

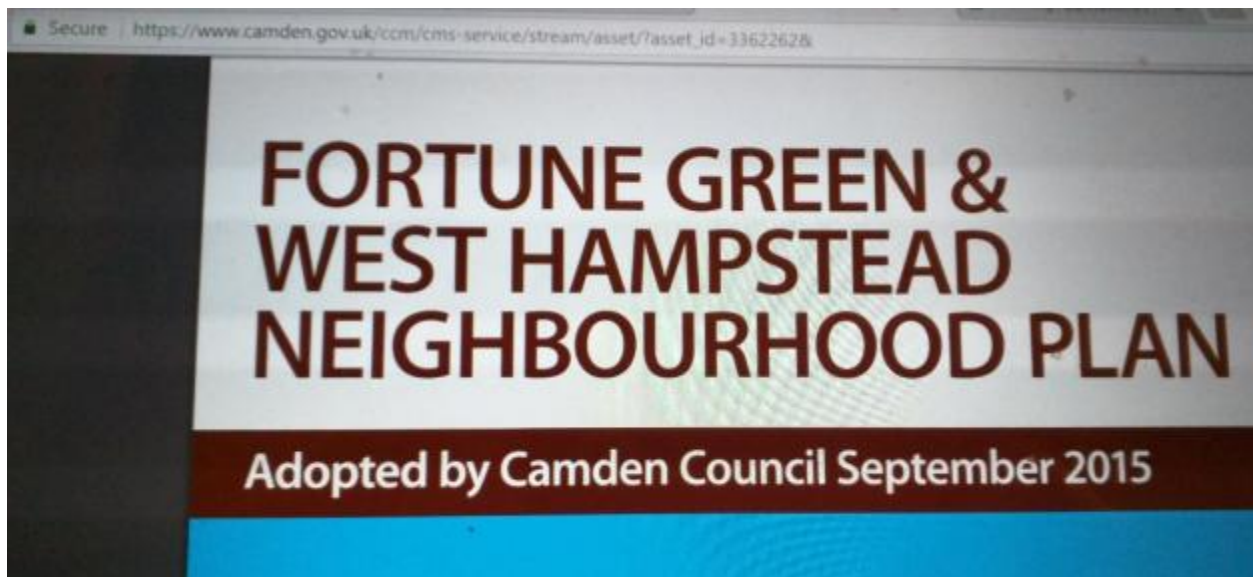
## **Narrative and Objections, Application 2017/6779/P**

### **Salient Points**

- There was no planning permission for the generator
- There is yet no evidence of planning permission for the lift block. If it exists, how did it every become approved?
- Camden Planning Enforcement have been ineffective
- Regal Homes refused to comply with the original consent
- Both Camden and Regal Homes describe this as a residential area, and the service area is adjacent to an award-winning park. It should not be a second-rate industrial yard, as it is at present.
- This application is for a shanty town.
- Any approval needs enforcement

### **Standards**

#### **1**



#### **2**

# 04 POLICIES

Contents

## A. HOUSING, DESIGN & CHARACTER DESIGN

### POLICY 2: Design & Character

All development shall be of a high quality of design, which complements and enhances the distinct local character and identity of Fortune Green and West Hampstead.

This shall be achieved by:

- i. Development which positively interfaces with the street and streetscape in which it is located.
- ii. Development which maintains the positive contributions to character of existing buildings and structures.
- iii. Development which is human in scale, in order to maintain and create a positive relationship between buildings and street level activity.
- iv. Development which has regard to the form, function, structure and heritage of its context - including the scale, mass, orientation, pattern and grain of surrounding buildings, streets and spaces.
- v. A presumption in favour of a colour palette which reflects, or is in harmony with, the materials of its context.

Updated Planning ....pdf

- v. A presumption in favour of a colour palette which reflects, or is in harmony with, the materials of its context.
- vi. New buildings and extensions that respect and are sensitive to the height of existing buildings in their vicinity and setting. Tall buildings in the Growth Area will need to have regard to their impact on the setting of the two immediately adjacent conservation areas, in order to avoid any negative impact on them.
- vii. Extensions - and infill development - being in character and proportion with its context and setting, including the relationship to any adjoining properties.
- viii. The provision of associated high quality public realm.
- ix. Having regard to the impact on local views across the Area and the streetscapes within the Area (as identified in A11 and Map 2).
- x. Development which aims to fulfil the criteria set out in Building for Life 12 (as detailed in

3

4

**A8.** The **NPPF** states as a core planning principle (paragraph 17) that planning should “always seek to secure **high quality design and a good standard of amenity** for all existing and future occupants of land and buildings”. It also states (56) that “good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people”. The London Plan (Policy 7.6) says that “architecture should make a positive contribution to a coherent public realm, streetscape and wider cityscape. It should incorporate the highest quality materials and designs appropriate to its context”. These principles and policies shall be clearly and demonstrably applied in Fortune Green and West Hampstead.

5



**A8.** The **NPPF** states as a core planning principle (paragraph 17) that planning should “always seek to secure **high quality design and a good standard of amenity** for all existing and future occupants of land and buildings”. It also states (56) that “good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people”. The London Plan (Policy 7.6) says that “architecture should make a positive contribution to a coherent public realm, streetscape and wider cityscape. It should incorporate the highest quality materials and designs appropriate to its context”. These principles and policies shall be clearly and demonstrably applied in Fortune Green and West Hampstead.

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The NPPF (60) states that it is "proper to seek to promote or reinforce local distinctiveness" and says (58) that development shall "respond to local character and history, and reflect the identity of local surroundings and materials". As outlined in 2.2 & 2.5 many parts of Fortune Green and West Hampstead have a clear **architectural heritage** – with an attractive character and a distinct local identity. These positive features are strongly supported (as set out in the Consultation Statement) and need to be protected and preserved. New developments

in such areas – particularly terraced streets – need to be sensitive to the defining characteristics of the local area in terms of their proportion, height, scale, massing, materials, storey height and rooflines. Larger developments, while reflecting new design, need to incorporate design features that reflect the character of existing development, using materials (such as red brick) which complement existing buildings. Innovation is not ruled out, however

**8**

**A19.** The NPPF states (207) that “effective **enforcement** is important as a means of maintaining public confidence in the planning system”. It suggests local authorities publish information about their enforcement activities. During its consultations, the NDF found concern about weak levels of enforcement (including in Conservation Areas) and a lack of clarity about the processes involved. The NDF would welcome the publication of clear information about the enforcement of planning policies in the Area and greater transparency on this issue by Camden Council.

**9**



**RECOMMENDATION A:** In support of Policies 1 & 2, the following actions are recommended to fulfil and complement the aims of these policies:

- i. **That greater efforts be given to monitor and enforce approved planning applications and planning policies in the Area, and that this process is made more transparent.**

**10**


gardens. It says "the erosion of the details and the gardens is detrimental to the quality of the residential area". It says any new work or buildings in the area "should reflect the materials, colour palette, scale and character of the area" and that new development "must preserve or enhance

**11**

**Maygrove Peace Park** - this award-winning public park forms a focal point for the community in this part of the area. It has recently been upgraded to incorporate a children's play area, an outdoor gym, and new planting - and as such is a highly significant local asset.

## 12


Secure | <https://www.gov.uk/guidance/national-planning-policy-framework/7-requiring-good-design>



# National Planning Policy Framework

From: Department for Communities and Local Government  
 Published: 27 March 2012  
 Updated: 27 March 2012, see all updates

Search this manual



[Contents](#) > 7. Requiring good design

## 7. Requiring good design

Paragraphs 56 to 68

## 13



<https://www.gov.uk/guidance/national-planning-policy-framework/7-requiring-good-design>

## 14

64. Permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions.

## 15

To achieve good design the use of expert advice from appropriately skilled in house staff or consultants may sometimes be required. But design should not be the preserve of specialists, it is also important to seek the views of local communities.

## 16

The screenshot shows a web browser with three tabs: 'camden planning policy', 'Design - GOV.UK', and 'Planning Applications'. The main content area displays text about local materials and landscape design. Below the text, there is a reference ID and a revision date.

al-character

local materials, building methods and details can be an important factor in enhancing local distinctiveness when used in evolutionary local design, and can also be used in more contemporary design. However, innovative design should not be discouraged.

The opportunity for high quality hard and soft landscape design that helps to successfully integrate development into the wider environment should be carefully considered from the outset, to ensure it complements the architecture of the proposals and improves the overall quality of townscape or landscape. Good landscape design can help the natural surveillance of an area, creatively help differentiate public and private space and, where appropriate, enhance security.

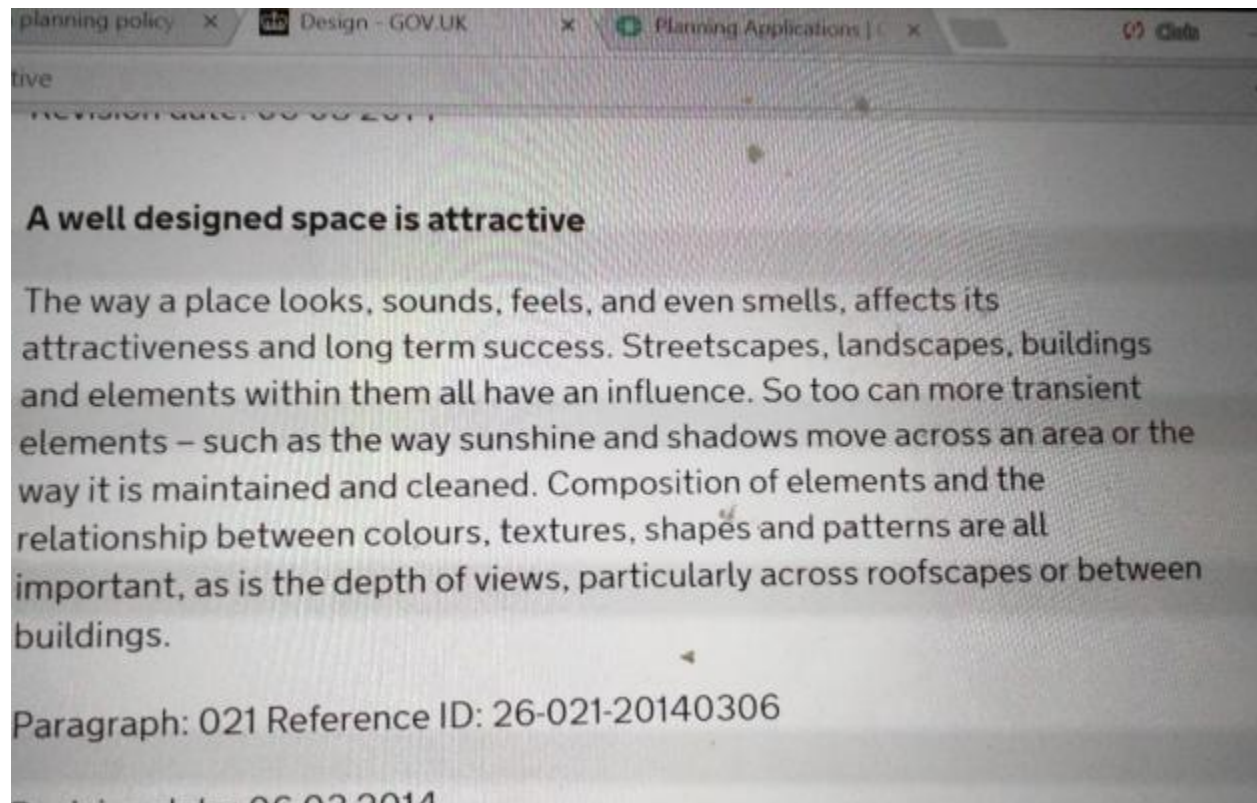
Paragraph: 007 Reference ID: 26-007-20140306

Revision date: 06 03 2014

## 17

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## 18



planning policy x Design - GOV.UK x Planning Applications | x Close

tive

REVISION DATE: 06 03 2014

### A well designed space is attractive

The way a place looks, sounds, feels, and even smells, affects its attractiveness and long term success. Streetscapes, landscapes, buildings and elements within them all have an influence. So too can more transient elements – such as the way sunshine and shadows move across an area or the way it is maintained and cleaned. Composition of elements and the relationship between colours, textures, shapes and patterns are all important, as is the depth of views, particularly across roofscapes or between buildings.

Paragraph: 021 Reference ID: 26-021-20140306

06 03 2014

## 19

**Consider scale**

This relates both to the overall size and mass of individual buildings and spaces in relation to their surroundings, and to the scale of their parts.

Decisions on building size and mass, and the scale of open spaces around and between them, will influence the character, functioning and efficiency of an area. In general terms too much building mass compared with open space may feel overly cramped and oppressive, with access and amenity spaces being asked to do more than they feasibly can. Too little and neither land as a resource or monetary investment will be put to best use.

The size of individual buildings and their elements should be carefully considered, as their design will affect the: overshadowing and overlooking of others; local character; skylines; and vistas and views. The scale of building elements should be both attractive and functional when viewed and used from neighbouring streets, gardens and parks.

**20****Consider form**

Buildings can be formed in many ways, for example tall towers, individual stand alone units, long and low blocks, terraces. They can all be successful, or unsuccessful, depending on where they are placed, how they relate to their surroundings, their use and their architectural and design quality.

**21**



### Consider materials

Materials should be practical, durable, affordable and attractive. Choosing the right materials can greatly help new development to fit harmoniously with its surroundings. They may not have to match, but colour, texture, grain and reflectivity can all support harmony.

There are a wide range of building and open space materials available and more products developed all the time. Innovative construction materials and techniques can help to achieve well designed homes and other buildings. This

## 22

### Using Design review

Design Review is a tried and tested method of promoting good design and is an effective way to improve quality. Local planning authorities should have local design review arrangements in place to provide assessment of proposals and to support high standards of design. Local authorities should,

## 23

Revision date: 06 03 2014

### Using planning agreements and conditions

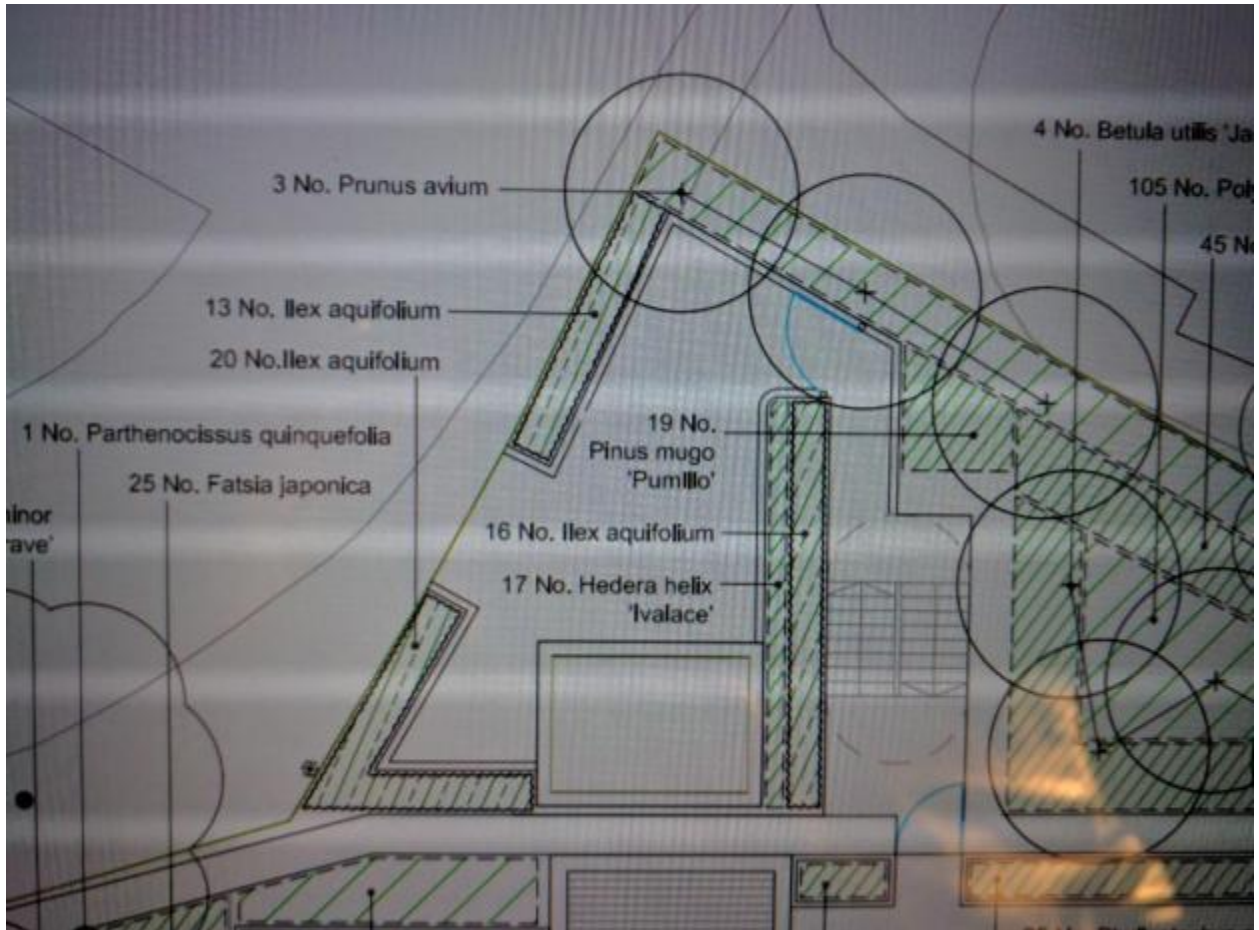
The design process often continues after the granting of permission. If the local authority feels that detailed design issues are central to the acceptability of a scheme, they may wish to use conditions to require these to be approved at a later date. This could be due to the sensitivity of the site, its relationship to existing properties or because permission relied on the integrity and quality of the architecture and landscape design proposed. Whilst conditions can be used to improve the certainty of the design outcome that will be delivered, the Local Planning Authority should ensure that each condition meets the 6 tests in National Planning Policy Framework policy.

## 24

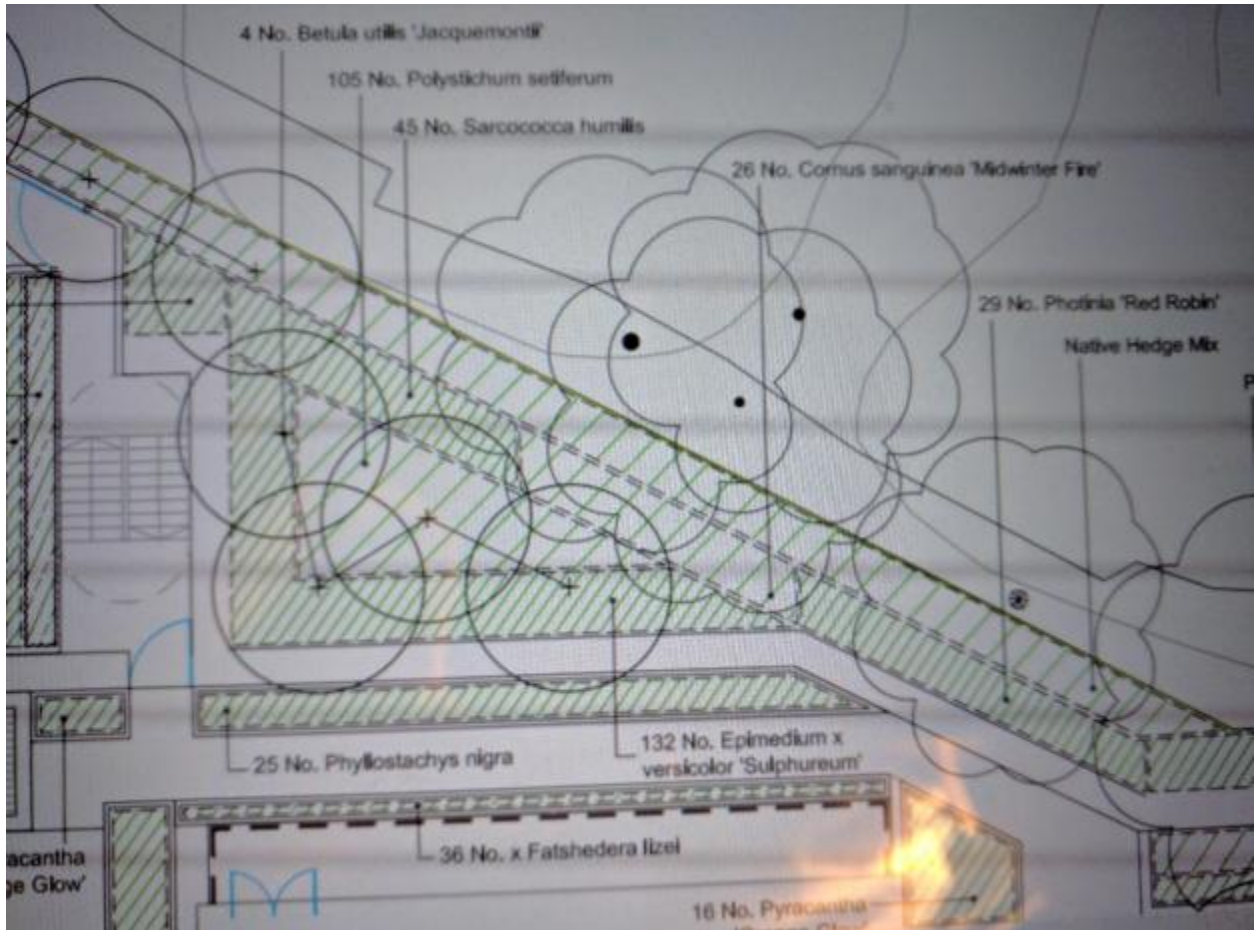
Consideration should be given to the servicing of dwellings such as the storage of bins and bikes, access to meter boxes, space for drying clothes or places for deliveries. Such items should be carefully considered and well designed to ensure they are discreet and can be easily used in a safe way.

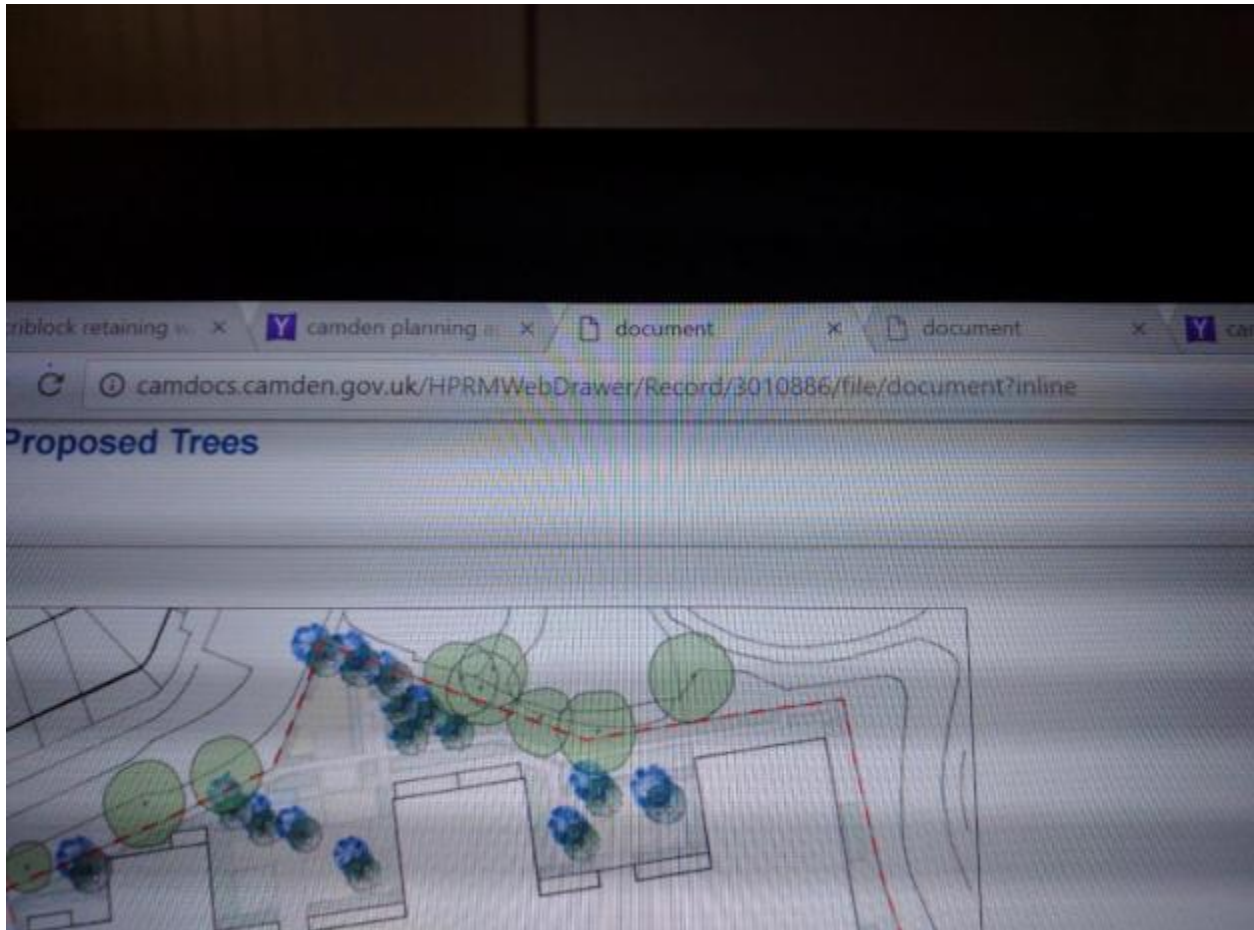
Unsightly bins can damage the visual amenity of an area. Carefully planned bin storage is, therefore, particularly important. Local authorities should ensure that each dwelling is carefully planned to ensure there is enough discretely designed and accessible storage space for all the different types of bin used in the local authority area (for example landfill, recycling, food waste).

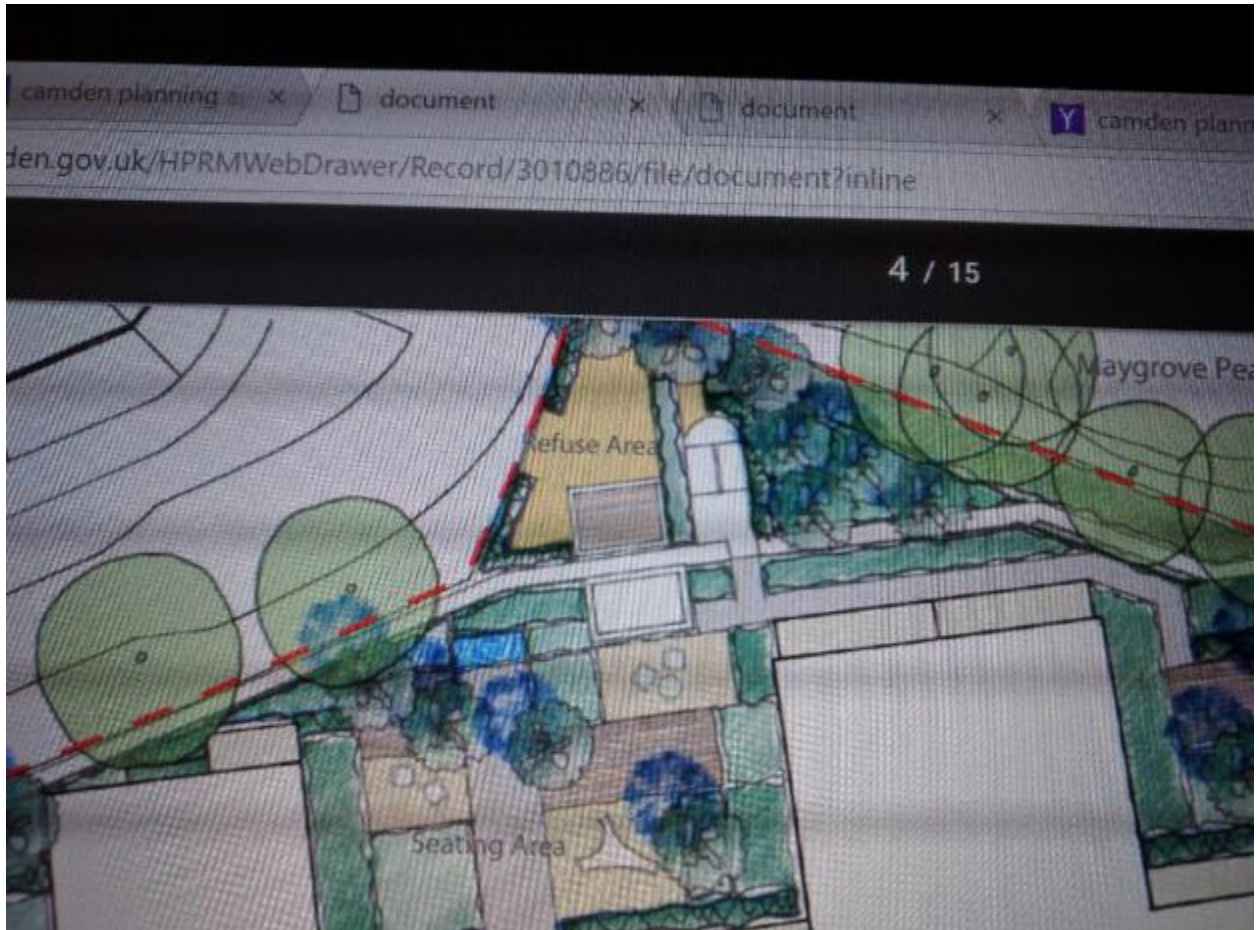
## **From Original Planning Application**



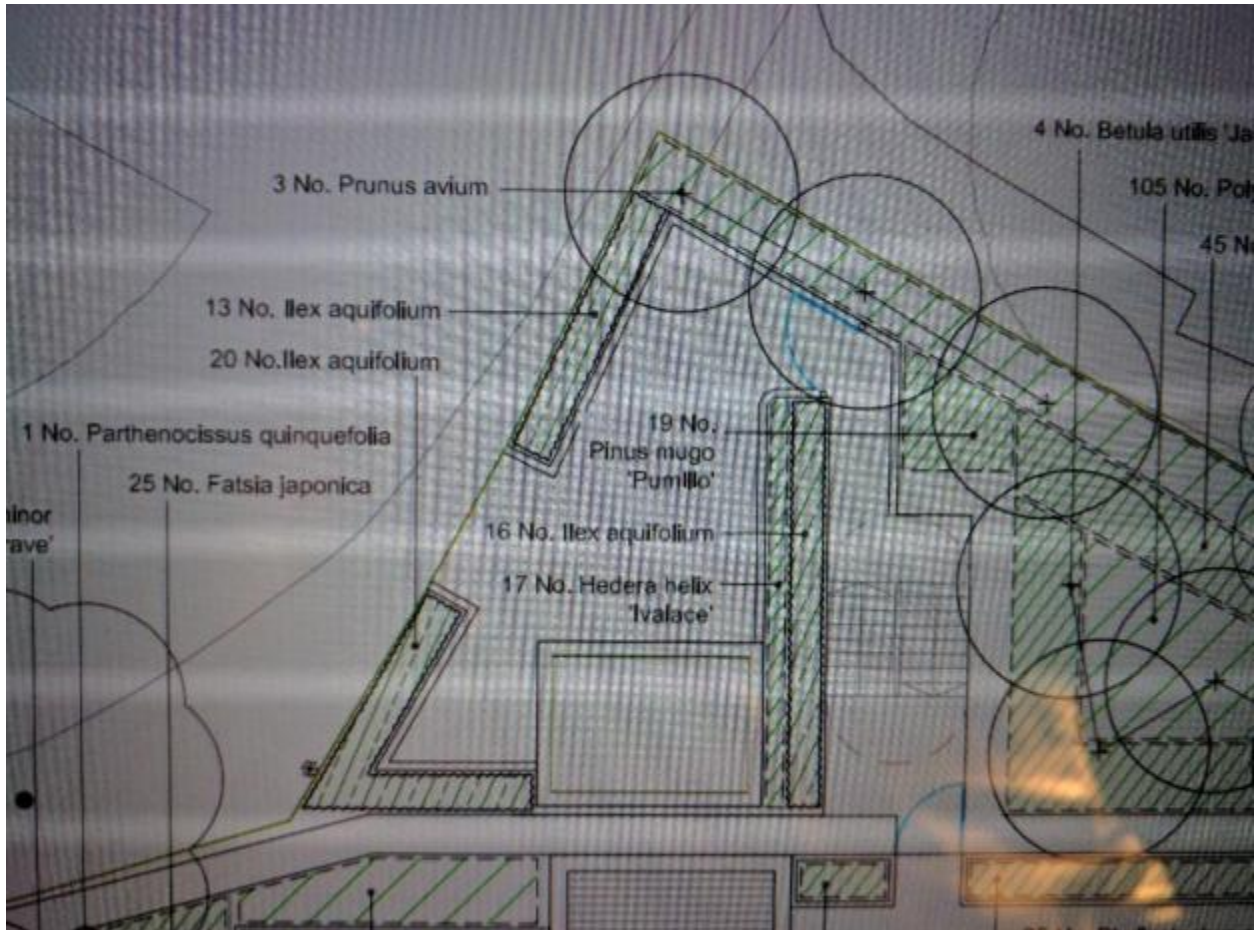


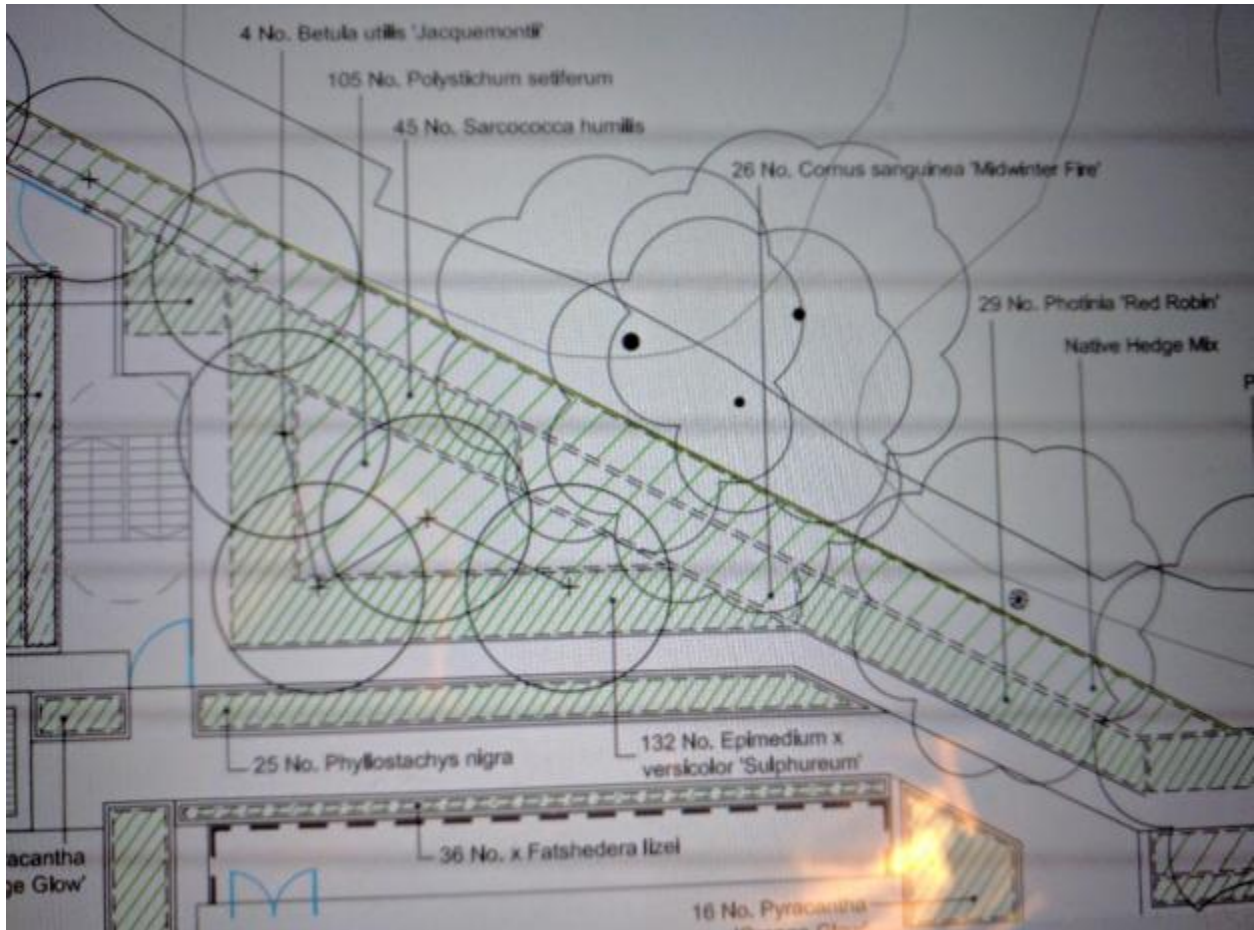


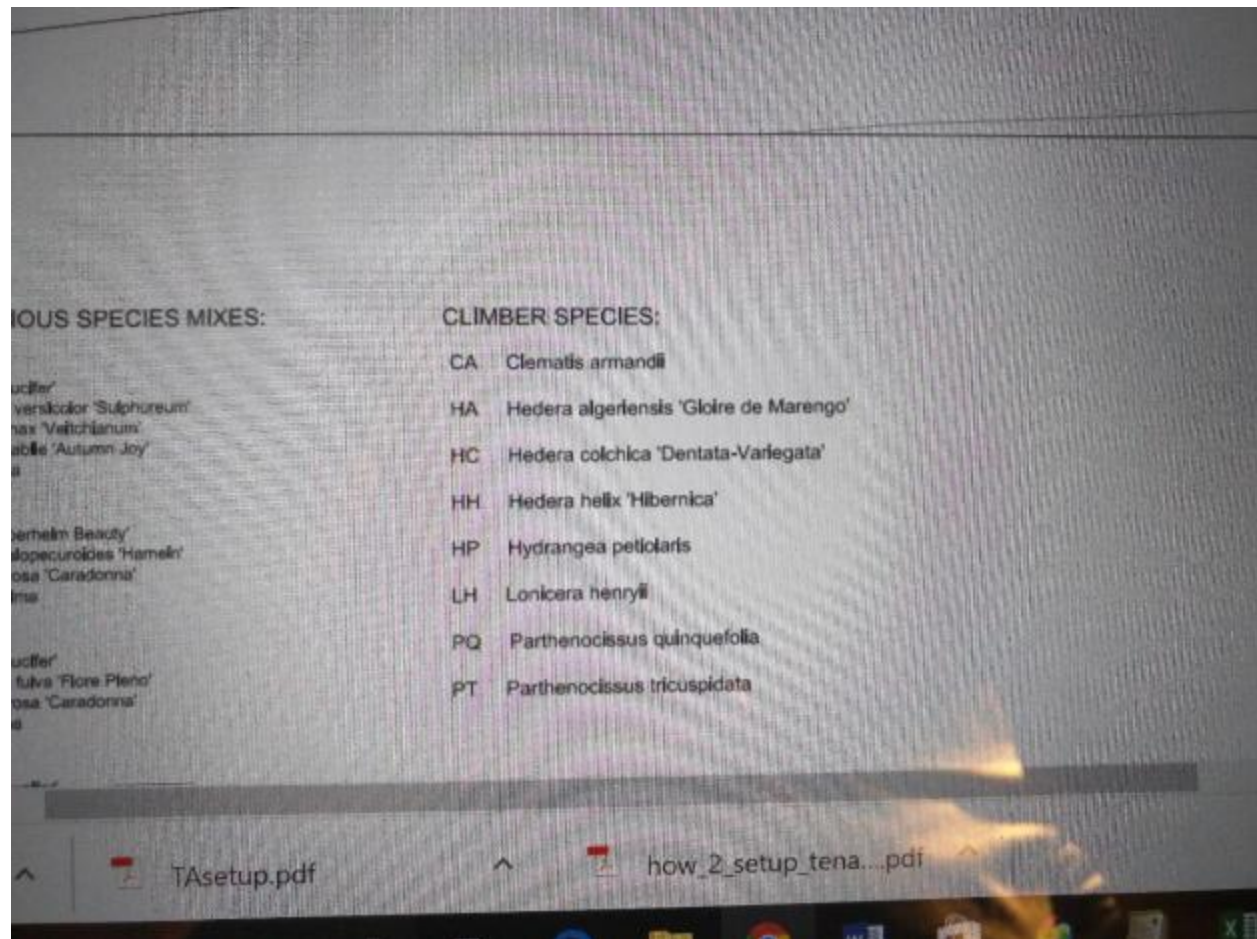




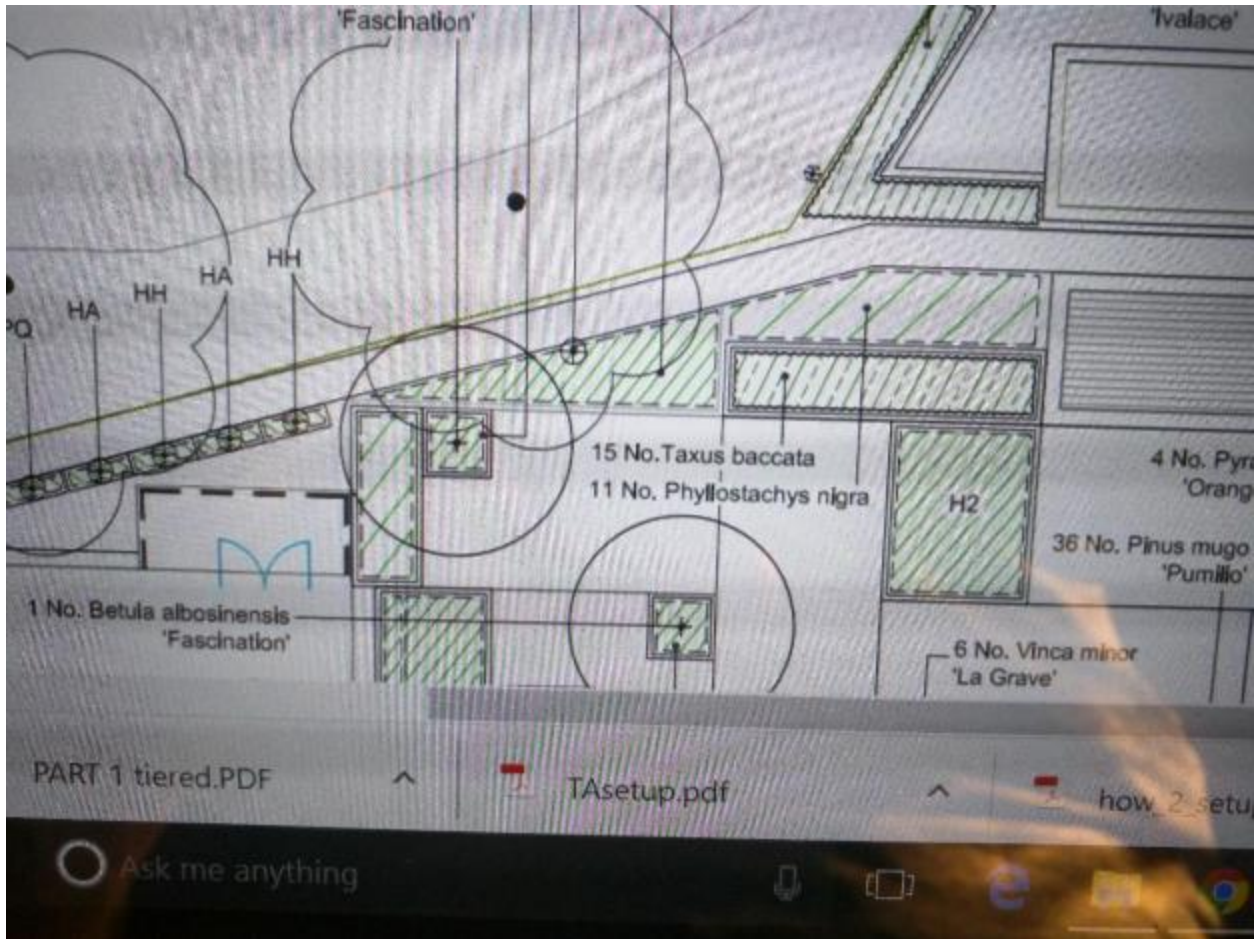


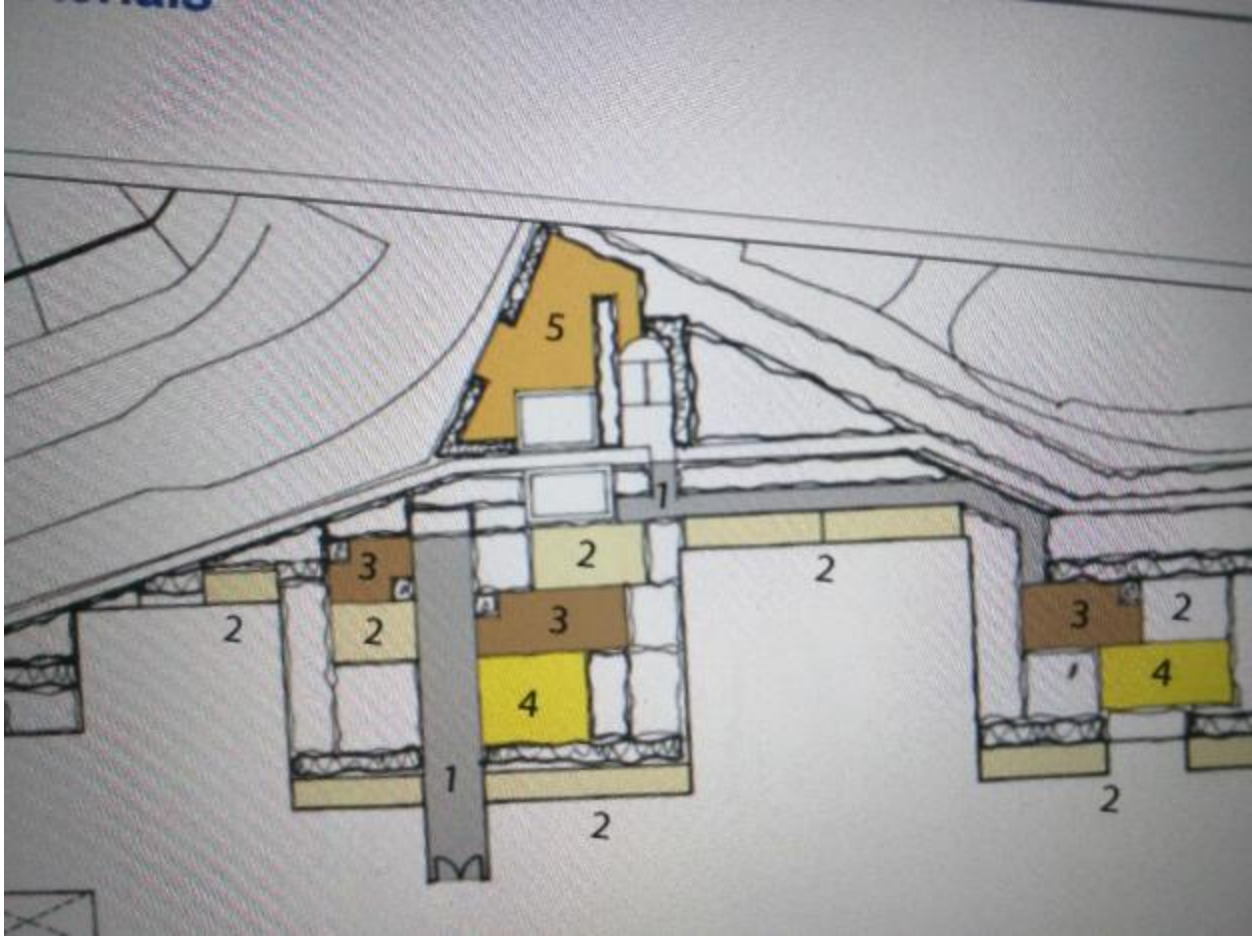












5. Resin-bound Gravel - to vehicular areas to the front of Maygrove Road; and to the refuse area to the rear of the site (off Brassey Road). Marshalls paving.

Formal hedges will run parallel to the building to provide a garden screen between the new building and the Park. Planting will have seasonal interest, and, in some species, reference will be made to the history

Architects specialise in quiet, dignified and crisp elevations with a variety and rhythm introduced into an ordered and well detailed brick architecture.

specify "warm brick for continuity and connection with the surrounding environment. to compliment other façade materials"

ment

camdocs.camden.gov.uk/HPRMWebDrawer/Record/3010881/file/document?inline

### 3.7 Elevations : Materials Palette

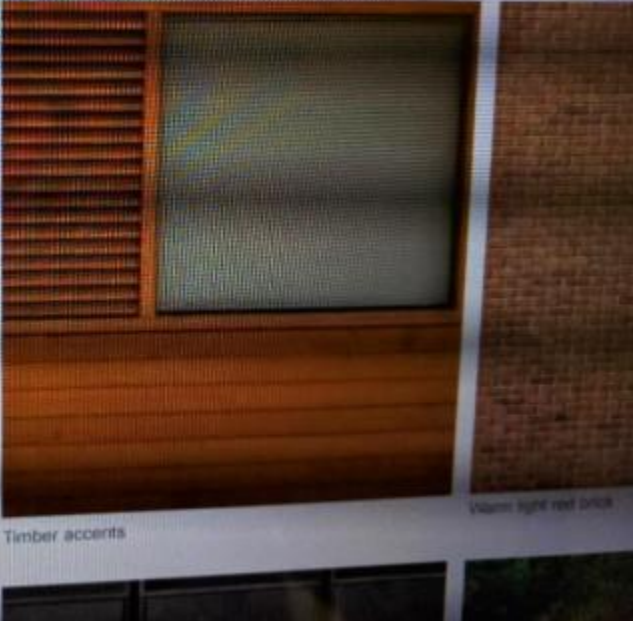
It is the intention to select a simple palette of robust, good quality materials for the elevations to the new 65-67 Maygrove Road. The primary materials proposed are

- Warm light red brick, good quality, handmade
- Glass
- Timber panels and boarding
- Metal elements with a warm grey metallic finish (bronze anodised aluminium or similar)

After looking at the wide variety of bricks in use in the surrounding streets, it was difficult to see which brick type of colour was prominent in the locality

Initially a traditional London stock brick was considered, but later discounted due to the wish to delineate the new building from No 59 Maygrove Road with its light buff brick

Finally a warm light red brick was selected as the facing bricks for the new building. The existing Handral House is made from red bricks and thus the use of red bricks in the new building gives some continuity and connection to the original building on the site. This compliments the other facade materials selected such as the timber paneling and warm grey coloured metal accents, and will coordinate with the many different kinds of brick in the buildings setting.

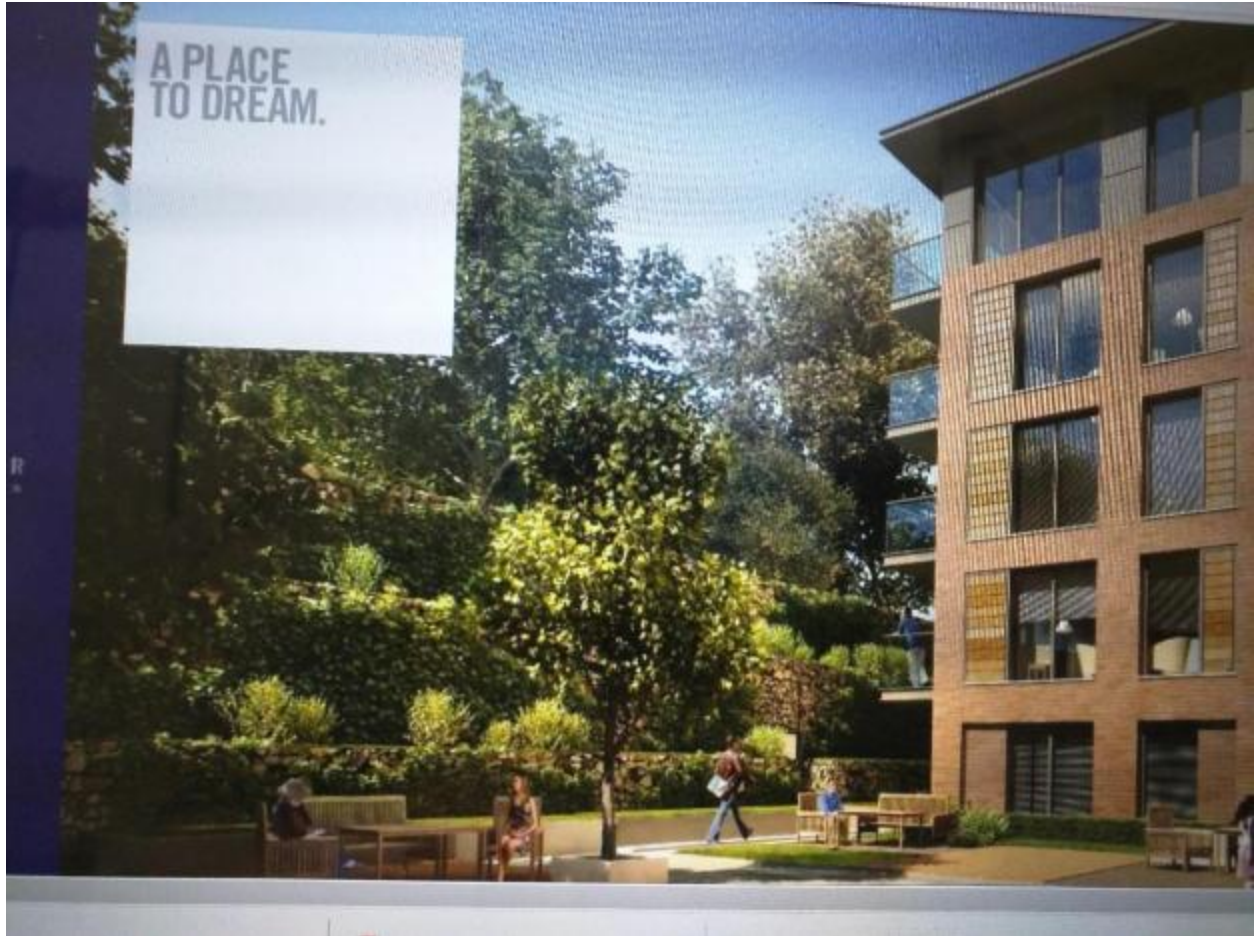


Timber accents

Warm light red brick









## Details Page for Planning Application - 2012/5934/P

Site Address 65 & 67 MAYGROVE ROAD LONDON NW6 2EH

### Decision

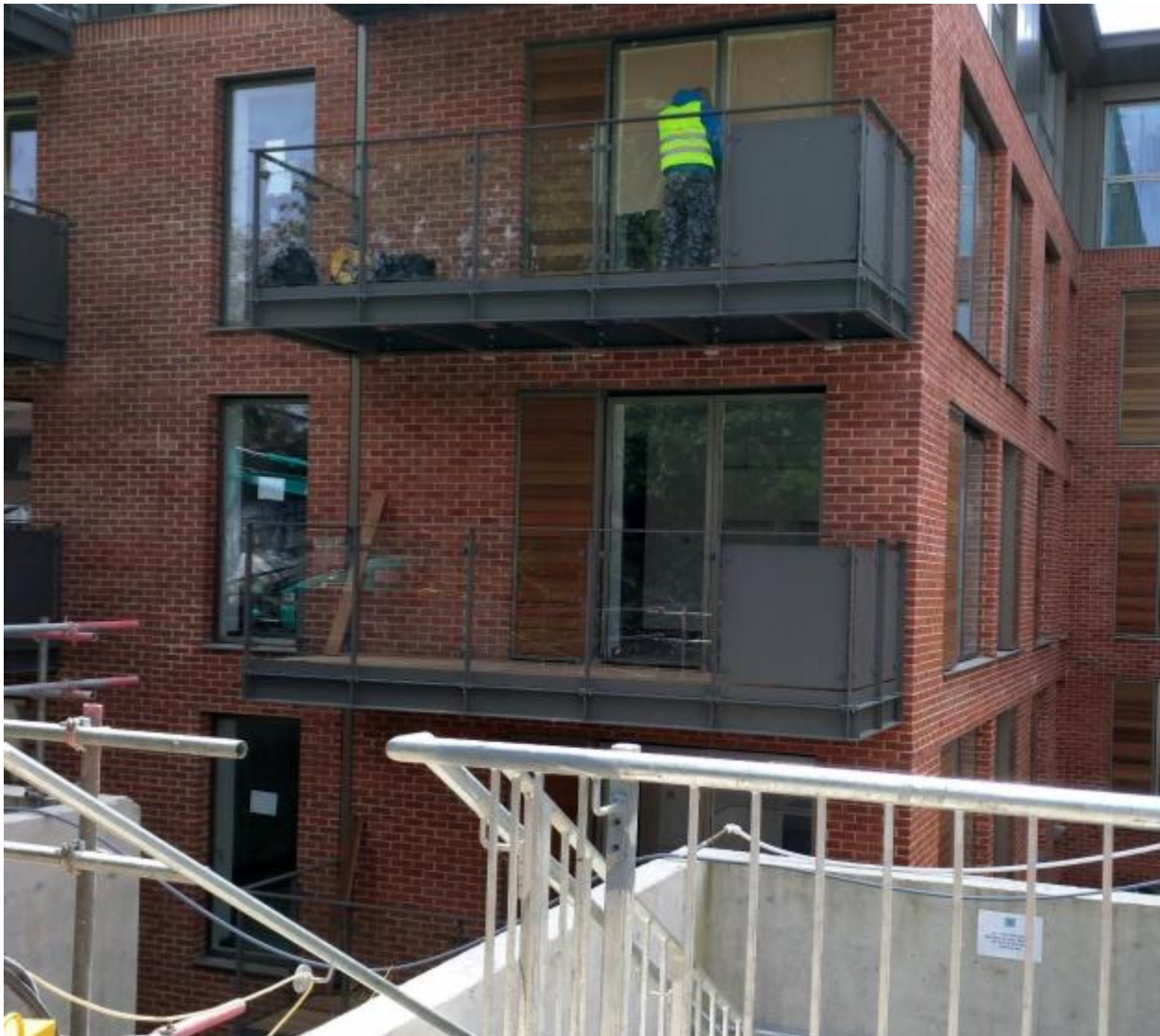
No development shall take place until full details of hard and soft landscaping and means of enclosure of all un-built, open areas have been submitted to and approved by the local planning authority in writing.

The submission shall also include details of: a. how the landscaping within the rear amenity space would be designed to minimise the opportunities for overlooking of ground floor flats by passive users of the space; Page 3 of 11 2012/5934/P b. the measures taken to green the rear terraces; c. any proposed earthworks including grading, mounding and other changes in ground levels; and d. full details of all boundary treatments, including fencing and other measures to provide screening of the development from the park. The relevant part of the works shall not be carried out otherwise than in accordance with



the details thus approved. Reason: To ensure that the development achieves a high quality of landscaping which contributes to the visual amenity and character of the area in accordance with the requirements of policy CS14 and CS15 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 of the London Borough of Camden Local Development Framework Development Policies. 7 All hard and soft landscaping works shall be carried out in accordance with the approved landscape details by not later than the end of the planting season following completion of the development. Any trees or areas of planting which, within a period of 5 years from the completion of the development, die, are removed or become seriously damaged or diseased, shall be replaced as soon as is reasonably possible and, in any case, by not later than the end of the following planting season, with others of similar size and species, unless the local planning authority gives written consent to any variation. Reason: To ensure that the landscaping is carried out within a

## During construction





## **Actual**

If this was permitted, why and how?























































**After repeated requests to comply with planning consent  
The PRESENT**



















































**CONTRAST WITH NEIGHBOUR'S BIN AREA: -**









**E mail from Regal Homes re new application**



## Reply to Regal

Thank you for sending your planning application, and asking for comment.

As I explained when we met, there are outstanding issues about the service area.

Regal reflected its "Quality, exacting standards, exemplary workmanship, renowned attention to detail" in specifying for Beaufort Court "warm brick for continuity and connection with the surrounding environment. to compliment other façade materials".

The lift house doesn't meet Regal or Camden criteria, and this proposal is to attach a big metal shed onto an ugly incongruous concrete block.

Like the generator, there didn't appear to be any detailed planning application or consent for the lift house, specifically no application for the façade.

Regal never answered, so Camden is investigating for evidence of the lift house at Committee.

Also, Regal gave the impression it'd completed landscaping, eschewing mixed hedging for panel fencing. A Camden landscape expert is advising.

The lift block already dominates Beaufort Court and Brassey Road, and this proposal is discordant, and more dominant.

Estimating from the drawing, the enclosure is 80% of the lift block by area, and 55% by volume. The whole enchilada has no scale or symmetry, and bares no comparison with our immediate neighbours or the vicinity.

In Regal's words

- the vicinity as "well-constructed and detailed, which together with tree planting creates a very unique and high-quality environment and character"
- "The residential character of the area is largely characterised by brick, and this material should provide the starting point"
- "A mid red brick is proposed as the dominant facing material"
- "Intention is a simple palate...of good quality materials...detailed carefully"

Fortune Green is a high quality residential area, not industrial.

One of the 3 tenets of good architecture, is that it should delight people and raise their spirits.

If there's no alternative to having a generator, the enclosure can either be customised as a brick extension, or the enclosure screened on the east side by a brick wall, itself softened by climbers or landscaping.

There also needs to be better hedging/landscaping to screen from Brassey Road Eg Brick wall: -

This is my initial reaction.

Regal's portfolio has excellent designs, and can do better.



PS Sending the planning details of the lift house façade will be very helpful.

Dr C R Gilbert

## **Application 2017/6779/P**

This application is care-less, careless in being inaccurate, careless disregard without regard to design and aesthetics.

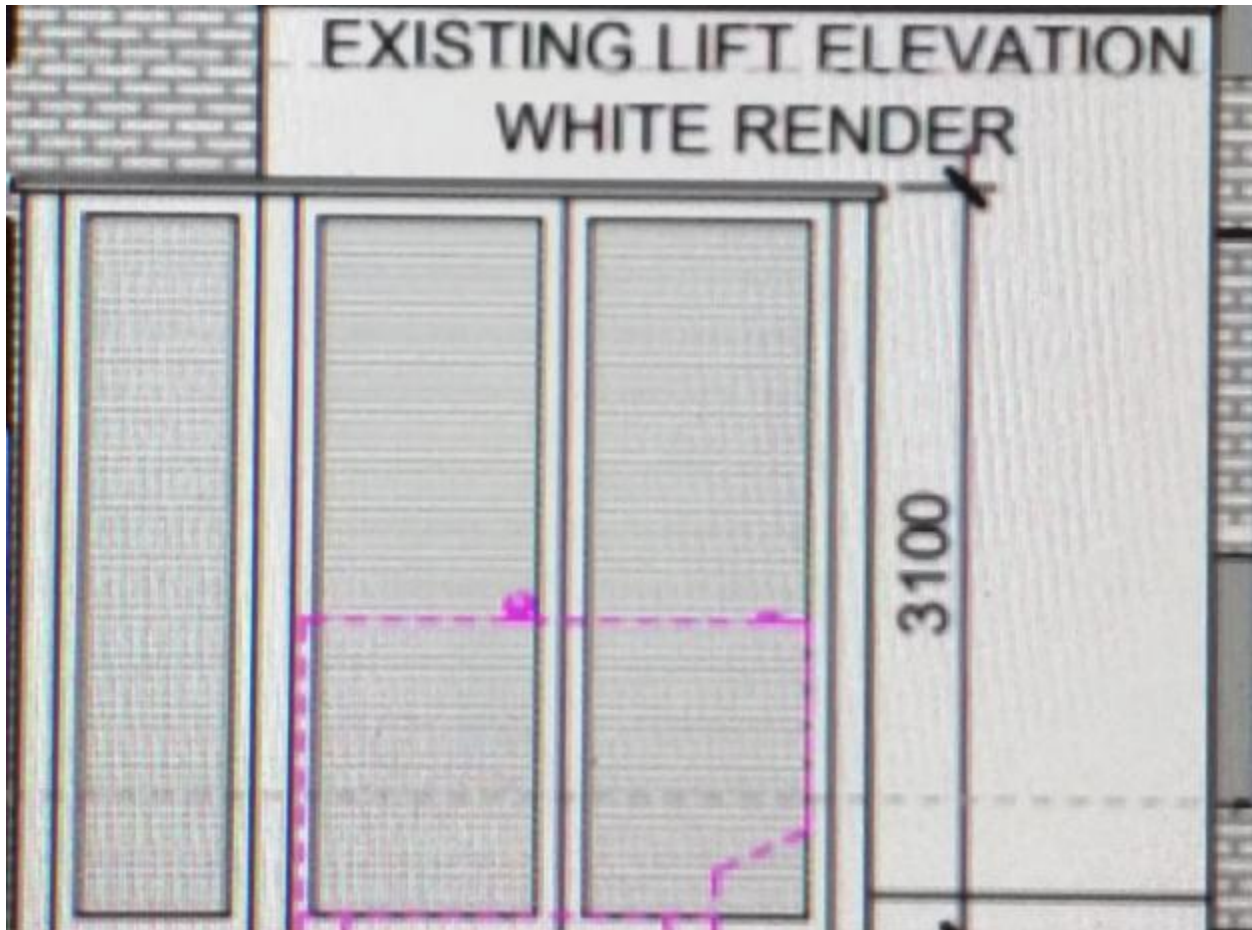
North Elevation - Fence panel wrong size

Proposed West Elevation - shed omitted

Existing plan - Fence in wrong place, some hedging on plan do not exist

No South or East Elevation - the view which residents have, so the application does not represent the common views.

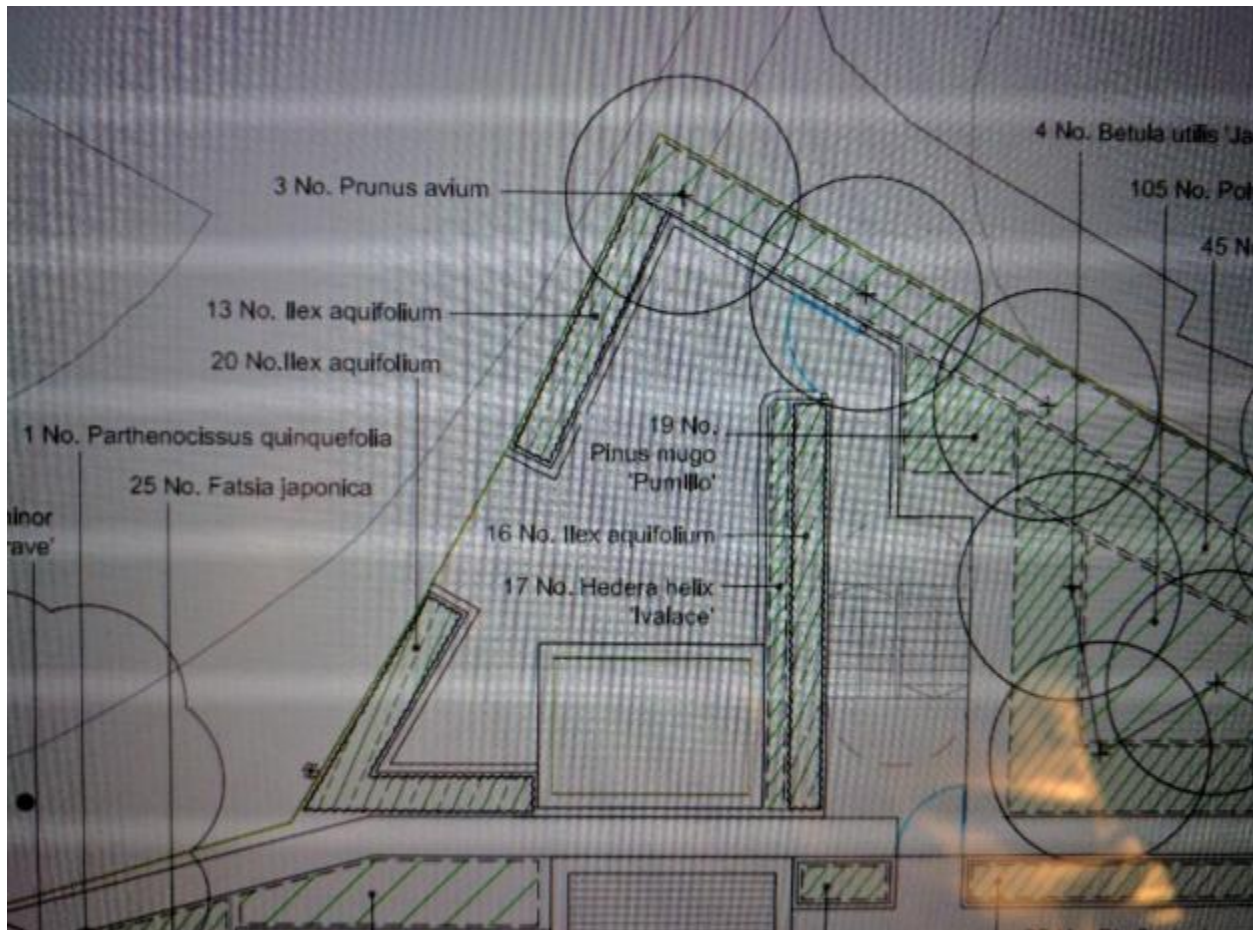
The shed is BIG. The lift house is big in proportion to environment. The shed size is perhaps 60% of the lift block, their combined impact would be overwhelm the area.



Question 15 "are there trees and hedges on the proposed site" Regal "No"

Not so. Regal has repeatedly refused to comply with the landscaping in original application, eschewing landscaping for tatty panel fencing (not even straight). It now proposes to denude the area, making it poor in comparison with industrial units (not that there are any in the vicinity)

Original application



"In addition to the enclosure, a 1.8m high (fence) to the east will guarantee outlook of residents is not impacted" – Not so. CGI needed of view from SE

### **From shared notes 4<sup>th</sup> Nov 2017, meeting with Cilpa Beechook & Gary Bakall**

I referred the site to Camden Planning Enforcement on 4<sup>th</sup> April 2017, requesting the site be completed in accord with the assumed planning consent.

#### Landscaping.

E mail from Cilpa 13th October.

Regal Homes provided the attached document. This document was approved in planning application ref: 2013/2815/P- 'Details pursuant to conditions 6 (hard and soft landscaping), 9 (cycle storage), 11 (green roof) and 19 (sustainable urban drainage) of permission granted on 21st February 2013 (Camden Ref 2012/5934/P) for "Redevelopment of the



site to provide 91 residential units in a building comprising basement, ground and four upper storeys, with basement parking and associated hard & soft landscaping following the demolition of office and residential buildings at 65 and 67 Maygrove Road)" (abbreviated).’ They have stated that they have completed the attached proposal.

On 17th October I (CG) pointed out that the attached document has nothing to do with our complaint. Nonetheless, that’s the document you (Cilpa & Gary) brought to our meeting. DOC.PDF;Maygrove Peace Park\_Planting Proposals\_2016.04.pdf; This complaint is restricted to Beaufort Court. As you have seen for yourselves, Regal has not completed the 2013/2815/P landscaping. You said you’d arrange for a Camden landscaping expert to review

#### lift block

I’d not been able to trace the planning application or approval, nor any detail or description. I therefore wondered if there was no planning consent. You said that’s incorrect, it’s on the plans, and showed me:-



That drawing seems to indicate a lift, not a lift house. The lift block is only depicted in landscape proposal sketches. Regal’s design proposals for Beaufort Court detail their intentions of “softness, quality materials and design, compliment & continuity” etc . Much was given to minimizing the impact of the north retaining wall, so it’s surprising the committee decided upon such a stark block to dominate the site, and exacerbate the

crudity of the wall. There's published consents for details such as bird boxes, but no mention of the generator or the lift house. The logical explanation is that the generator and lift house did not go before the committee. However, On 13th October you stated, "I understand that you believe the service area is 'ugly and inappropriate' however, the structure has been built in accordance to the approved plans. Enforcement action can only be taken once a breach has occurred" Our brief informal meeting lacked capacity to resolve this specific issue, so I am submitting a further referral to Camden Planning Enforcement.

My contention was that panel fencing, that wasn't straight and didn't match adjacent fencing, was not the same as a mixed hedge, nor was the plant below.



Herewith my attempt at CGIs!!







16. Regal. "the proposed development has been designed having regard to the adopted development plan including Camden Local Plan and Camden Planning Guidance and is considered to comply with all relevant policy requirements"

Really?! This must to be justified.

- Can a big block, a metal shed, & 20 quid panels from B&Q claim to be a "design"?
- Does it *really* meet all Camden and Government criteria? Not 1-24 above.
- What does that statement say about the applicant or the health of Camden planning?

There are further concerns. The proposed plan shows only a few bins, whereas there are usually more, occasionally many more. It is an emergency exit.

### **Comment**

- This area has been treated with disdain by Regal Homes and Camden. Both have become opaque.
- Regal Homes can do excellent designs
- It's ripe for imaginative and innovative design.

- I was advised that this application will be assessed by an individual, not by committee. In the light of the history, and that relevant information about the correctness of any approval of the lift block, full and detailed explanation of approval/rejection will be necessary for all parties
- Vigorous enforcement is fundamental

This application was Received by Camden 7<sup>th</sup> December 2017, and appeared online on 4<sup>th</sup> January, 19 working days later. The public have until 24<sup>th</sup> January to comment (14 working days).

To obtain this application I had to enquire from Camden enforcement on numerous occasions, ask Regal homes (denied), register online, write to the Chief Executive and make another FOI request.

How does that facilitate (A20) "Early, positive and meaningful engagement with those living and working in the area.....improve efficiency and effectiveness of the planning application system for all parties, resulting in "improved outcomes for the community""

It's a shame that Regal and Camden Enforcement have disengaged. I much prefer collaboration to formal process. Surely transparency will achieve a better outcome.

Please let me know if you require any further information, clarification or referencing.

Dr C R Gilbert

n.gov.uk/Northgate/PlanningExplorer17/PLComments.aspx?pk=458298

**Application Type**

**Addresses** Beaufort Court, 65 Maygrove Road, London, NW6 2DA

**Development Types** Residential Minor Alterations

**Description** and associated acoustic enclosure on existing area of hard standing at rear of building.

[The Site Plan for this application](#)

**Please enter Comments and Personal Details below**

Sections marked with \* must be completed.

**Comments (32000 character limit)** not have planning consent, and there are concerns that the developer failed to comply with previous consents. there are questions about Camden planning enforcement. Full and comprehensive information to follow

You have 31691 characters left.

**Name \*** Gilbert

**Comment Type** Appeal Correspondence

I would like to attend committee

I would like to speak at committee