

DESIGN AND ACCESS STATEMENT -**Project Address** - 12 Highgate Road, London NW5 1AS**Document Reference** - 275-DAS-PL Rev A**Date** - 19/10/17**1.0 Introduction**

The proposal is for the internal refurbishment of the existing ground floor office space at 12 Highgate Road. The presented scheme proposes an updated internal layout to suit the change of use along with cosmetic changes to the internal finishing.

2.0 Existing

The property is located on the northern edge of Kentish Town Centre, on the corner of Highgate Road and Fortress Walk. Situated on the ground floor of a 6 storey residential building, the unit has a returning glass facade which was designed to serve as a shopfront for its previous users. The internal layout of the space features two office/meeting rooms, a service core with bathrooms and a kitchenette, an open plan office space and a mezzanine level.

3.0 Proposed

The proposed works are for the stripping and refurbishing of the ground floor and mezzanine level of the existing unit. To facilitate the use of the premises as Chrome Production's offices, minor changes are needed to the internal layout (See Figure 1). These include alterations to bathroom and utility spaces, provisions of editing suites, provision of desk space and reception crew, and the creation of shop window displays exhibiting their projects on TV screens.

From the exterior side walk the proposed scheme sees no changes to the existing condition. (See Figure 4).

The scheme proposes no structural changes to the existing condition.

4.0 Environmental Statement

Highway and Transport

There are good transport links via bus, underground/train and car from the site to other parts of the city. The site is located a 3 minute walk from Kentish Town Underground Station and adjacent to a bus stop with good links.

Access Statement

The access to the site will not be changed in any way as a result of this development.

Parking

Parking will not be affected in any way as a result of this development.

Flood Risk

We envisage no further risks to the building and surrounding area than that currently experienced following the construction of the proposed development.

Materials

There will be no external changes to existing materials and finishes of the premises.

Amenity

There will be no impact on the amenity of existing residential occupiers in the flats above the site as a result of the proposal.

Sustainability

The sustainability of the existing building will be improved where possible both in the fit out and the construction process. Low energy lighting will be installed internally, along with 'A' rated water efficient domestic goods and dual flush toilets in the new kitchenette and toilets.

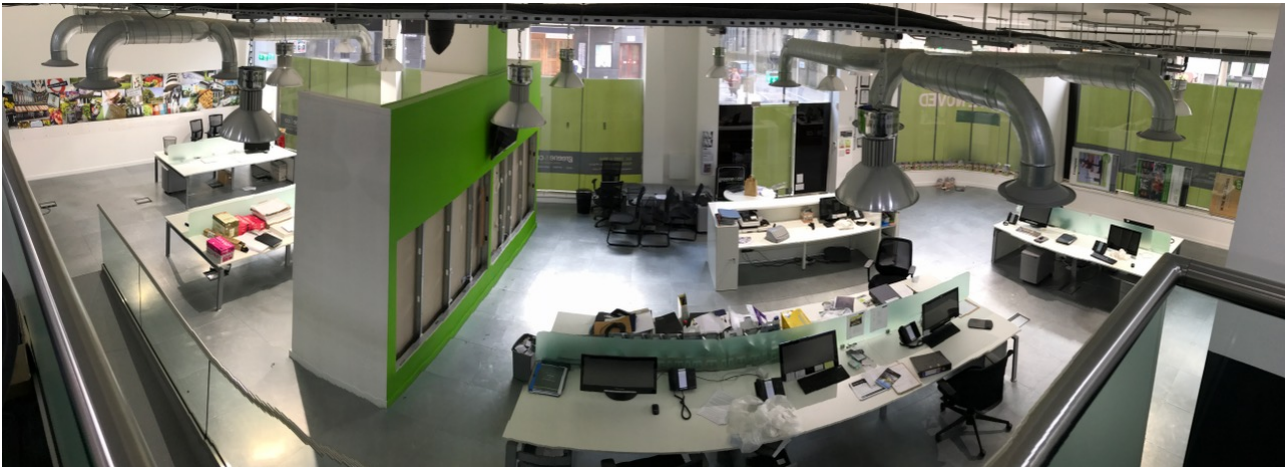


Figure 1 - Existing Internal View



Figure 2 - Existing External View



Figure 3 - Proposed Internal Render



Figure 4 - Proposed External Render