

Ms Kathleen Chan
Kathleen Chan Architecture
65 Coppetts Road
London
N10 1JH

Application Ref: **2017/5282/P**
Please ask for: **Thomas Sild**
Telephone: 020 7974 **3686**

12 January 2018

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:
4 Bromwich Avenue
LONDON
N6 6QH

Proposal:
Erection of a single storey rear extension (following demolition of existing) and erection of a single storey rear garden outbuilding (following demolition of existing structures).

Drawing Nos: BA/PA-001, BA/PA-101, BA/PA-102, BA/PA-103, BA/PA-104, BA/PA-105, BA/PA-201 Rev A, BA/PA-202, BA/PA-203, BA/PA-301 Rev C, BA/PA-302 Rev C

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).



- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans: BA/PA-001, BA/PA-101, BA/PA-102, BA/PA-103, BA/PA-104, BA/PA-105, BA/PA-201 Rev A, BA/PA-202, BA/PA-203, BA/PA-301 Rev C, BA/PA-302 Rev C

Reason:

For the avoidance of doubt and in the interest of proper planning.

- 4 Before the relevant part of the work is begun, detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority:

c) Manufacturer's specification details including proposed colour of the extension roofing materials to be submitted to the Local Planning Authority

The relevant part of the works shall be carried out in accordance with the details thus approved and all approved samples shall be retained on site during the course of the works.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 if in CA of the London Borough of Camden Local Plan 2017.

- 5 The flat roofed area of the extension shall not be used as a roof terrace, and any access out onto this area shall be for maintenance purposes only.

Reason: In order to prevent overlooking into the adjoining properties in accordance with policy A1 of the Camden Local Plan 2017

Informative(s):

- 1 Reasons for granting permission.

The proposed single storey rear extension is full width and replaces an existing full width single storey rear addition, extending an additional 1.5m further to the rear. The extension would not be clearly visible from the public realm.

The extension is to be faced in painted render to match the host building, with aluminium framed bi-fold doors to the rear and roof tiles to match the colour and appearance of the main roof, details of which shall be provided by a condition of this consent. Overall it is considered that the proposed extension would remain

subordinate to the host building in terms of design, form and scale, and would not substantially detract from the design and proportions of the original building.

Plans were amended to reduce the height along the boundary with the adjoining neighbour, no. 2 Bromwich Avenue. In terms of amenity, it is noted that the adjoining property no. 2 Bromwich Avenue has a lower rear garden ground level alongside the boundary, however the increase of 1.5m in depth is mitigated by the reduction of height in comparison with the existing structure. The proposed extension will be set away from the boundary with no. 6 Bromwich Avenue, which is noted to enjoy an existing ground floor extension. Overall the development is not considered to result in unacceptable harm to neighbour amenity in terms of loss of daylight, sunlight, outlook or privacy.

The application will replace two existing garden sheds with a single timber-clad outbuilding in the same location, for use as ancillary space to the main dwelling. The proposed outbuilding will not exceed the maximum height of the existing sheds and is situated a minimum of 0.6m from any neighbour's boundary. By reason of its scale, siting and materials the proposed outbuilding is not considered detrimental to the character of the conservation area.

The proposals include the creation of a raised patio area to the rear of the extension. This area is screened by a boundary fence at 1.6m high alongside no. 2 and as such it is not considered to result in undue increase in overlooking or loss of privacy.

It is considered that the proposals still allow for the retention of a reasonable sized rear garden and retain the open character of existing garden amenity.

No objections were received prior to making this decision. The planning history of the site and surrounding area were taken into account when coming to this decision. Special regard has been attached to the desirability of preserving or enhancing the conservation area, under s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013.

As such, the proposal is in general accordance with policies D1, D2 and A1 of the Camden Local Plan 2017, and policies DH2 and DH3 of the Highgate Neighbourhood Plan 2017. The proposed development also accords with the policies of the London Plan 2016 and National Planning Policy Framework 2012.

- 2 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 3 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public

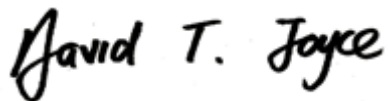
Holidays. You are advised to consult the Council's Noise and Licensing Enforcement Team, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (Tel. No. 020 7974 4444 or search for 'environmental health' on the Camden website or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

A handwritten signature in black ink that reads "David T. Joyce". The signature is written in a cursive, slightly slanted style.

David Joyce
Director of Regeneration and Planning