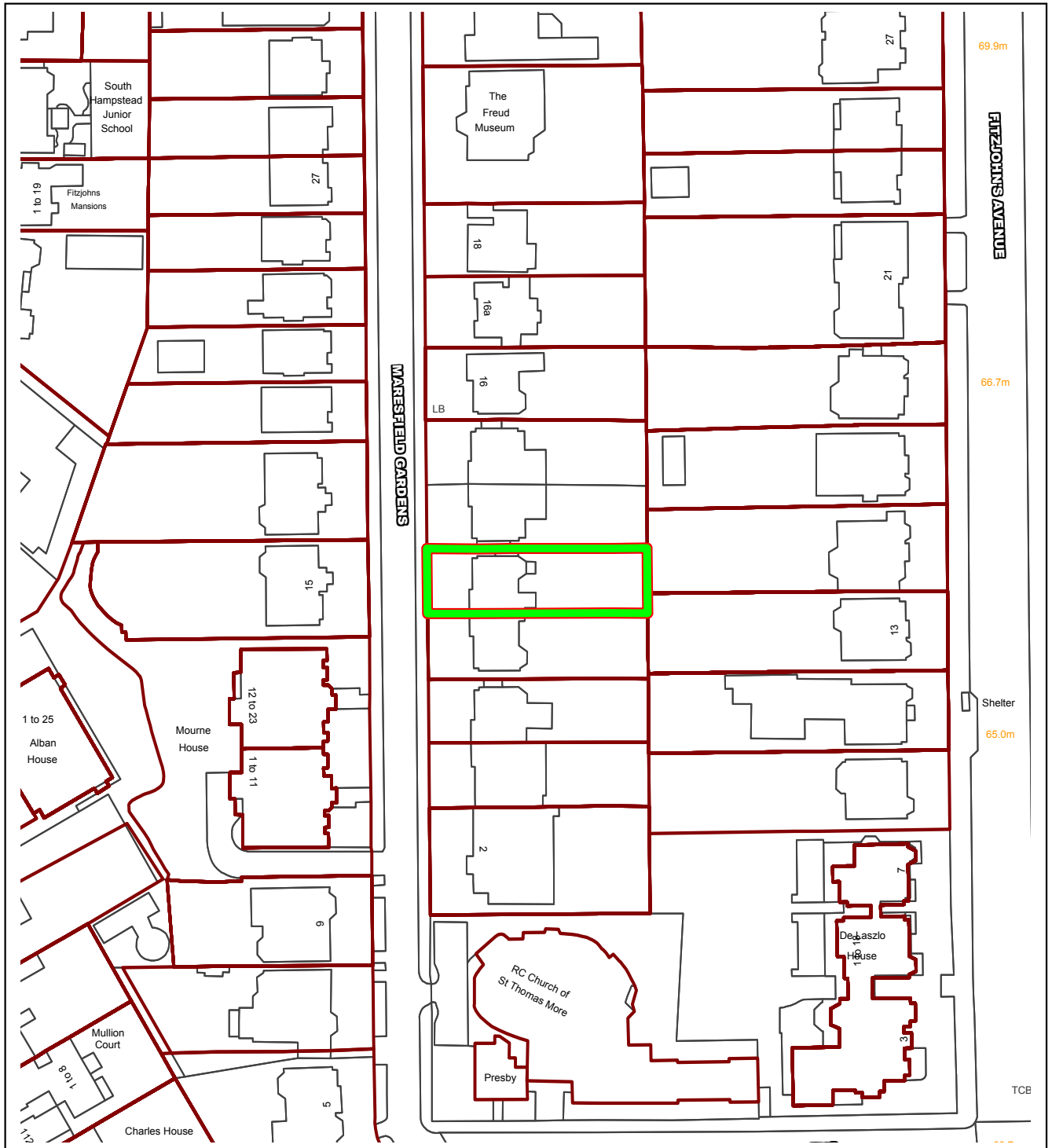


10 Maresfield Gardens LONDON NW3 5SU



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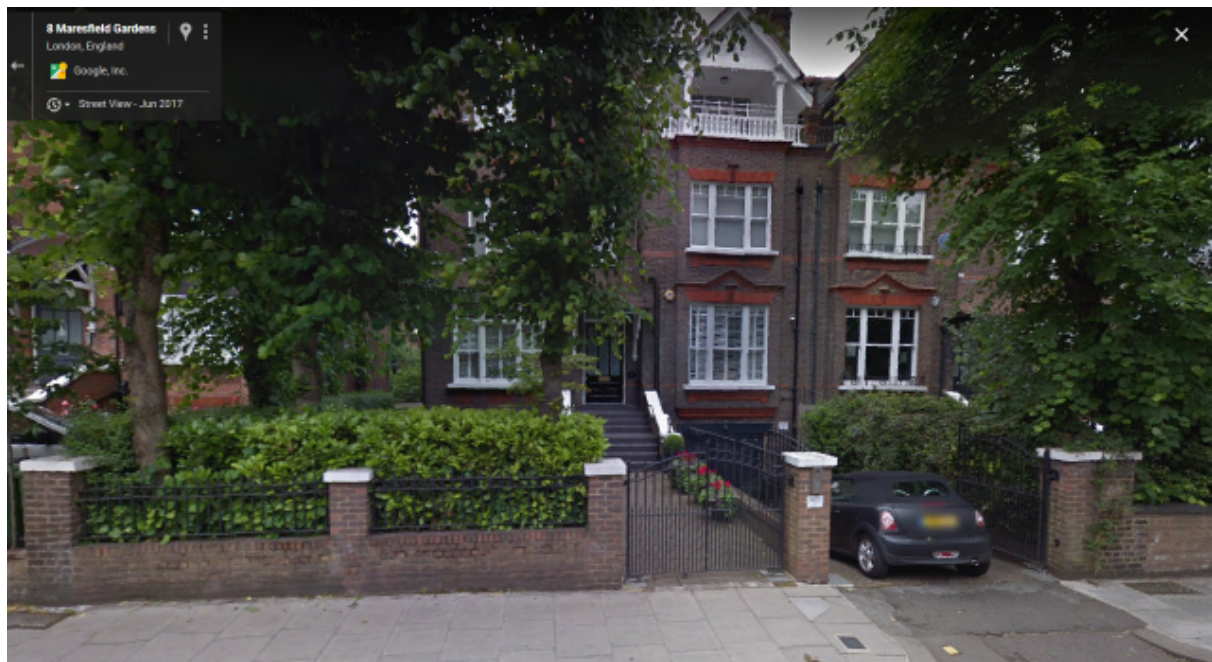
















Delegated Report (Members Briefing)		Analysis sheet		Expiry Date:	25/12/2017
		N/A / attached		Consultation Expiry Date:	14/12/2017
Officer			Application Number(s)		
Alyce Keen			2017/6077/P		
Application Address			Drawing Numbers		
10 Maresfield Gardens LONDON NW3 5SU			003B-00; 004B-00; 005B-00; 005-01; 002-01; 004-01; 009-01; 003-02; 110-01; 109-02; 010-01; 001-01; 122-00.		
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature		
Proposal(s) Replacement of existing front entrance door with window, relocation of the existing lower ground front entrance, alterations to front gate and gate posts, and reconfiguration of glazing to existing extension at rear.					
Recommendation(s):		Granted planning permission			
Application Type:		Householder Application			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:	No. notified	00	No. of responses	02	No. of objections	01
			No. Electronic	00		
Summary of consultation responses:	No comments were received from local residents in response to the proposed scheme.					
CAAC/Local groups* comments: *Please Specify	<p>Comments were received from the Netherhall Neighbourhood Association and the Belsize Residents Association, which are summarised below.</p> <p><u>Netherhall Neighbourhood Association</u></p> <ul style="list-style-type: none"> No objections <p><u>Belsize Residents Association</u></p> <ul style="list-style-type: none"> The proportions of the new street-facing triple sash window is inappropriate when compared to the existing fenestration - the sashes are squat, too short and too wide. Given that the lower ground spaces are simpler/lesser from the spaces on upper floors, with shorter ceiling heights then elsewhere, the fenestration is likely to be shorter too. In the circumstances and in the interest of the Conservation Area character, the widths of the windows should be altered accordingly in order to maintain the dominant proportions of the fenestration on the property. <p>Officers Response:</p> <p>It is considered that the width of the windows has been determined by the need to ensure that the windows align with the fenestration above. The windows on the opposite side of the lower ground level are a different style all together and these windows are in keeping with the style even if marginally wider than the floors above.</p> <p>The proposed alterations have been considered alongside the Council's conservation officer and they considered the fenestration alterations to be appropriate and sympathetic to the host building and, being at lower ground level, would have minimal impact on the overall appearance of the host building and wider area (see street elevation below). If the proposed works were to be approved, all new brickwork and joinery to match adjacent original detailing at lower ground level on front elevation would be conditioned as well.</p>					

Site Description

The application site is situated on the eastern side of Maresfield Road, which contains a four storey semi-detached property.

The property is located within the Fitzjohns and Netherhall conservation area and is designated as a positive contributor.

Relevant History

PW9702977 - Removal of existing conservatory, fire escape stair and balcony at rear; new conservatory and kitchen extension; new stairs to garden and reinstatement of balcony; new rooflight and new terrace over bay; new dormer window to front elevation.

PW9702977R1 - Additions and alterations at the rear of the existing dwelling house including new rooflights, rebuilding of existing balcony at upper ground floor level and glazed extensions at lower ground and ground floor levels, as shown on drawing numbers: 158 01,02,03B,04 (as existing) 158 10C,11E,12D,13A,14 (as proposed).

Relevant policies

Camden Local Plan 2017

A1 Managing the impact of development
D1 Design
D2 Heritage

Camden Planning Guidance 2011

Fitzjohns and Netherhall Conservation Area Statement 2001

London Plan 2016

National Planning Policy Framework 2012

Assessment

1. Proposal

This application seeks approval for the replacement of existing front entrance door with window, relocation of the existing lower ground front entrance, alterations to front gate and gate posts, and reconfiguration of glazing to existing extension at rear.

The main issues are:

- design
- neighbour amenity

2. Design

The existing front entrance door at lower ground level would be replaced with a window to match the existing. Brick arches and sills are to be extended or replaced to match with returns toothed in. The front entrance door would be relocated from the front façade to under the access staircase. The new door at the front of the property is proposed as semi-glazed conservation style door. The alterations are considered appropriate and sympathetic to the host building as they would align with the existing proportions of the windows at this level. Due to the land levels and being at lower ground level, these proposals are considered to have minimal impact on the overall appearance of the host building and wider area.

To the front of the property, the existing vehicular access and off street parking is retained, though the brick gate posts are proposed to be made wider and taller to be in keeping with adjoining properties. The materials of the fence and gate (brickwork to match existing and black painted metal gate) will respect the character of the area. The gate itself is made taller from 0.88m to 1.54m, similarly to others locally and its detail is matched with the existing gate. The proposal would therefore not harm the character and appearance of the building and conservation area.

The existing large glazed pivot door of the conservatory at the back of the property is to be replaced by a triple sliding glazed door. The glazed roof above is to be changed in a similar manner. Changes proposed to the rear conservatory are considered to be minimal as the volume of the conservatory remains unaltered. Both will match the existing materials in terms of finishes.

Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013.

As such, the proposed development is in general accordance with policies D1 and D2 of the Camden Local Plan 2017.

3. Neighbour Amenity

The proposal is not considered to cause any adverse impacts on the amenity of adjoining residential occupiers due to the works at the front being at lower ground floor level, and the materials remaining as glass to the rear conservatory.

As such, the proposed development is in general accordance with policies A1 of the Camden Local Plan 2017.

Recommendation: Grant Planning Permission subject to conditions.

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 15th January 2018, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Mr Benedict Goodall
Cruice Goodall Architecture & Design
25 Chaldon Road
LONDON
SW6 7NH

Application Ref: **2017/6077/P**
Please ask for: **Alyce Keen**
Telephone: 020 7974 1400

9 January 2018

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Householder Application Granted

Address:

**10 Maresfield Gardens
LONDON
NW3 5SU**

DECISION

Proposal:

Replacement of existing front entrance door with window, relocation of the existing lower ground front entrance, alterations to front gate and gate posts, and reconfiguration of glazing to existing extension at rear.

Drawing Nos:

003B-00; 004B-00; 005B-00; 005-01; 002-01; 004-01; 009-01; 003-02; 110-01; 109-02;
010-01; 001-01; 122-00.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Executive Director Supporting Communities



Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application. In particular, all new brickwork and/or joinery should match the adjacent original detailing at the lower ground level on the front elevation.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans: 003B-00; 004B-00; 005B-00; 005-01; 002-01; 004-01; 009-01; 003-02; 110-01; 109-02; 010-01; 001-01; 122-00.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 4 All new brickwork and joinery is to match adjacent original detailing at lower ground level on front elevation.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Noise and Licensing Enforcement Team, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (Tel. No. 020 7974 4444 or search for 'environmental health' on the Camden website or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Director of Regeneration and Planning

DRAFT

DECISION