

Mr Steven Chapple  
3 Belsize Place  
London  
NW35AL

Application Ref: **2017/5171/P**  
Please ask for: **Nora-Andreea  
Constantinescu**  
Telephone: 020 7974 **5758**

19 December 2017

Dear Sir/Madam

## **DECISION**

Town and Country Planning Act 1990 (as amended)

### **Approval of Details Granted**

Address:  
**3 Belsize Place  
London  
NW3 5AL**

Proposal: Details of noise levels, acoustic report, obscure glazed rear windows and terrace screen, as required by conditions 3, 4, 8, 14 of planning permission 2012/3291/P (dated 21/01/2013) for erection of building comprising basement and part four-storey (to Belsize Place), part two-storey and part single-storey with mezzanine, and roof terrace at 1st floor, to provide a single-family dwellinghouse (Class C3).

Drawing Nos: GA-00-02 Revision F (Elevation A-A, Section B-B, First floor plan); GA-00-02 Revision F; Plant noise assessment report dated 20 January 2017; GA-00-02 Revision F (First floor plan and windows); Cover letter dated 15 September 2017.

The Council has considered your application and decided to grant approval of details.

Informative(s):

- 1 Reasons for granting permission:

Condition 3 requires that noise levels at a point of 1m external to sensitive facades shall be at least 10dB(A) less than the existing background measurements (LA90), expressed in dB(A) when all plant/equipment is in operation.



Condition 4 requires a detailed acoustic report to demonstrate how the plant would meet the Council's noise requirements as set out in condition 3.

The submitted noise report identifies that compliance with condition 3 requires part of the plant to be located in plant enclosure on the ground level and additional methods of sound attenuator to include acoustic lining, solid barriers, acoustic attenuators - louvers to be installed. The acoustic report identifies specific mitigation measures, which are required by condition 3 to be installed prior to first use of the plant.

Environmental Health Officers have assessed the documentation provided confirmed that the requirements of Condition 3 have been met and therefore the condition can be discharged.

Condition 8 requires that, prior to occupation, the rear windows at first and second floor levels shall be obscured glazed and fixed shut to a height of 1.8m.

The officer has visited the premises and confirmed they have not been occupied and that the two windows have been installed with obscure glazed glass and fixed shut at a height of 1.8m. It is therefore considered that Condition 8 can be discharged.

Condition 14 requires that a 1.8m high screen shall be erected in the location of the 1st floor plan drawing approved, prior the use of the roof terrace.

The documents provided and the visit undertaken by the officer confirmed the screen as built has a height of 2.1m. The screen is located to the rear of the site, facing the rear of nos. 6 and 8 Belsize Crescent. At 30cm taller than the required height, the screen would fulfil its requirement to obscure views into neighbouring properties, without causing harm to their amenity through loss of light or outlook.

Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the Conservation Area, under s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013.

The screen is therefore acceptable and condition 14 can be discharged.

As such, the proposed details are in general accordance with the requirements of policy CS5 of the London Borough of Camden Local Development Framework Core Strategy and policies DP26 and DP28 of the London Borough of Camden Local Development Framework Development Policies.

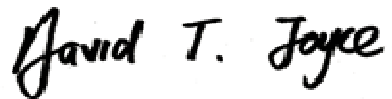
- 2 You are advised that conditions 9 and 12 of parent planning application reference number 2012/3291/P require details to be submitted and remain outstanding.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

A handwritten signature in black ink that reads "David T. Joyce". The signature is written in a cursive, slightly slanted style.

David Joyce  
Director of Regeneration and Planning