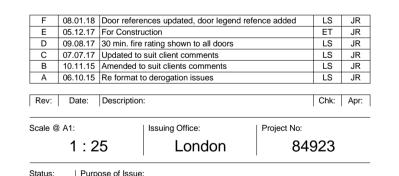
For typical kitchen layouts see 15.20 drawing series and specialist kitchen contractors drawings.
For typical bathroom/wc layouts see 15.40 drawing series.
For full details of all electrical and communications installations refer to M&E engineers specification and drawings.
Location of fused spurs and cable outlets to be determined by electrical subcontractor for all locations. Refer to control heights seting out diagram for guidance.
All 100mm blockwork to structural engineer specs.

- Refer to finishes schedule for details of internal finishes.





See drawing 10.05.02 for internal door legend



For Construction



Vision, form and function

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Project:

Regents Park Estate

Regents Park Estate
Plot 8 - The Victory Pub
London
NW1 4BX

Billericay

Cambridge Colchester

Drawing Title:
Unit Type 3 (Plots 3&6) - Setting Out Plan

Client:

Lovell Partnership Ltd.

File Ref:

TVP - IW - XX - ZZ - DR - A - 15.04