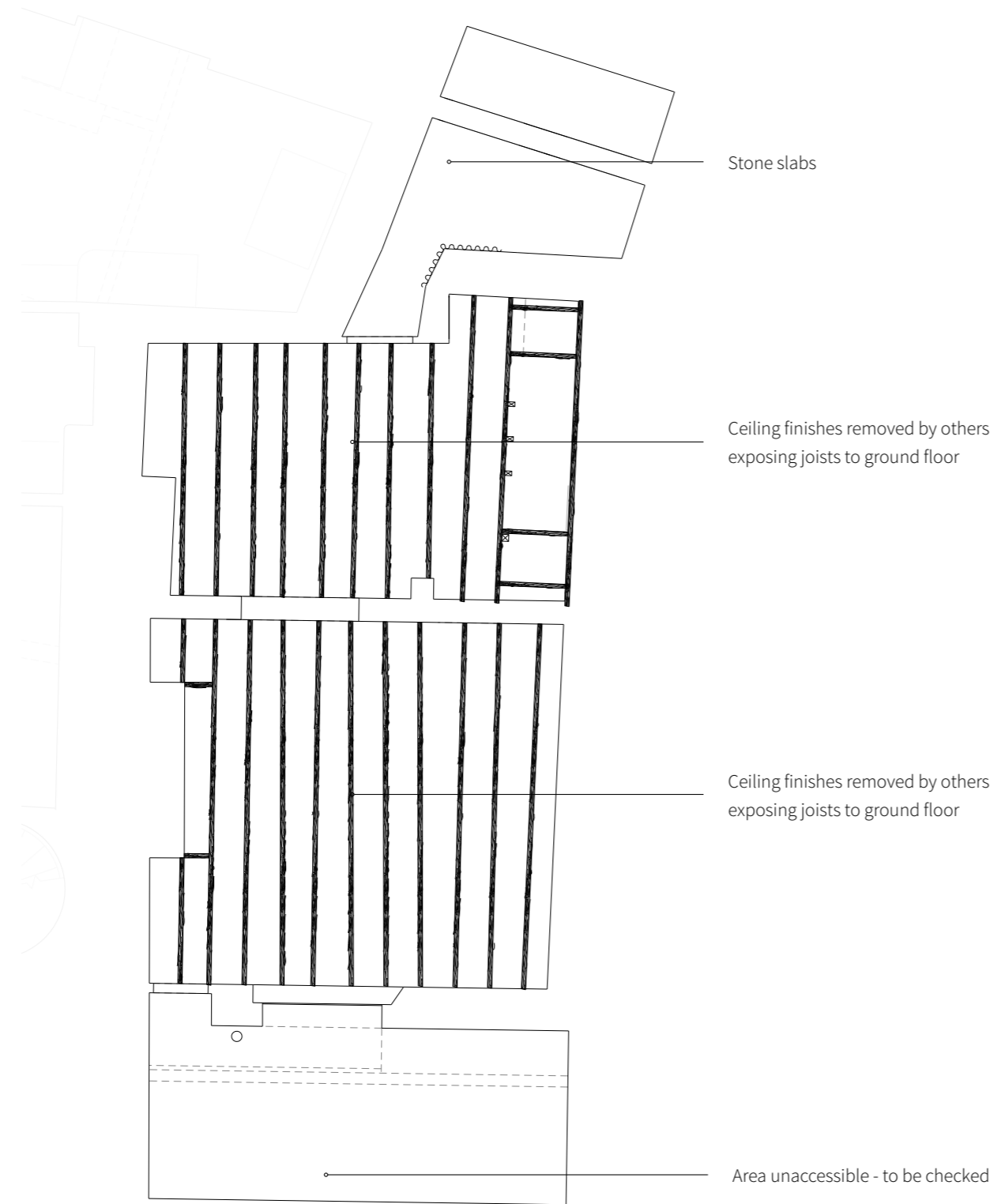
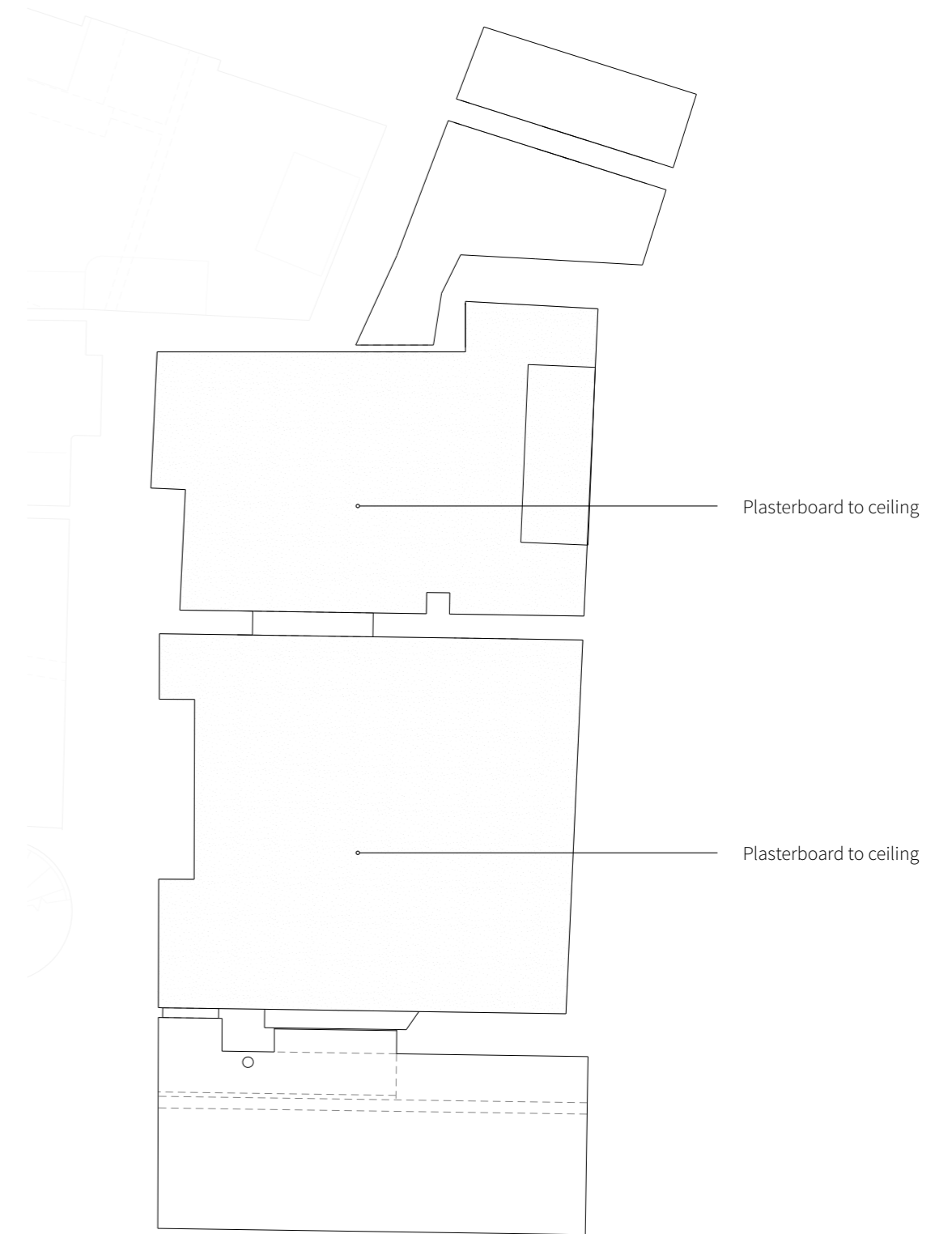


- Key**
- Element of original fabric to be retained
 - Element to be removed
 - Linings/paneling to be removed
 - Linings/paneling to be retained
 - General notes



Existing Basement | Reflected Ceiling Plan | not to scale



Proposed Basement | Reflected Ceiling Plan | not to scale

BASEMENT PHOTO RECORD

Key

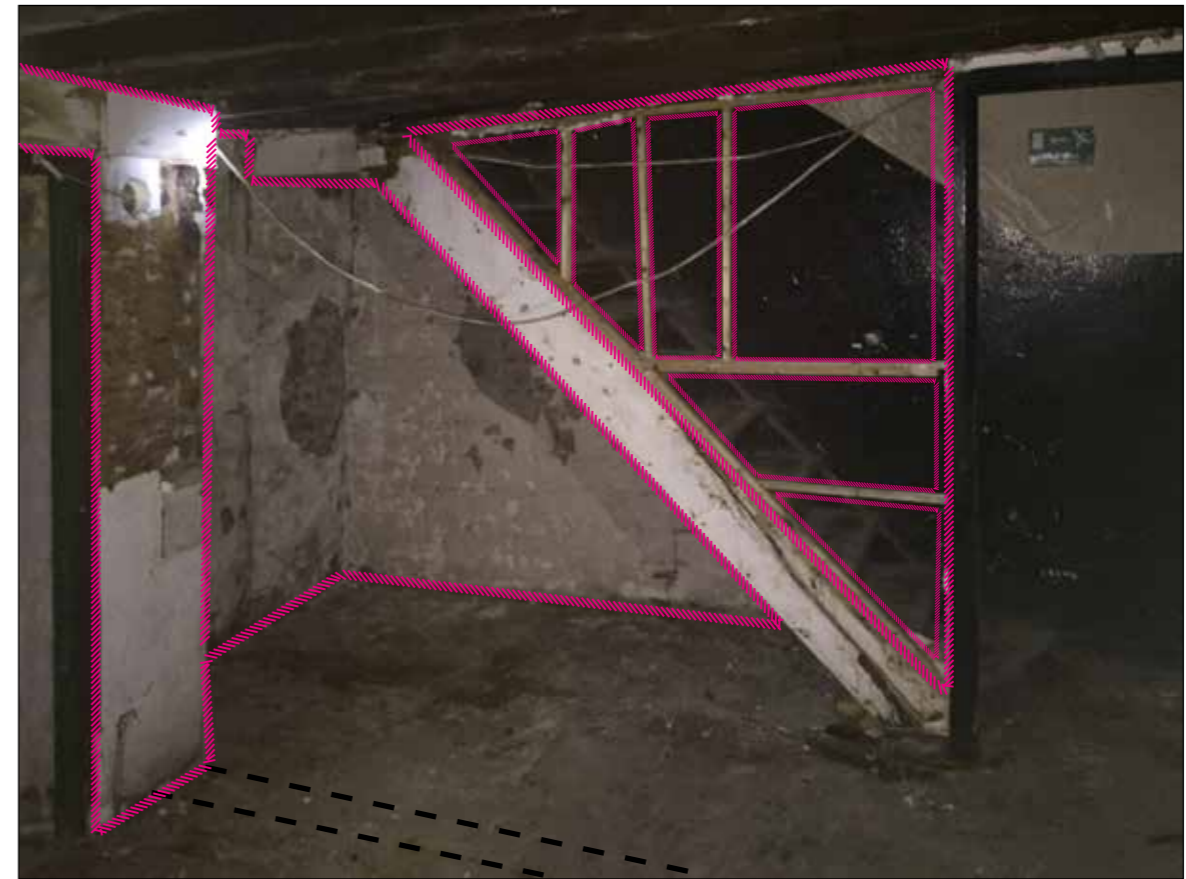
- Element of original fabric to be retained
- Element to be removed
- Linings/paneling to be removed
- Linings/paneling to be retained
- General note



1 - Opening to area beneath St Giles High Street pavement - currently inaccessible. Note possible original window opening to street, filled in

Strip Out Note:

- All linings to masonry wall to be removed to assess brickwork and structural integrity
- Area below St Giles High Street inaccessible - area still to be checked



2 - Staircase up to ground floor. Line of original masonry wall dotted on floor.

Strip Out Note:

- All linings to masonry wall to be removed to assess brickwork and structural integrity. Timbers to stair removed.

Proposed Note:

- New limecrete flooring throughout.
- New balustrade to stair.

BASEMENT PHOTO RECORD

Key

- Element of original fabric to be retained
- Element to be removed
- Linings/paneling to be removed
- Linings/paneling to be retained
- General note



3 - Original opening from stair to primary room filled in. Lintols very low

Strip Out Note:

-All linings to masonry wall to be removed to assess lintols, brickwork and structural integrity

Proposed Note:

-New lintol to raise height of opening.
-New limecrete flooring throughout.



4 - Hole dug for UKPN works by Skanska
Corbeled brick foundation visible adjacent chimney stack in primary room. Opening to area beneath St Giles High Street visible - currently inaccessible .

Proposed Note:

-Hole to be infilled after Skanska works, new limecrete flooring throughout.








5 - Chimney stack and opening in primary room.

BASEMENT PHOTO RECORD

CONTINUED

Key

-  Element of original fabric to be retained
-  Element to be removed
-  Linings/paneling to be removed
-  Linings/paneling to be retained
-  General note



6 - Original back door to yard - now infilled through to coal stores.

Strip-Out Note:
 - All wall linings to masonry to be removed to assess brick-work and structural integrity

Proposed Note:
 - New limecrete flooring throughout.



7 - Original coal store in in-filled yard to the rear

Proposed Note:
 - New timber doors to coal stores.



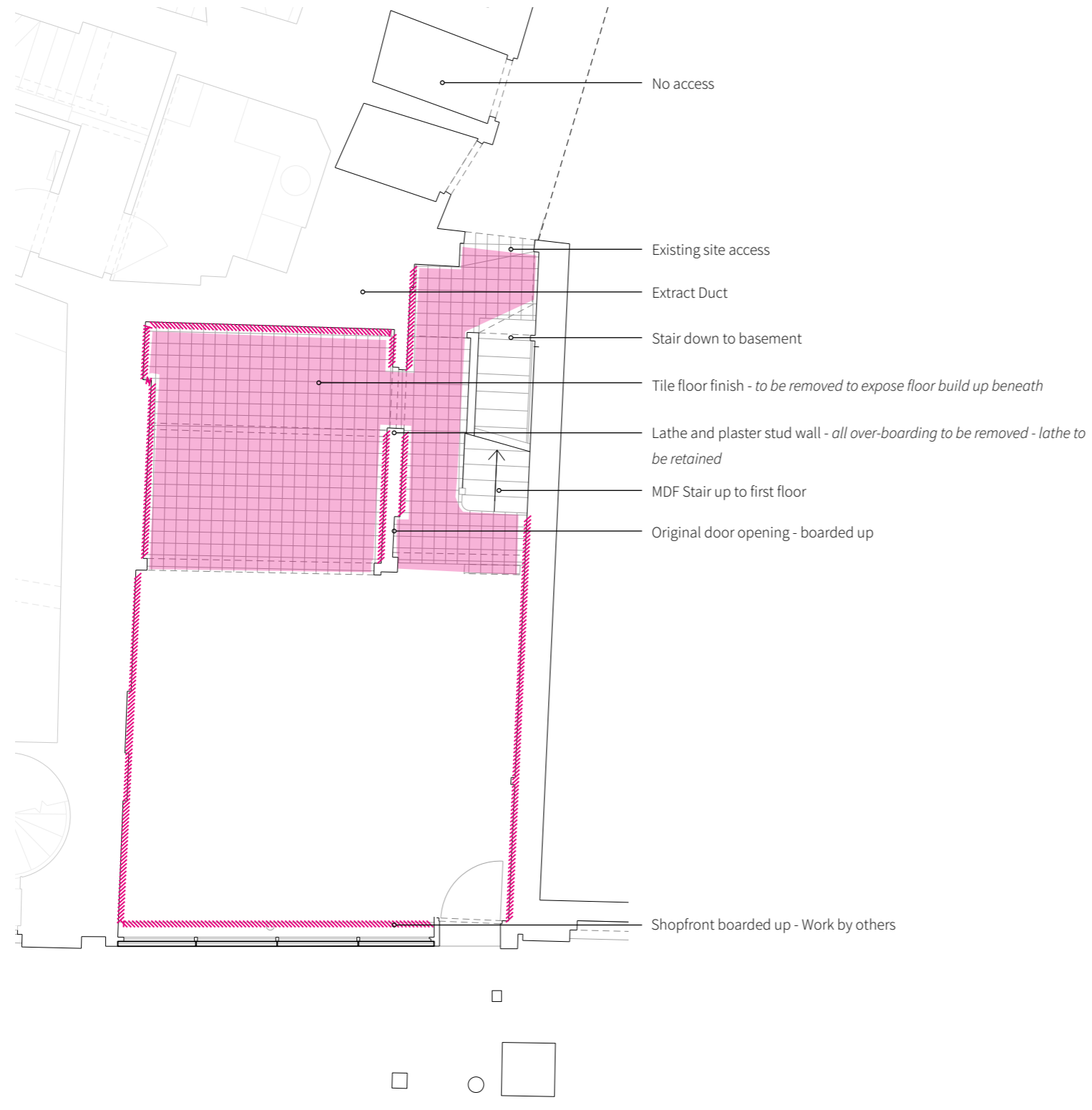
8 - Timber flooring soft underfoot and corrugated steel stuffed with foam to masonry wall in infill to the rear of the building.

Strip-Out Note:
 - Floor finish and corrugated metal wall linings to be removed to show extent of damage / water ingress behind

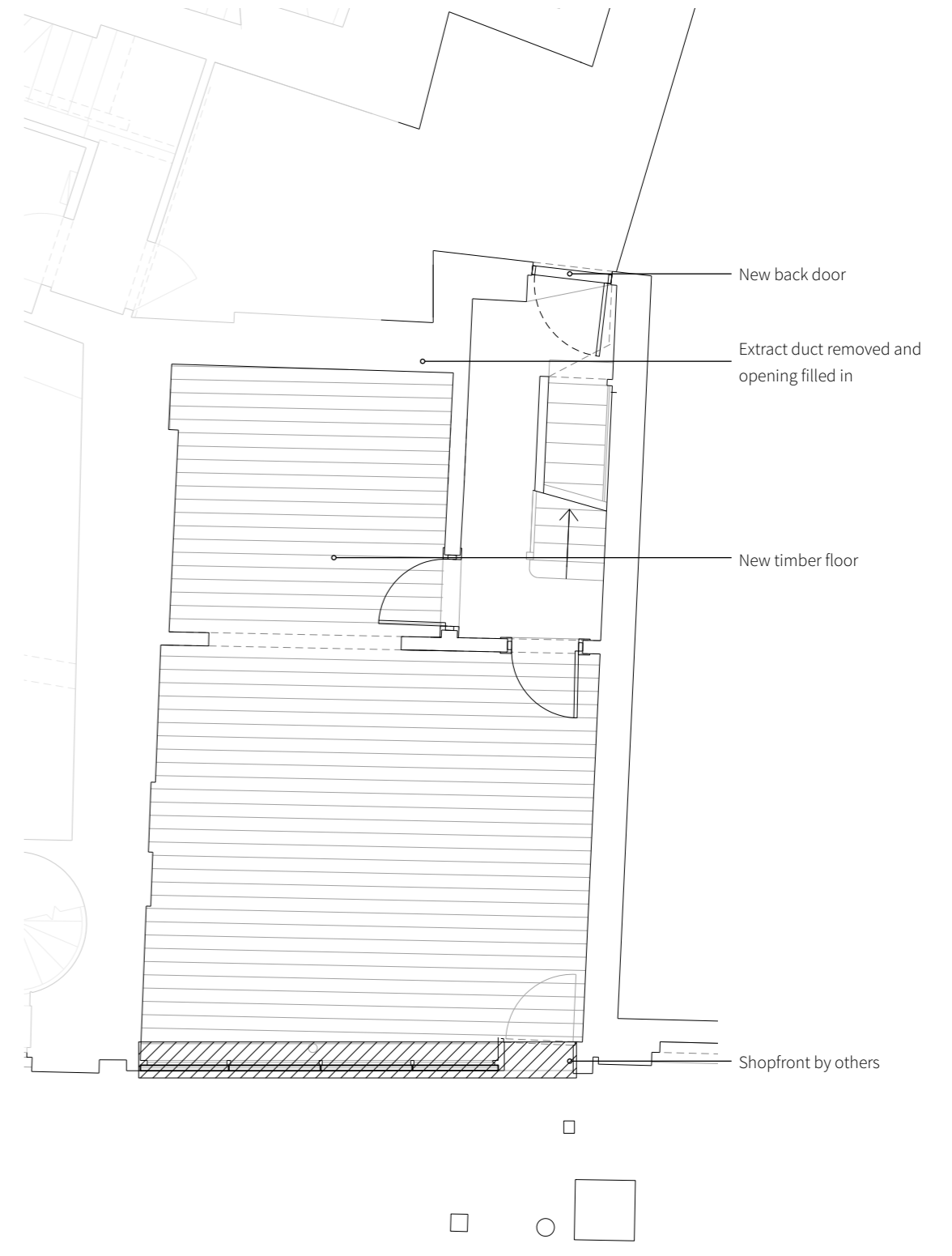
Proposed Note:
 - New limecrete flooring throughout.

GROUND FLOOR - EXISTING, STRIP OUT & PROPOSED

- Key**
- Element of original fabric to be retained
 - Element to be removed
 - Linings/paneling to be removed
 - Linings/paneling to be retained
 - General note

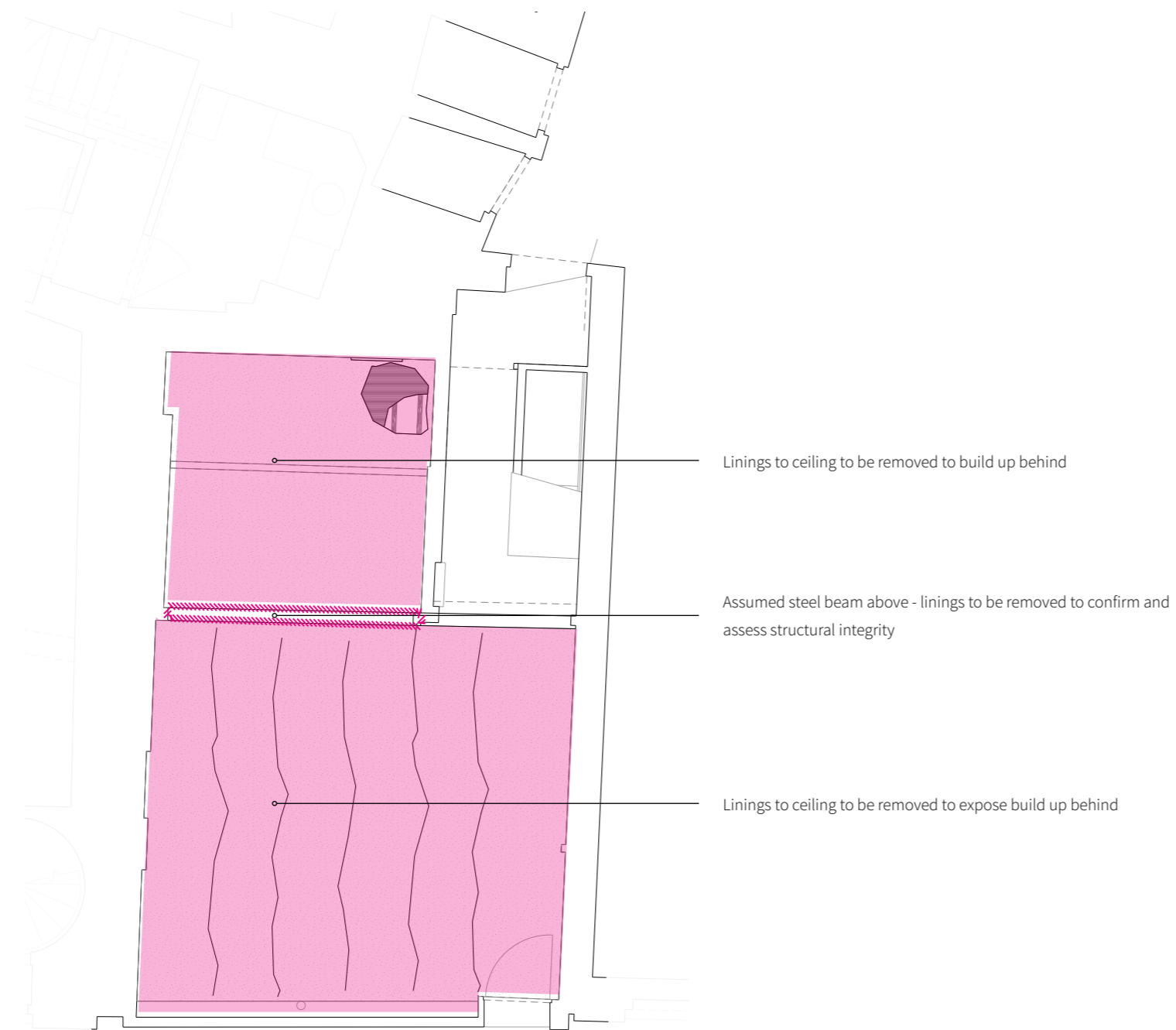


Existing Ground Floor | Floor Plan | not to scale



Proposed Ground Floor | Floor Plan | not to scale

- Key**
- Element of original fabric to be retained
 - Element to be removed
 - Linings/paneling to be removed
 - Linings/paneling to be retained
 - General note



Existing Ground Floor | Reflected Ceiling Plan | not to scale



Proposed Basement | Reflected Ceiling Plan | not to scale

GROUND FLOOR PHOTO RECORD

Key

- Element of original fabric to be retained
- Element to be removed
- Linings/paneling to be removed
- Linings/paneling to be retained
- General note



9 - Secondary room of ground floor. Extract duct visible in background.

Strip-Out Note:

-All linings to wall and ceiling to be removed back to line of lathe to expose build up behind

Proposed Note:

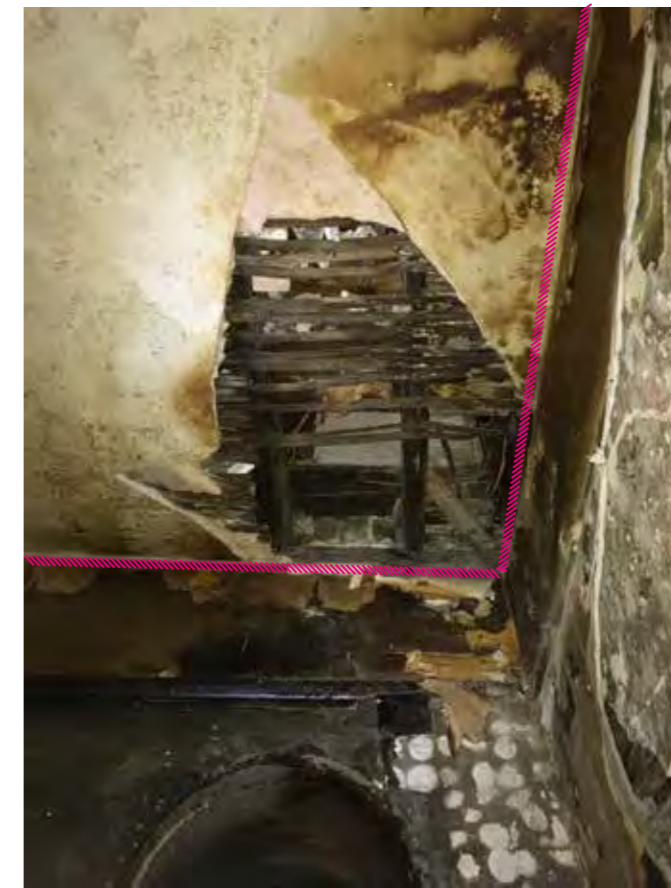
- New timber floor.



10 - Stair up to first floor. Original door opening partially boarded up and used as window.

Strip-Out Note:

-All linings to wall and ceiling to be removed back to line of lathe or plaster to expose build up behind
 -Partition structure to remain.



11 - damage to ceiling linings in secondary room at ground floor exposing partial lathe and joists above. Extract duct partially visible.

Strip-Out Note:

-All linings to wall and ceiling to be removed back to line of lathe to expose build up behind

GROUND FLOOR PHOTO RECORD

Key

- Element of original fabric to be retained
- Element to be removed
- Linings/paneling to be removed
- Linings/paneling to be retained
- General note



12 - Underside of MDF stair from ground to first floor



13 - Shop front boarded up

Strip-Out Note:

-Linings to wall and ceiling to be removed to expose build up behind

Proposed Note:

- Shopfront works by others



14 - Lathe and plaster stud wall in original position in stairwell, with new door opening

Strip-Out Note:

- Over-boarding to original lathe and plaster wall to be carefully removed. Lathe to be retained. Boarding up of original door opening to be removed

Proposed Note:

- Original door opening to be reinstated. Existing opening to be boarded up.



15 - Assumed steel beam boxed out at high level ground floor, on original partition line

Strip-Out Note:

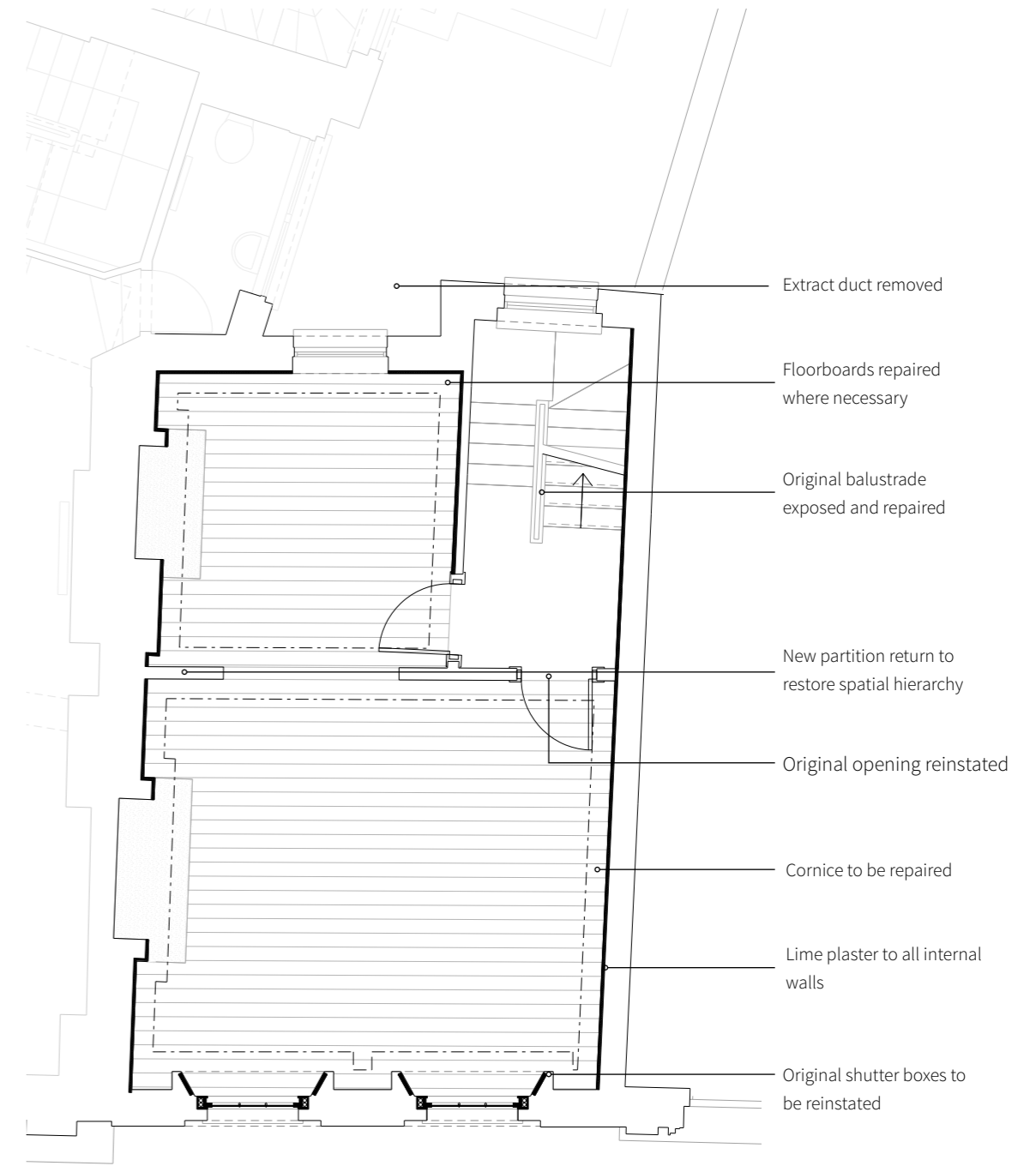
Lining to beam to be removed to expose assumed steel I-section behind. All Lining to ceilings to be removed.

FIRST FLOOR - EXISTING, STRIP OUT & PROPOSED

- Key**
- Element of original fabric to be retained
 - Element to be removed
 - Linings/paneling to be removed
 - Linings/paneling to be retained
 - General note

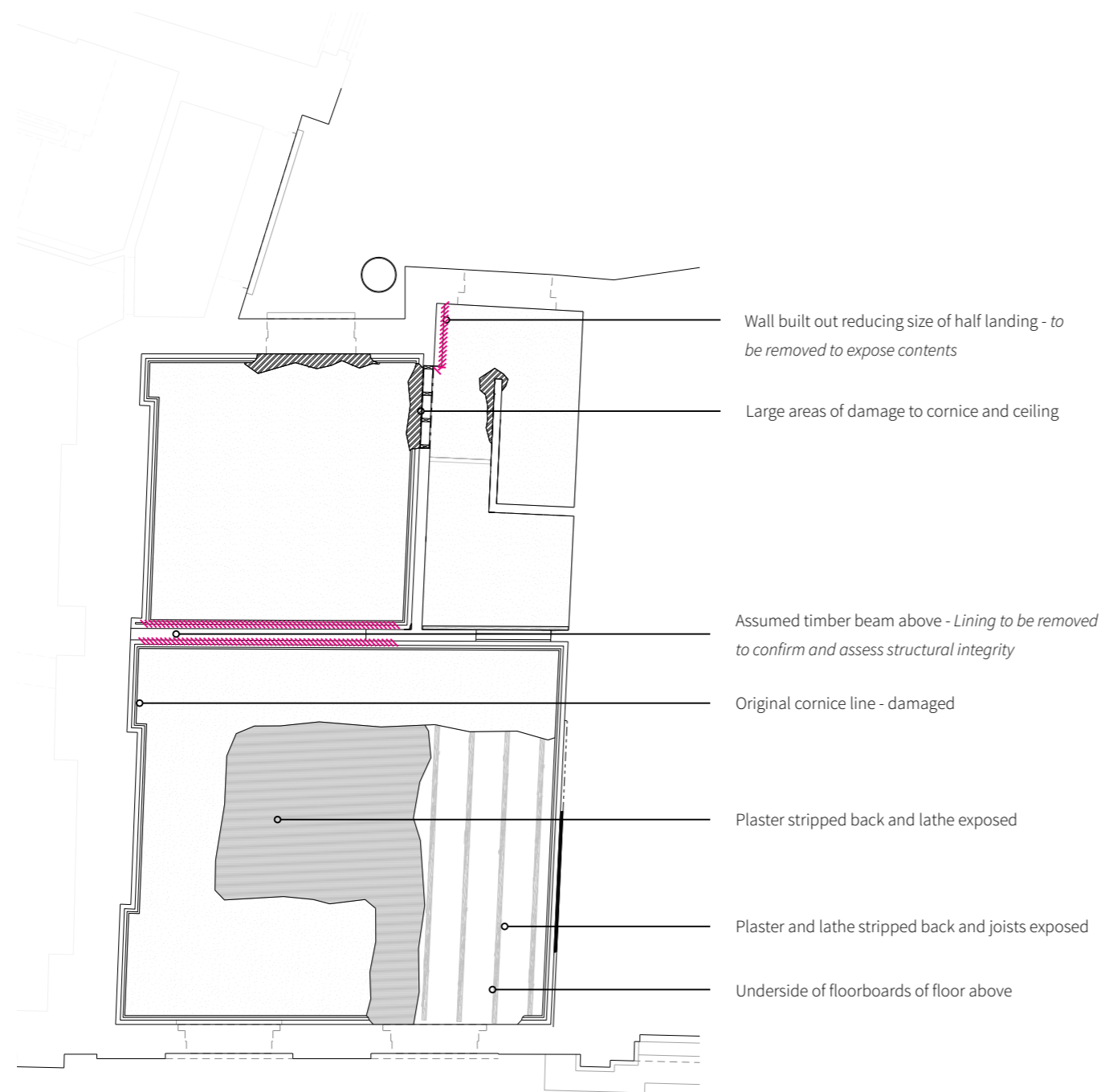


Existing First Floor | Floor Plan | not to scale

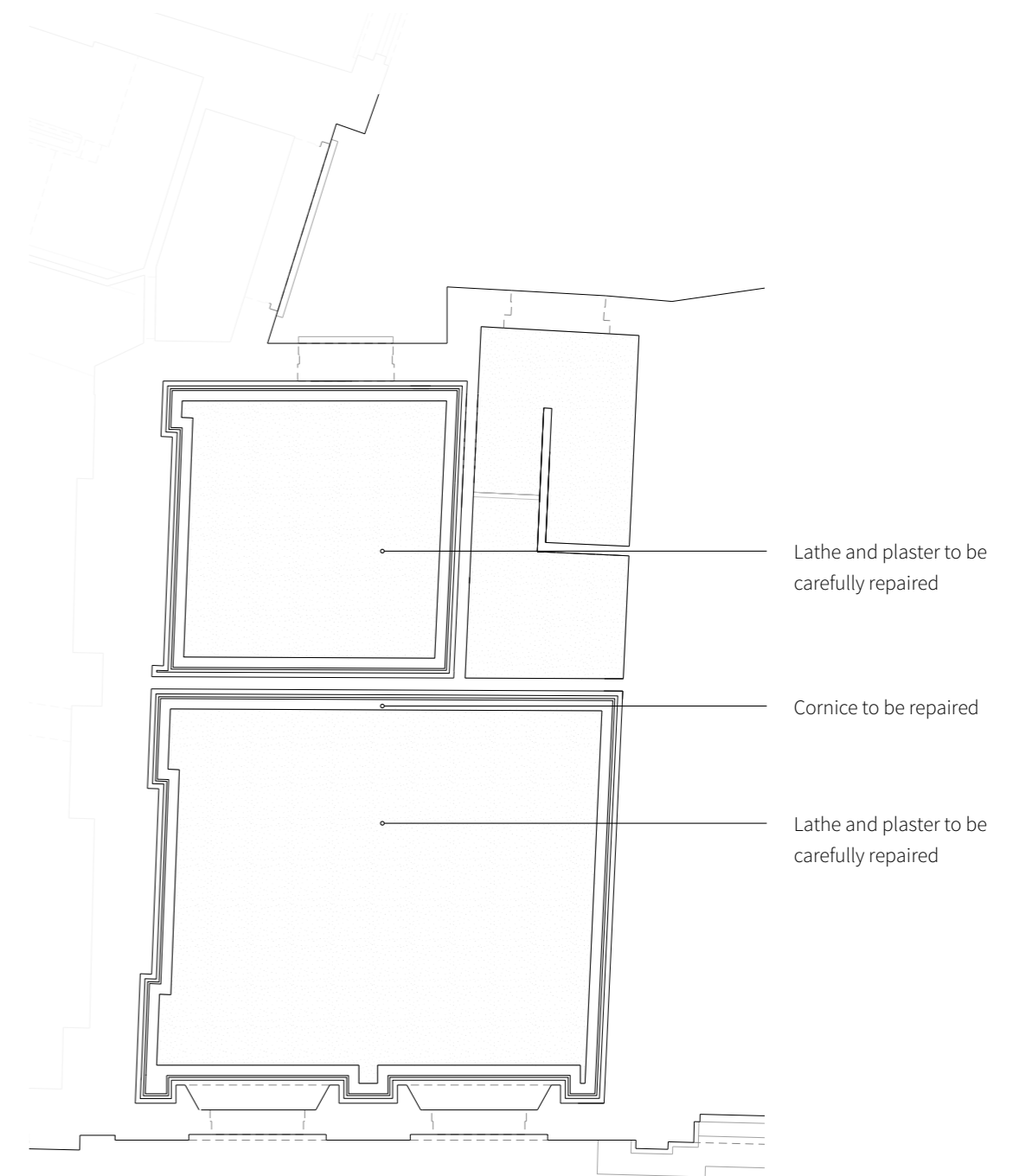


Proposed First Floor | Floor Plan | not to scale

- Key**
- Element of original fabric to be retained
 - Element to be removed
 - Linings/paneling to be removed
 - Linings/paneling to be retained
 - General note








Existing First Floor | Reflected Ceiling Plan | not to scale



Proposed Basement | Reflected Ceiling Plan | not to scale

FIRST FLOOR PHOTO RECORD

Key	
	Element of original fabric to be retained
	Element to be removed
	Linings/paneling to be removed
	Linings/paneling to be retained
	General note



16 - Party wall strapping visible on timber floor. High level joists visible. Damage to window opening / cill visible.

Proposed Note:

- Single panel sash window to be removed and replaced with appropriate six over six panel sash windows
- Shutter boxes reinstated
- Ceiling to be repaired with traditional lathe and lime plaster.
- All corncing to be repaired



17 - Boarded window in primary room. Timber lintols exposed. Cornice line suggests original shutter box around windows.

Strip-Out Note:

- Plaster removed to reveal extent of build up behind.

Proposed Note:

- Lintols to be repaired if required.
- Single panel sash window to be removed and replaced with appropriate six over six panel sash window.
- Shutter boxes reinstated
- All corncing to be repaired



18 - Detail of window opening. Unoriginal single pane sash window, inappropriate to building period.



19 - Original corncing in front and rear rooms. Possible original timber beam holding joists above. Original chimney breast visible, opening boarded up.

Strip-Out Note:

- Lining around assumed timber beam to be removed to full extent of beam to assess structural integrity

Proposed Note:

- All corncing to be repaired

FIRST FLOOR PHOTO RECORD

Key

- Element of original fabric to be retained
- Element to be removed
- Linings/paneling to be removed
- Linings/paneling to be retained
- General note



20 - Window in secondary room. Original cornicing damaged. No original architraves

Strip-Out Note:

-Lining around assumed timber beam to be removed to full extent of beam to assess structural integrity

Proposed Note:

-Single panel sash window to be removed and replaced with appropriate six over six panel sash window.
- All cornicing to be repaired



21 - Original partition between stair and rear room. Original cornicing damaged

Strip-Out Note:

-MDF panels to be removed

Proposed Note:

- Traditional lathe and plaster linings to be reinstated
- All cornicing to be repaired



22 - Floor joists in rear room

Proposed Note:

- Floor boards to be repaired / replaced where necessary

FIRST FLOOR PHOTO RECORD

CONTINUED

Key

- Element of original fabric to be retained
- Element to be removed
- Linings/paneling to be removed
- Linings/paneling to be retained
- General note



23 - Original door opening to rear room. Architrave missing. Original door opening to Primary room missing. Large opening linking primary and secondary rooms in original partition location.



24 - Stair down to floor below. Original partition to secondary room visible on left-hand-side. Window on half landing boarded up

Strip-Out Note:

- Lining to boxing out on half landing removed to reveal contents.
- Enclosure of stair up to second floor to be carefully removed to expose extent of original balustrade.



25 - Stair up to floor above.

Strip-Out Note:

- Lining removed to enclosing stair wall to reveal original balustrade and lining removed on party wall side to original plaster line behind.
- Door frame to stair removed .



26 - Stair up to floor above. Possible original balustrade and knule post enclosed by partition?

Strip-Out Note:

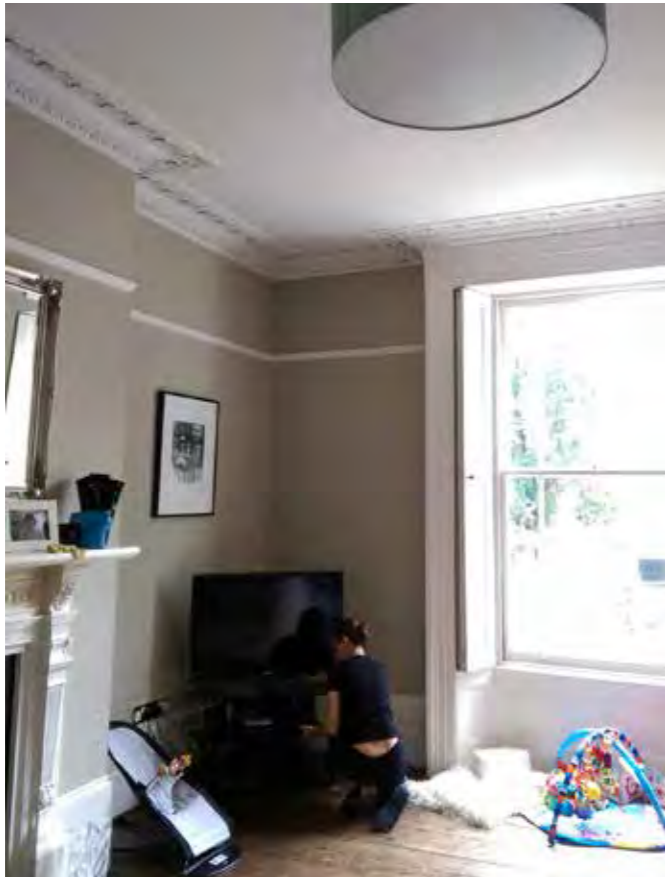
- Lining removed to enclosing stair wall to reveal original balustrade and lining removed on party wall side to original plaster line behind. Door frame to stair removed.
- Linings to stair to be removed to reveal structural integrity and heritage value.

Proposed Note:

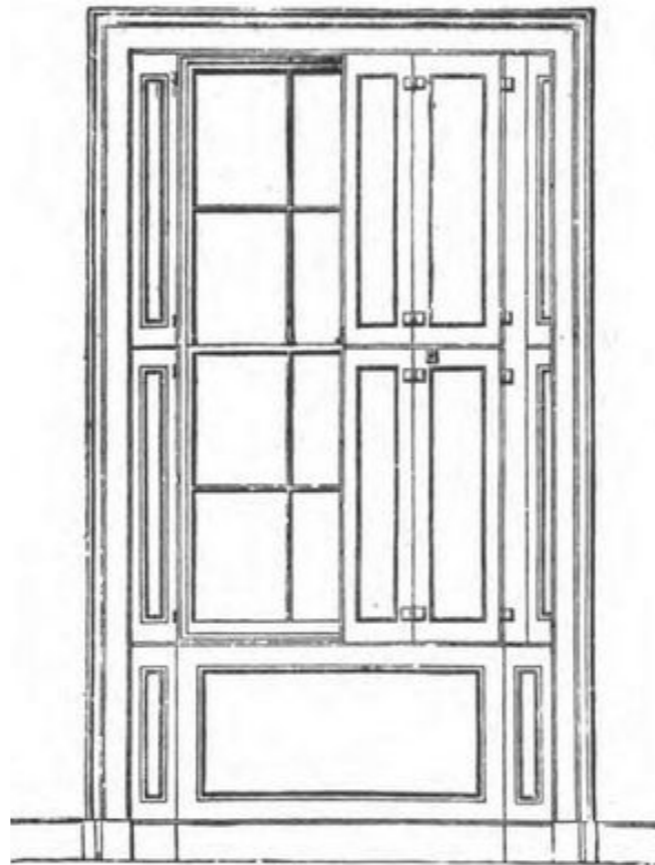
- Balustrade and handrail to be retained

EXAMPLE SHUTTER BOX DETAIL

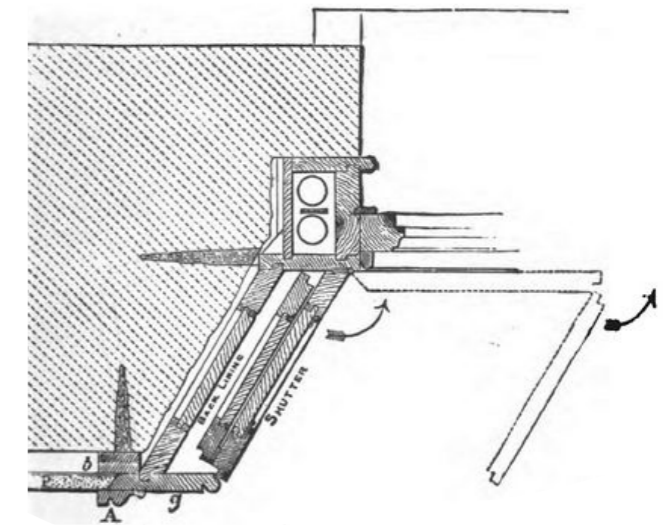
Below is an example image alongside some drawings of the type of shutter box similar to what would have been in the primary room of the first floor.



26.1 - Example of similar shutter box in a primary room



26.2 - Historic elevation of similar shutter box



26.3 - Historic detail of similar shutter box

EXAMPLE CORNICE PROFILES

Below are a series of images from the same period alongside the existing cornice profile showing examples of how the cornice at first floor level may have looked. All these examples contain simple wide spaced paterae within the cornice line, however there is no obvious evidence of these on nos 59 - more research will be undertaken to determine whether these are appropriate.



26.4 - Extent of remaining cornice line at first floor of 59 St Giles High Street . Also visible is the extent of the shutter box around the windows



26.5 - Precedent Cornice, House in Lofting Road, c1840



26.6 - Precedent Cornice, House in Blackheath Park, c1826



26.7 - Precedent Cornice, House in Holland Street, early 19th Century,

SECOND FLOOR - EXISTING, STRIP OUT & PROPOSED

Key

- Element of original fabric to be retained
- Element to be removed
- Linings/paneling to be removed
- Linings/paneling to be retained
- General note

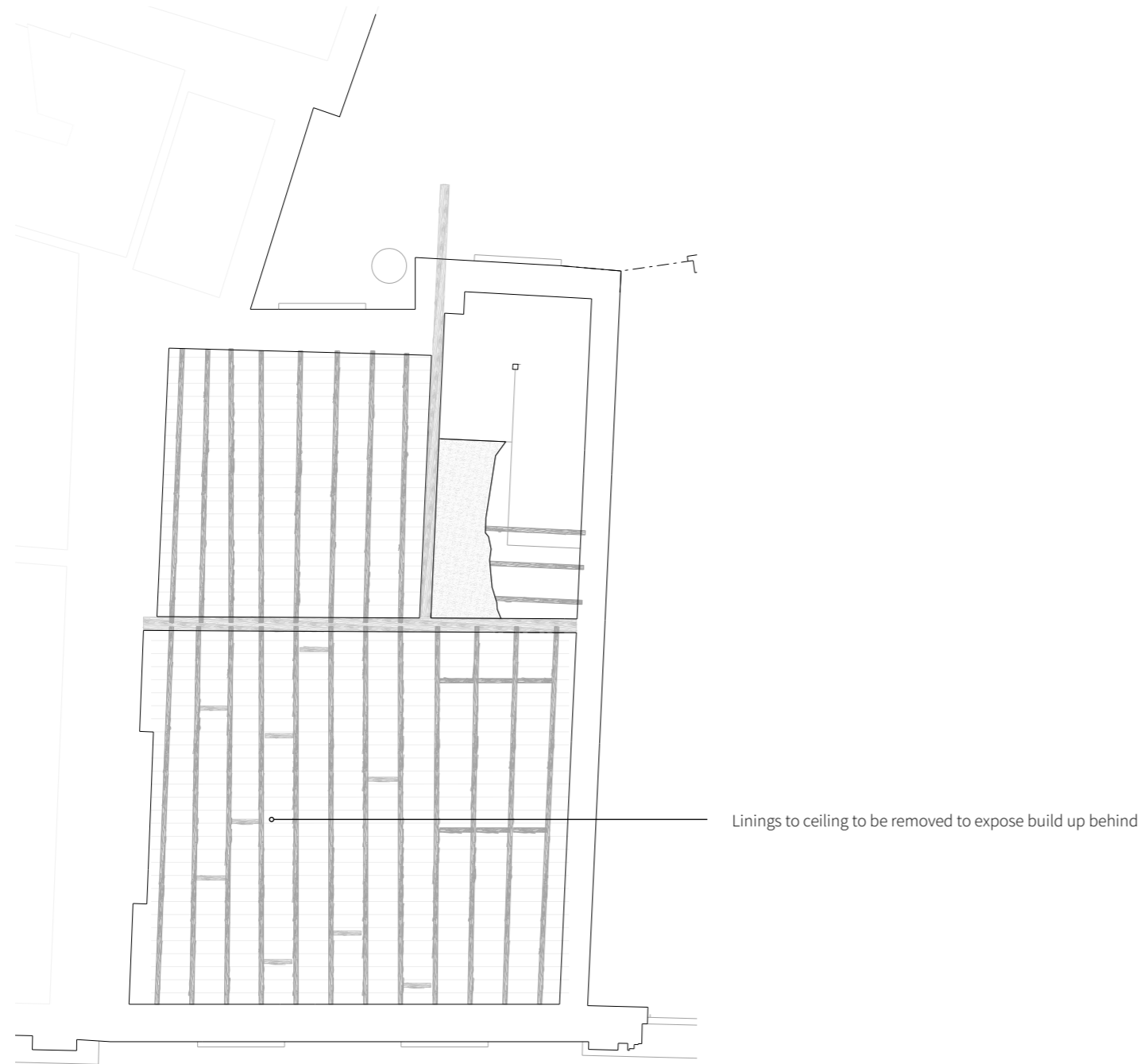


Existing Second Floor | Floor Plan | not to scale

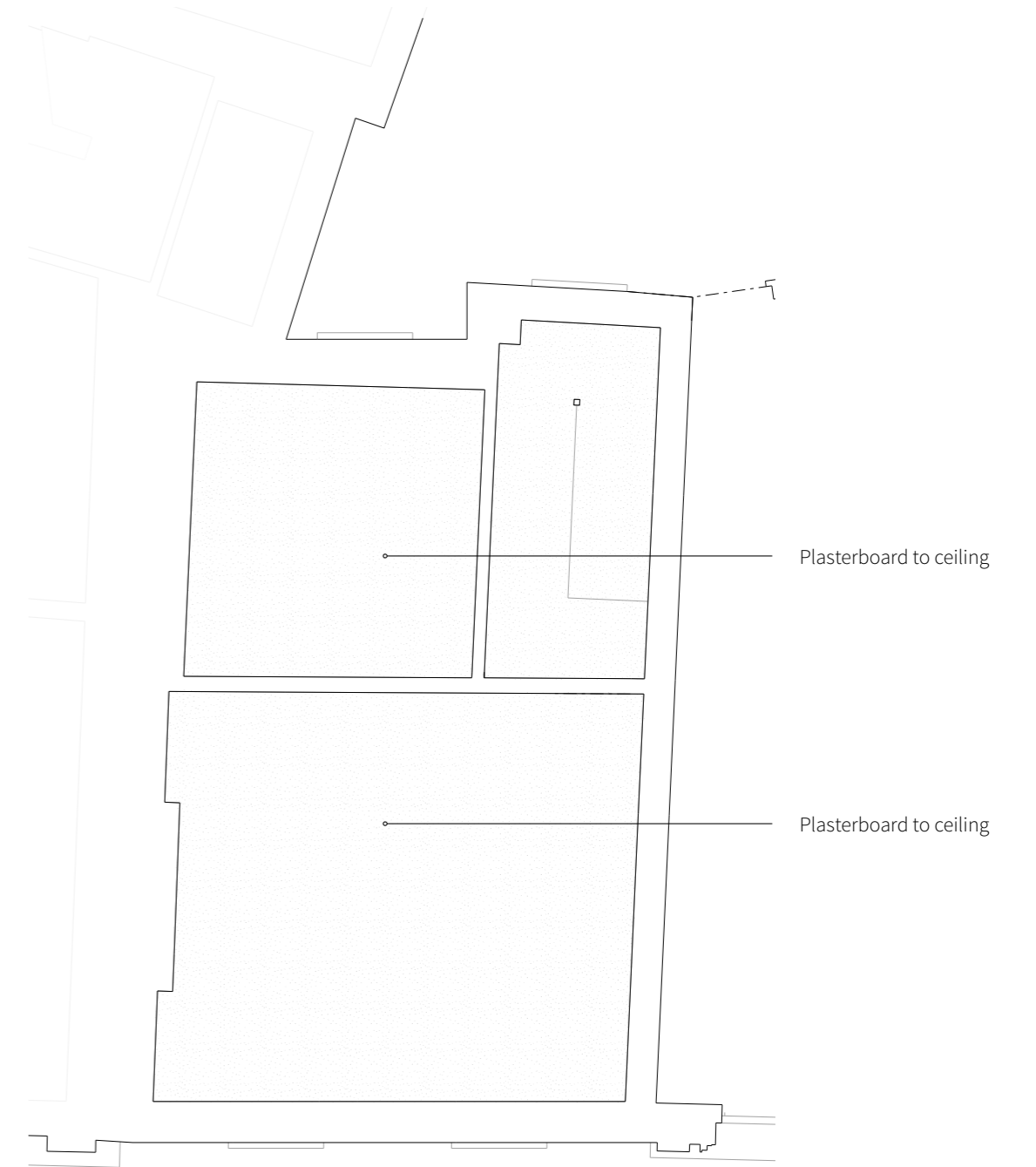


Proposed Second Floor | Floor Plan | not to scale

- Key**
- Element of original fabric to be retained
 - Element to be removed
 - Linings/paneling to be removed
 - Linings/paneling to be retained
 - General notes



Existing Second Floor | Reflected Ceiling Plan | not to scale



Proposed Second Floor | Reflected Ceiling Plan | not to scale

SECOND FLOOR PHOTO RECORD

Key

- Element of original fabric to be retained
- Element to be removed
- Linings/paneling to be removed
- Linings/paneling to be retained
- General note



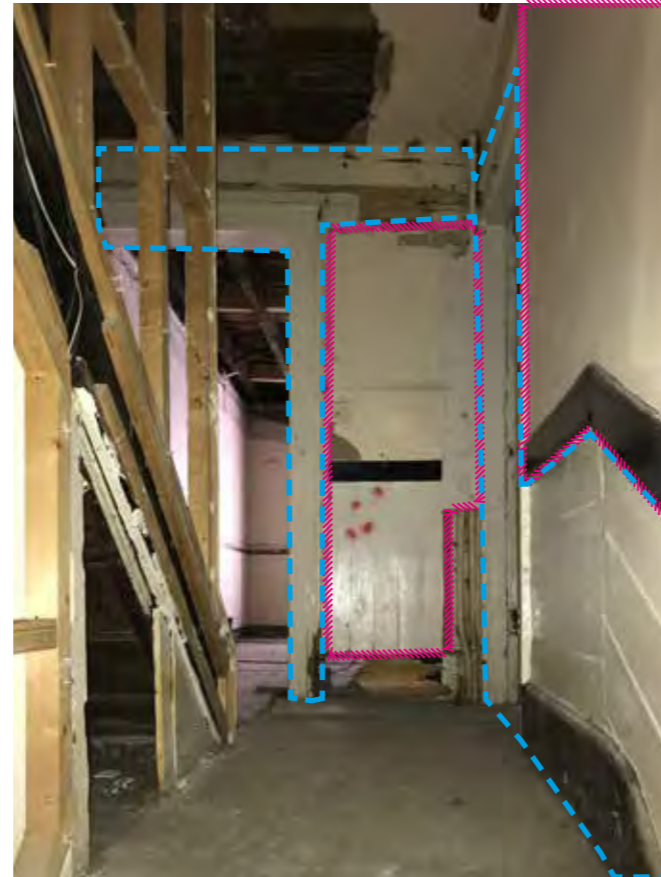
27 - Six over six sash window externally boarded up on half landing between first and second. Original architrave missing.

Strip-Out Note:

- Boxed out wall linings to be removed back to original plaster line.

Proposed Note:

- Original window architraves to be retained
 - Existing sash box surrounds carefully repaired and refurbished where possible. New sash boxes to match existing where necessary. Sash casements repaired where possible. New casements to match where necessary



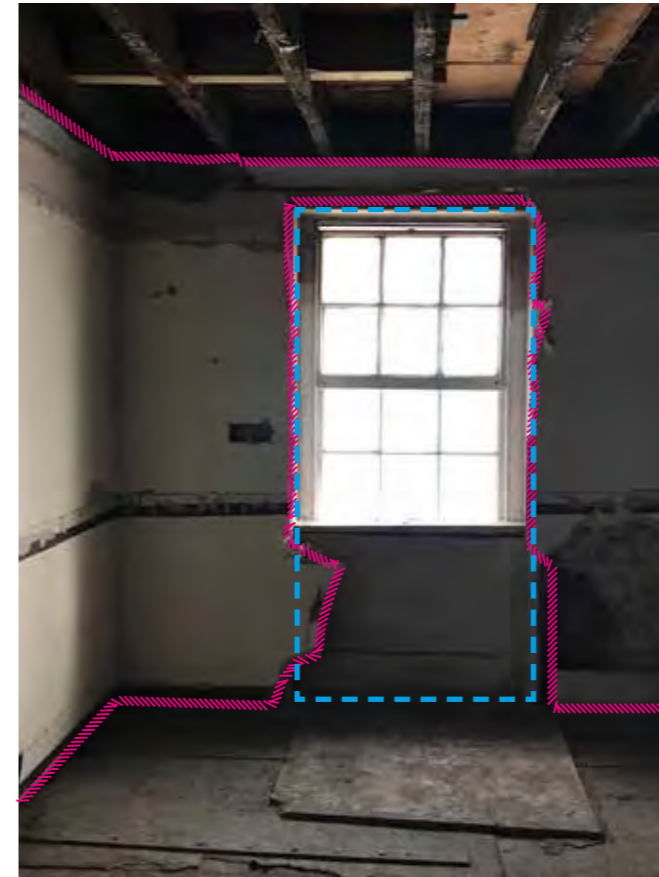
28 - Original matchboarding visible on large parts of the internal walls. Original door architraves

Strip-Out Note:

- Overboarding to be carefully removed to reveal original matchboarding behind.

Proposed Note:

- Original door architraves to be retained



29 - Original six over six in primary room. Straps visible from party wall supports

Strip-Out Note:

- Boxed out wall linings to be removed back to original plaster line.

Proposed Note:

- Paneling below window to be retained
 - Existing sash box surrounds carefully repaired and refurbished where possible. New sash boxes to match existing where necessary. Sash casements repaired where possible. New casements to match where necessary



30 - Detail of layered faces of internal wall






Strip-Out Note:

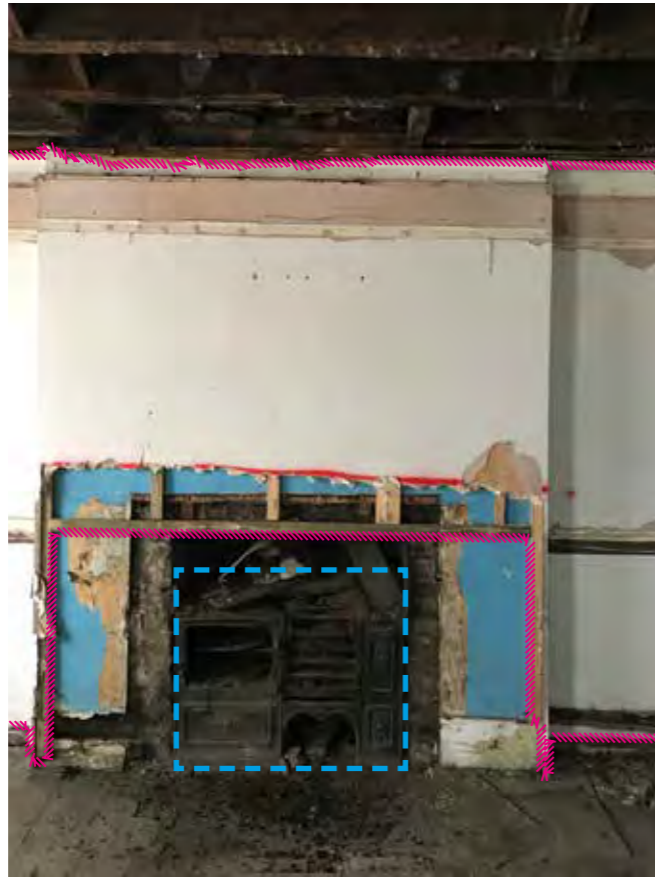
- Boxed out wall linings to be removed back to original plaster line.

Proposed Note:

- Original window architraves to be retained

SECOND FLOOR PHOTO RECORD

Key	
	Element of original fabric to be retained
	Element to be removed
	Linings/paneling to be removed
	Linings/paneling to be retained
	General note



31 - Fireplace with cast iron stove in primary room

Strip-Out Note:

- Wall lining removed back to original lathe and plaster wall line

Proposed Note:

- Cast Iron Stove to be retained
- New appropriate fireplace surround



32 - Original partition



33 - floor joists at high level second floor primary room. New timber noggins visible to provide additional strength. Evidence of truncated floor boards on level above.

SECOND FLOOR PHOTO RECORD
CONTINUED

Key

- Element of original fabric to be retained
- Element to be removed
- Linings/paneling to be removed
- Linings/paneling to be retained
- General note



34 - Original opening and architrave between primary room and stair. Unoriginal osb / chipboard staircase visible. Multiple layers of patterned wallpaper

Strip-Out Note:

-Wall lining removed back to original lathe and plaster wall line

Proposed Note:

- Original door architraves to be retained



35 - Boarded up window and original architraves in secondary room. Exterior brick wall visible behind floor joists

Strip-Out Note:

- Wall lining removed back to original lathe and plaster wall line

Proposed Note:

- Original window architraves to be retained
- Existing sash box surrounds carefully repaired and refurbished where possible. New sash boxes to match existing where necessary. Sash casements repaired where possible. New casements to match where necessary



36 - Stair up to level above

Proposed Note:

- Original matchboarding to be retained