



St Giles - Zone 3 : 7 Denmark Street
Listed Building Application

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Introduction

The existing building is located on Denmark Street, London WC2H 8LS. The building is undergoing a full refurbishment in accordance with Listed Building Consent - 2012/6867/L. Ian Chalk Architects have been appointed as the architects to deliver the building on site and Cord Contracting as the Contractor.

No.7 Denmark Street forms one of a number of late 17th Century terraces along Denmark Street that were developed at the same time. ICA are appointed to refurbish nos. 6, 7, 9 & 10.

A recent application for no.9 Denmark Street has been submitted following dialogue with Camden Conservation. The application set out a number of principles for the refurbishment of that building, including integration of modern services into historic fabric, and reinstatement of period details. The application sought for no.7 Denmark Street looks to build on the principles that have been agreed for no.9, due to the similarities of the original buildings & the refurbishment works proposed.

The following pages provide a full description of the proposals. The proposals are supported by separate Structural documentation from Engenuiti.



No. 7 Denmark Street Elevation

Existing Services

The existing building is generally in a poor condition and the services provision throughout is inadequate and piecemeal. This is typical of old buildings where later services have been added at varying stages. The photographs to the right show various services installations across the building.

There has been no cohesive strategy and the result is a clutter of surface-fixed wiring and pipework that compromises the reading of the historic fabric and, in places, damages the fabric where cornices/dados have been chopped out to run routes.

The full-scale refurbishment of this building which forms part of the works currently taking place provides an opportunity to reassess how the townhouses to Denmark St are serviced and upgraded to meet modern requirements, as well as how to future-proof, ensuring the preservation of the buildings in the long term.

This report reviews the consented option for providing service routes to the consented kitchen/living areas at the front of the house, before looking at an alternative solution adopted and agreed in principle for No.9 Denmark Street and then sets out proposals for the preferred solution for this property.



Entrance Hall of No.7, September 2017, following possession showing surface mounted containment and wall-mounted lighting



First Floor kitchenette, September 2017, with surface mounted containment



Third Floor back room, September 2017, services run through boxing and are wall-mounted above



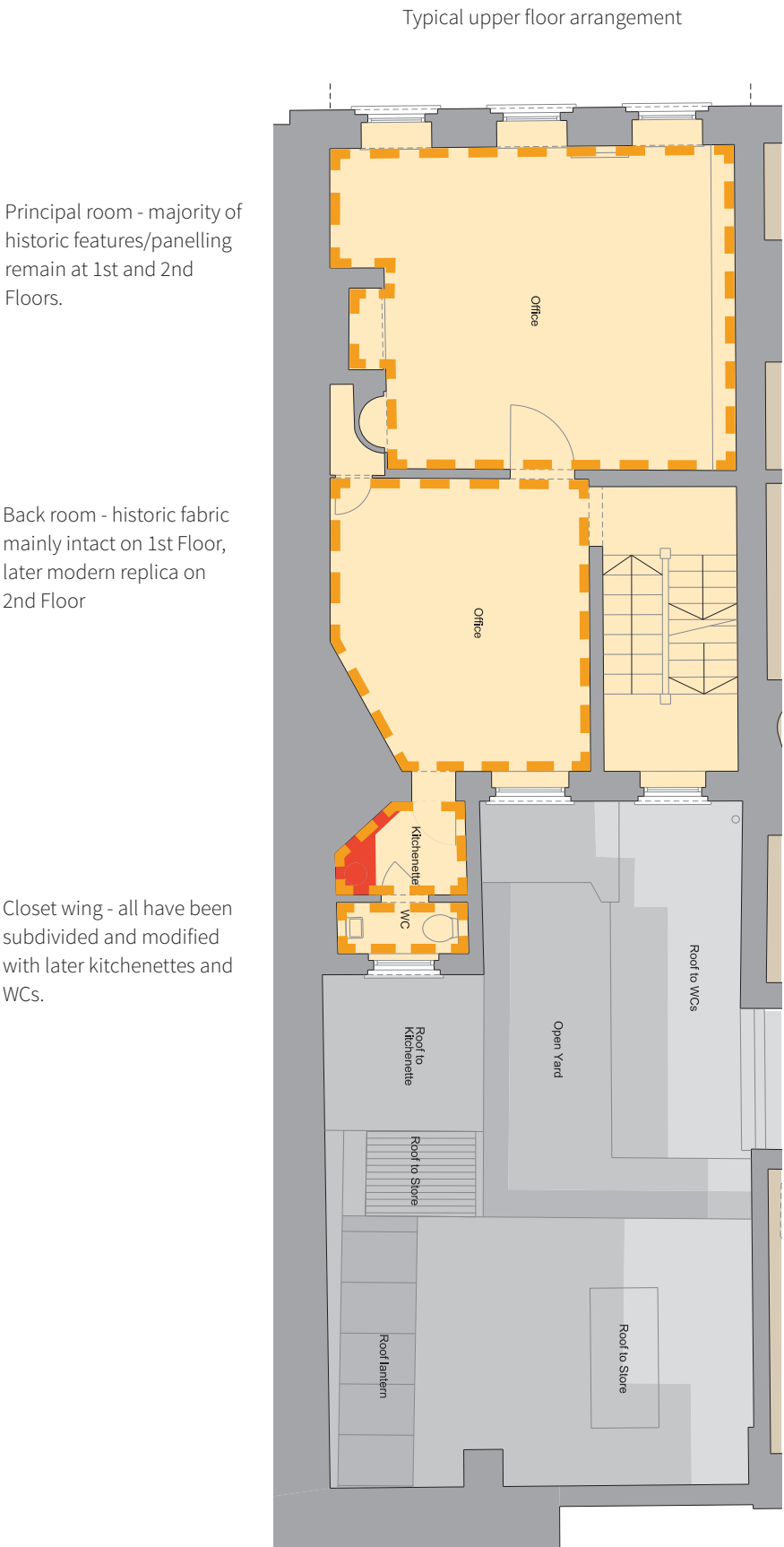
Second Floor half-landing, September 2017, wall-mounted containment with distribution penetrating window frame

Existing building and condition

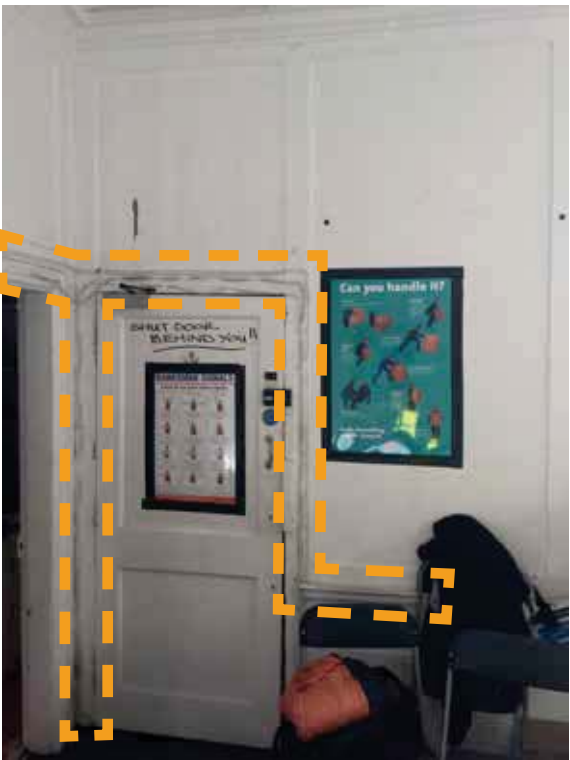
The key limitations with the existing building when servicing is the configuration of the rooms and the restrictions of working with a timber-framed interior.

On a typical upper floor, services are either distributed from the stairwell and into the front and rear rooms, or externally via the rear elevation

This leaves little option but to install exposed services, with pipework boxed out over original features and surface-mounted containment throughout.



Pump found in kitchenettes



Wiring entering from the corridor space run across panelling and around doorways

Consented Service Strategy

The consented proposals for 7 Denmark Street position wet services in the principal front room of the house on each of the upper floors. This creates a challenge for providing services, particularly drainage from the sink and washing machine.

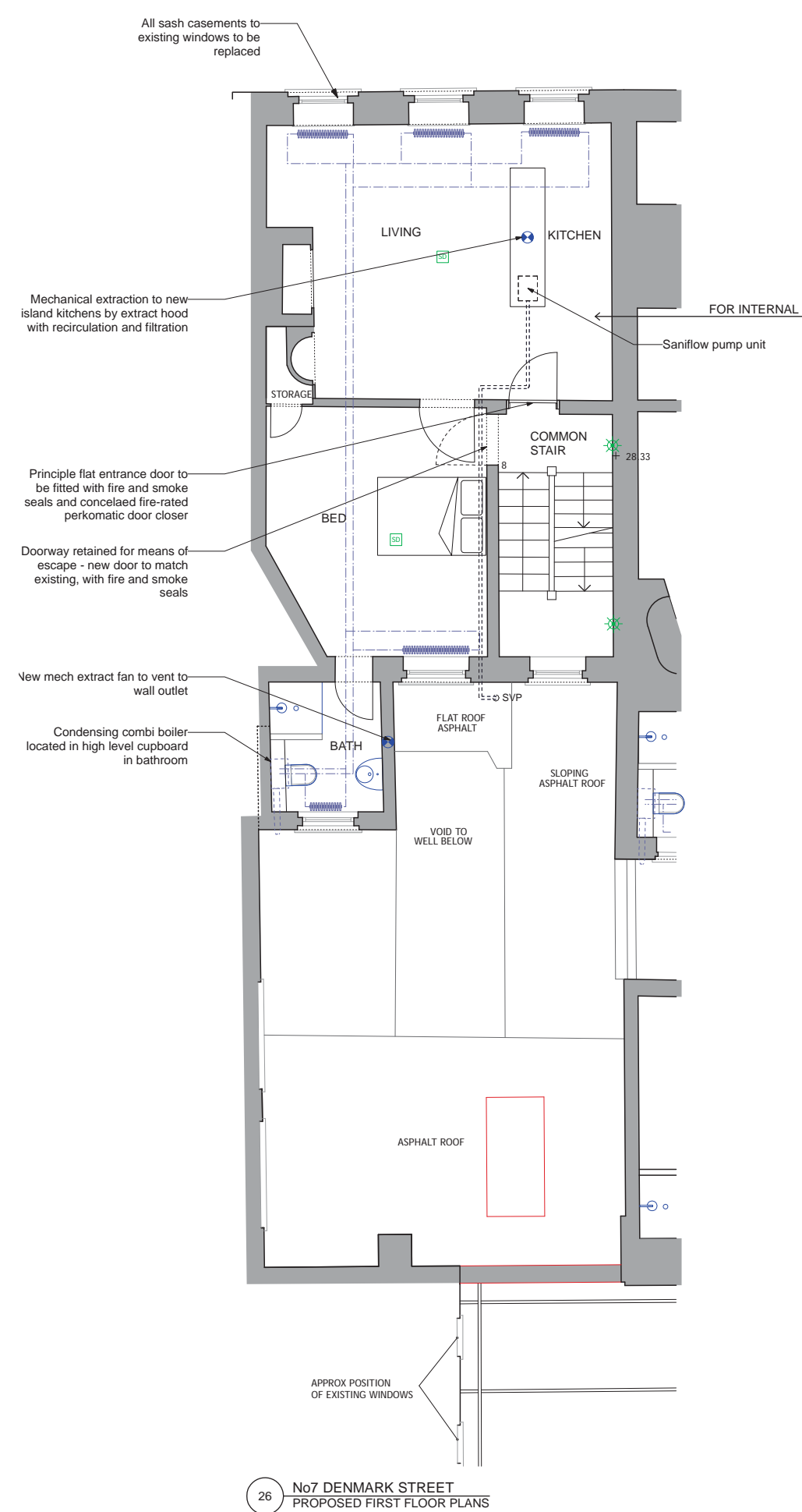
The consented scheme shows routes for drainage within the floor void, passing from the front, through the back room and out to the rear elevation. The distance of pipework required means that gravity drainage cannot be achieved due to a limited floor void. The consented scheme includes the provision of pumped foul drainage in the form of a Saniflo type pump located within the kitchen island unit.

These units, whilst having some benefits, are noisy and can become blocked - this is a particular risk in this building as the pumps will be serving kitchen sinks and food waste and grease can easily block the pumping mechanism.

The risk of water blockages and leaks is a particular concern as the fabric of the building is fragile and includes lath and plaster ceilings and cornices. Any flooding that resulted from a kitchen blockage could severely damage the plaster details, as well as the timber linings.

In terms of extract ventilation within the kitchen/living space, provision is for a recirculation hood above the oven, with background ventilation provided via the existing chimney flues.

We do not feel that this current servicing strategy offers the best long-term solution for the building, putting it at potential future risk of harm and not addressing the fundamentals of modern services.



Pumped drainage unit located beneath kitchen sink

Strategy for No. 9 Denmark Street

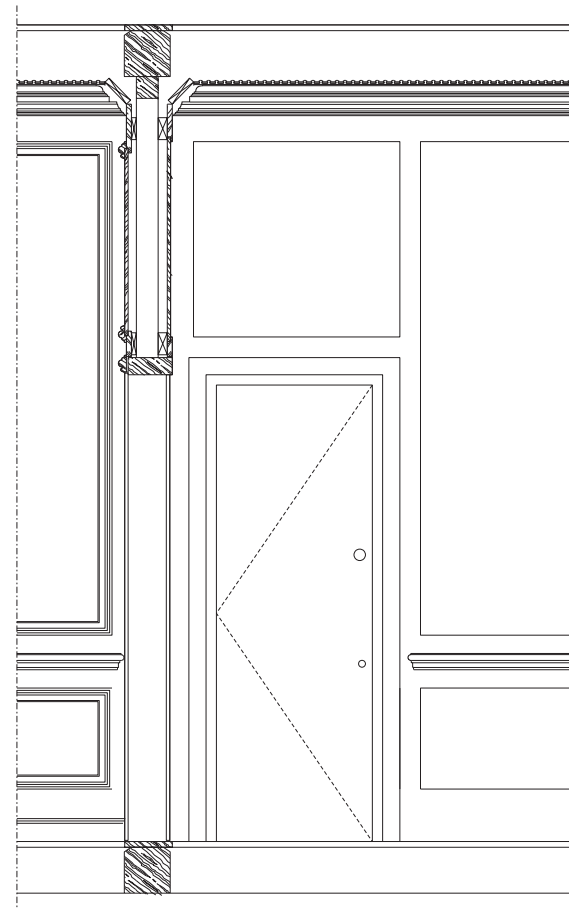
Consented under application ref: 2017/3191/L

For No.9, we sought and were granted approval for an alternative strategy that we felt was a more appropriate way of servicing the existing building. This approach entailed carrying out minor modifications to the partition wall that separates front and back rooms.

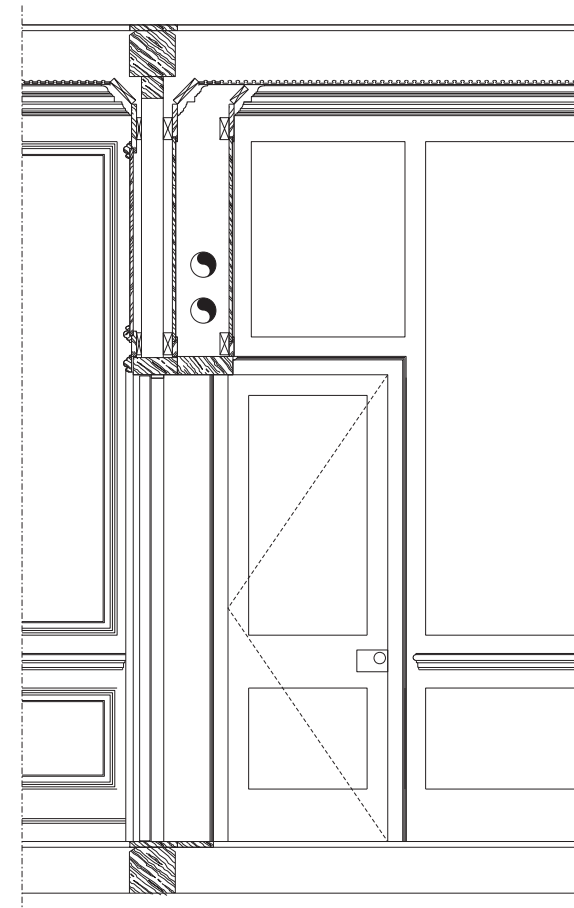
The spine wall partition is timber framed & requires structural modification to address ongoing issues of building settlement. Once structural modifications are complete and linings reinstated, we have agreed the principle of installing a new vertical distribution riser within the back room. This riser will be panelled with a high-level plaster cornice, all detailed to match existing. This riser can be installed within the upper floors of the house & allow for efficient introduction of modern servicing.

Due to the similarities in construction & short-comings of no.7 Denmark Street, we feel that this services strategy is relevant to this application & applicable here.

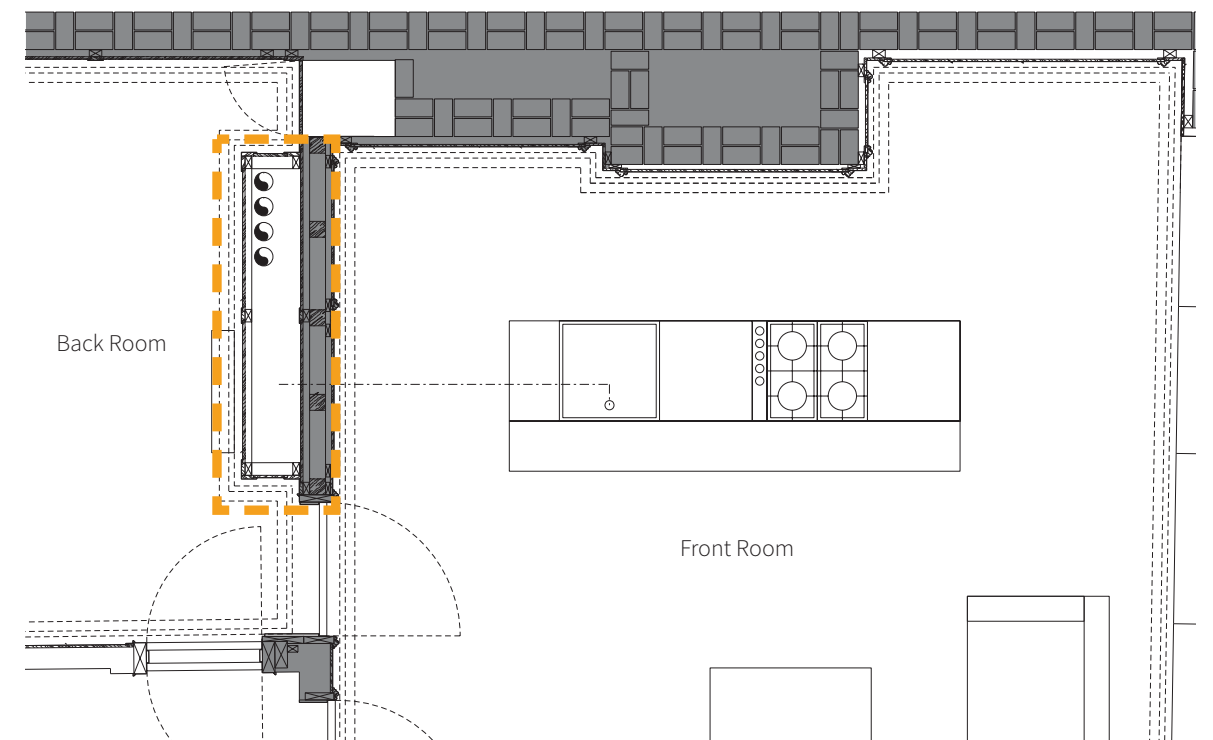
The proposal does result in some very minor harm to the panelling of the First Floor back room and the reading of the room plan, however, it was agreed that the benefit of being able to service the building and preserve it in the long term would outweigh this harm.



Existing section showing partition and panelling



Proposed section showing services zone concealed behind new panelling



Proposed plan showing services zone concealed behind existing panelling with doors and architraves reinstated

Preferred Services Strategy for No.7 Denmark Street

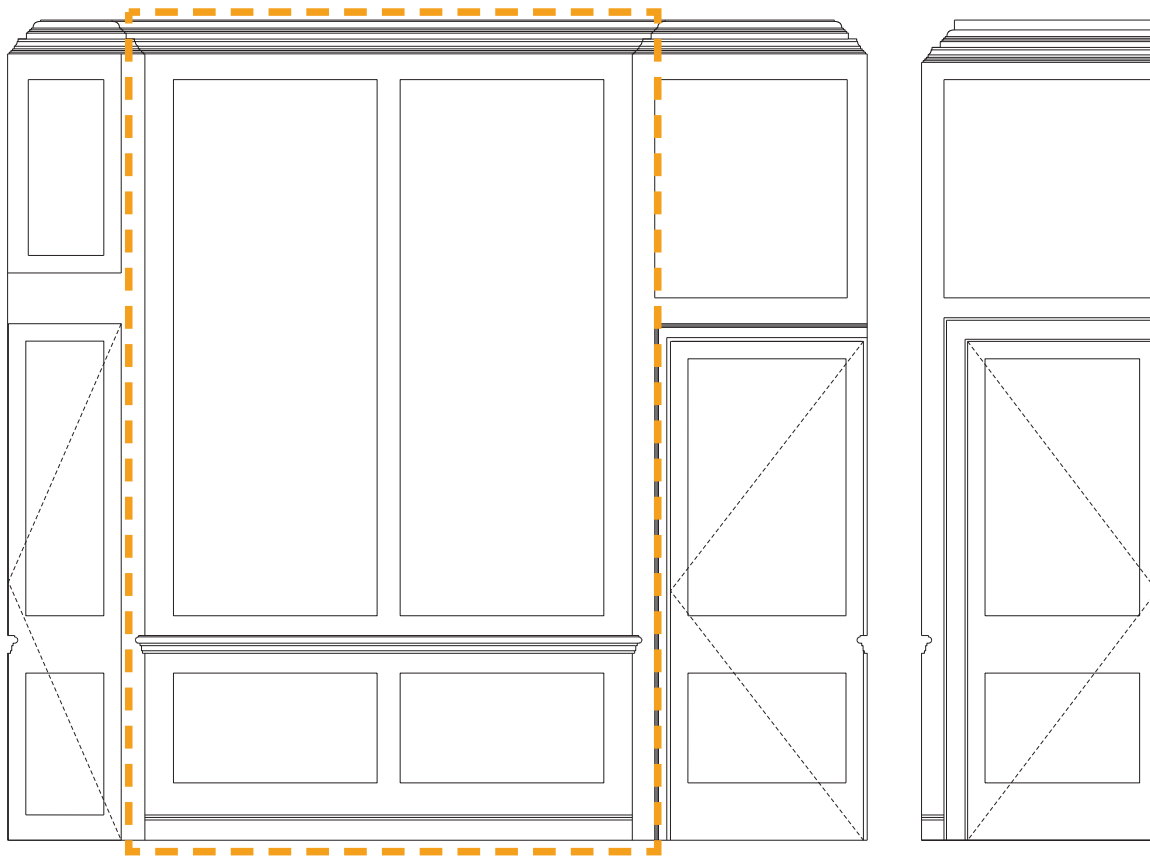
Our preferred solution, as with No.9, is creating a false spine wall. Whilst there is a small amount of harm by passing vertical pipework through existing floorboards and lath and plaster ceilings, this is kept to a minimum and allows both front and rear rooms to be serviced from a single riser. The false wall will be panelled to match existing, with a new plaster cornice. All existing panelling will be retained in-situ and any new works will be scribed into the existing, ensuring that the false wall can be removed in future and the original panelling revealed.

The structural works required to arrest the sinking of the spine wall (see accompanying Engenuiti Report) also offer an opportunity to integrate the services route in this location with minimal further intrusion to the existing building.

The preferred strategy has been developed in consultation with Alan Baxter Associates as Heritage Consultants and they have offered the introduction of a services riser into 16 Holland Street as a suitable precedent where this strategy has been implemented in a similar period Grade II listed Georgian townhouse.



First Floor back room - existing spine wall, showing corner cupboard to the left and door to the front room to right



Proposed elevation showing services riser, panelled to match existing. Both corners of the room remain untouched, retaining the proportions of the room and allowing the door and cupboard access to remain unaffected



Precedent introduction of riser within Grade II listed townhouse - 16 Holland Street, W8 4LT - Michaelis Boyd Associates

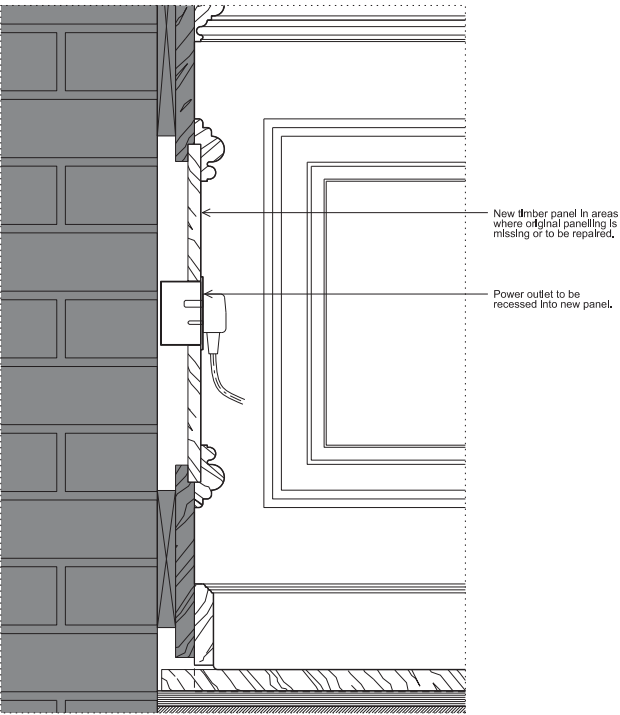
Installation of electrical sockets and switch plates

We propose two approaches to the introduction of electrical small power and lighting switch plates into the existing building.

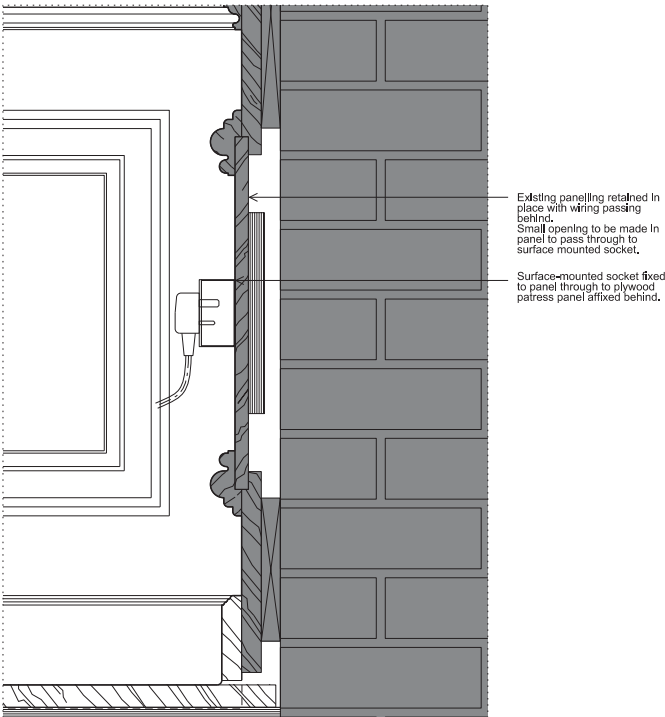
Due to the extensive panelling throughout the building, we will look to minimise switches.

Where existing panelling remains, we will either reuse locations where back-boxes have already been cut-out, or we will surface-mount units.

Where panelling has been damaged/lost and needs replacing, we will incorporate recessed back-boxes with flush plates into new panelling.



Recessed back-box and flush-mounted switch plate



Surface-mounted back-box and switch plate



Example of damaged panelling in no. 7 Denmark Street. This panel will require replacement and offers the opportunity to incorporate flush-mounted switch plates



Example of previous services' cut-outs in existing panelling in no. 7 Denmark Street. This can be reused to allow flush-mounted switch plates



Example of electrical sockets integrated into the floor, to be removed and replaced with flush or surface-mounted switch plates as adjacent.

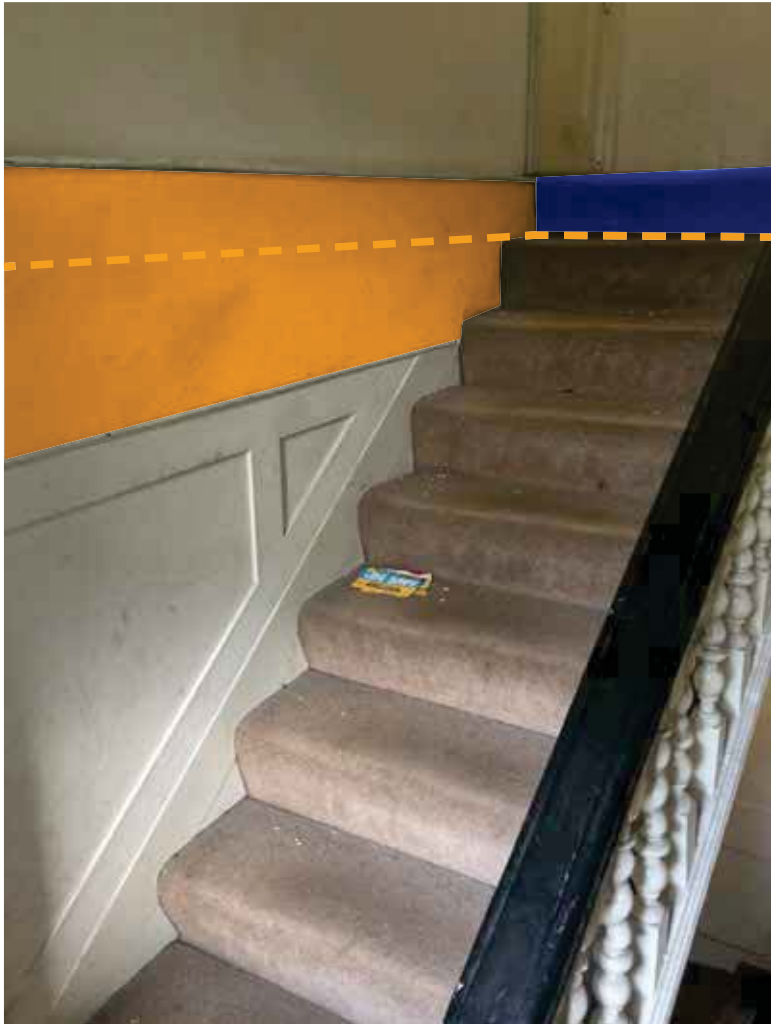


Example of fully intact panelling - surface-mounted back-box and switch plate will be required here

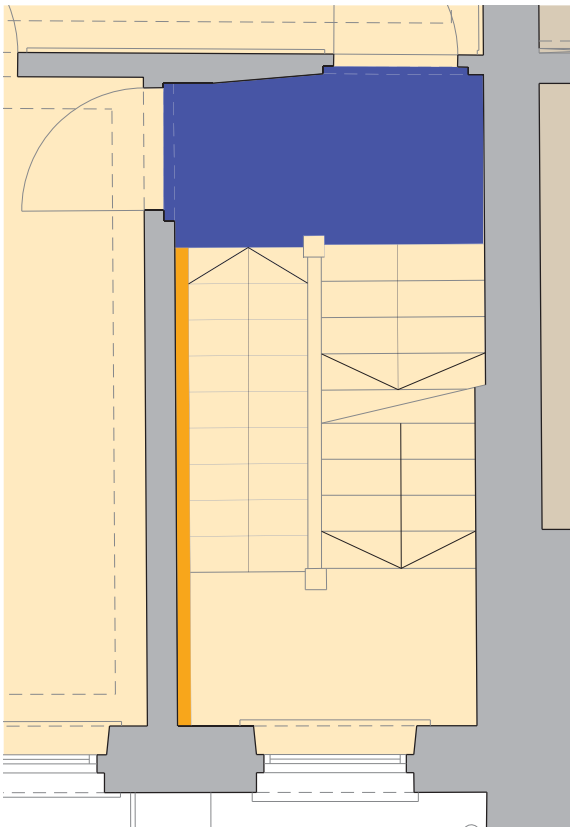
Structural Strategy

Currently, the structure is showing signs of failure, particularly in the stairwells. Initial inspection has uncovered historic attempts to address the continual subsidence and while improvements have been made, the problem remains.

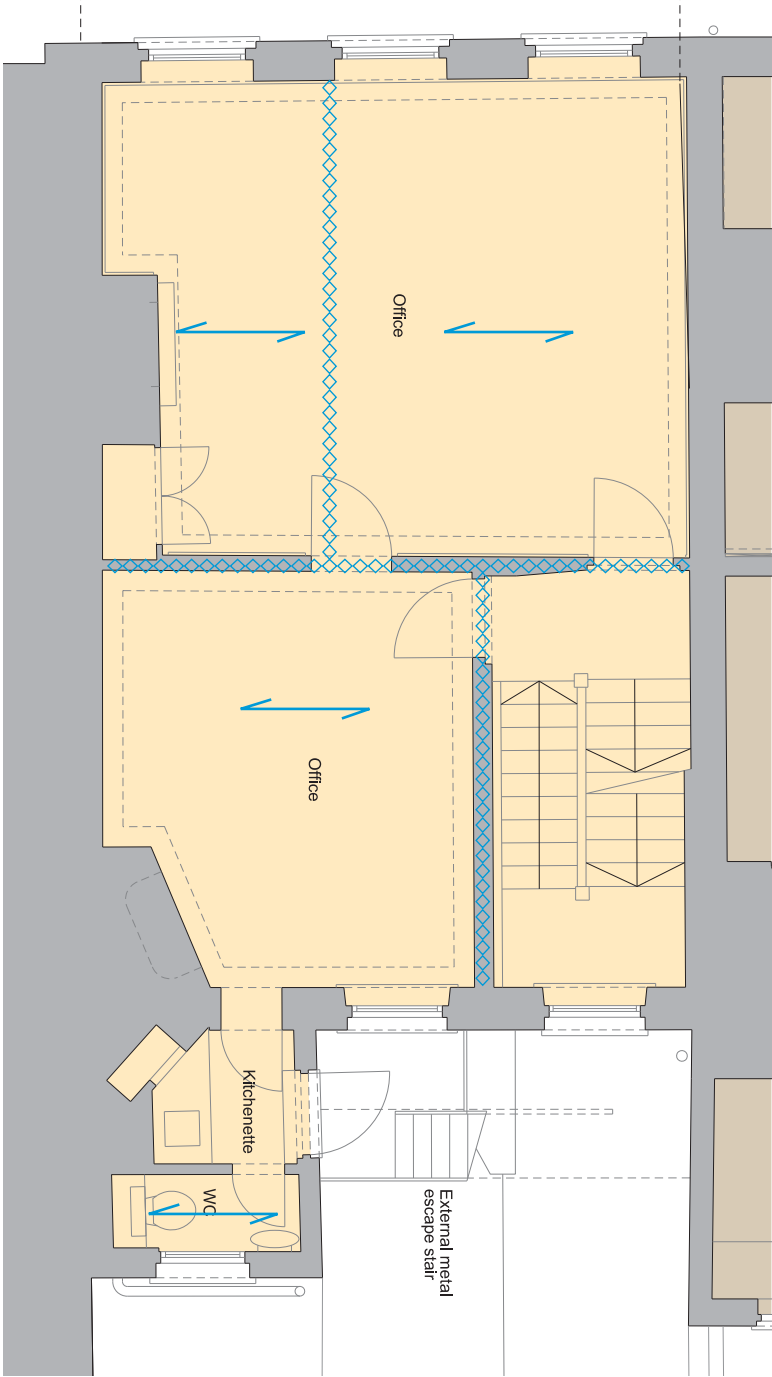
In order to stop any further degradation a number of strengthening works will need to be undertaken. The timber spine beam, stair beam, and floor joists all require strengthening works to halt any further deflection. Each approach shall be analysed and dealt with case-by-case and outlined in Egenuiti's Structural Report, but generally, failing timber beams shall be strengthened by steel beams either side and existing timber joists shall be strengthened by a new timber joist bolted along it.



Modern floor built off of existing
Historic landing level



2nd Floor Landing showing extent of floor deflection



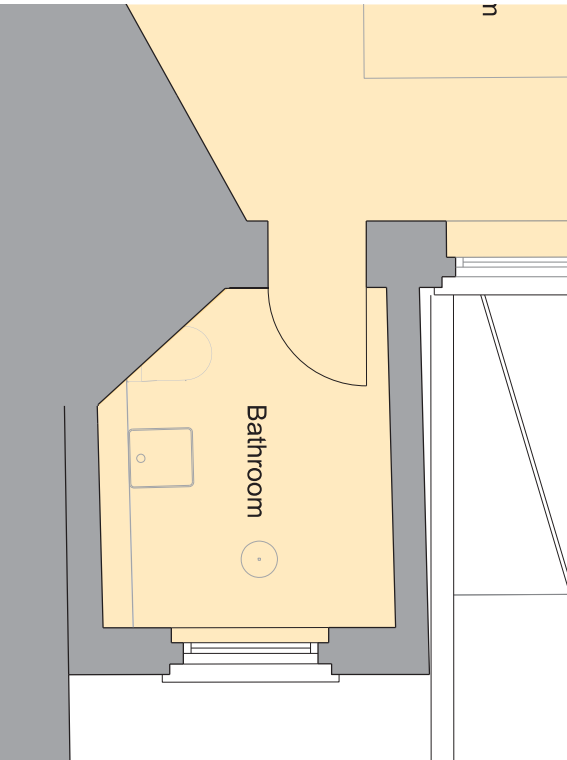
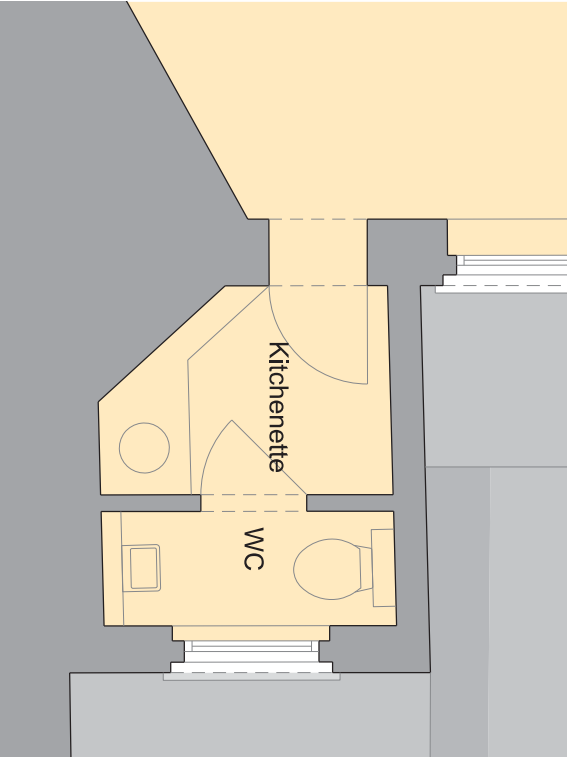
Original structural layout in need of strengthening

Bathroom Panels & Partitions

The closet wing has been subject to subdivision and modifications that impair ones ability to read the fabric and proportions of the original space.

Consent has been granted for the removal of the partition. Once removed, panelling will be repaired and reinstated in order to respect the aesthetic of the original.

Existing Closet Wing



Proposed Closet Wing



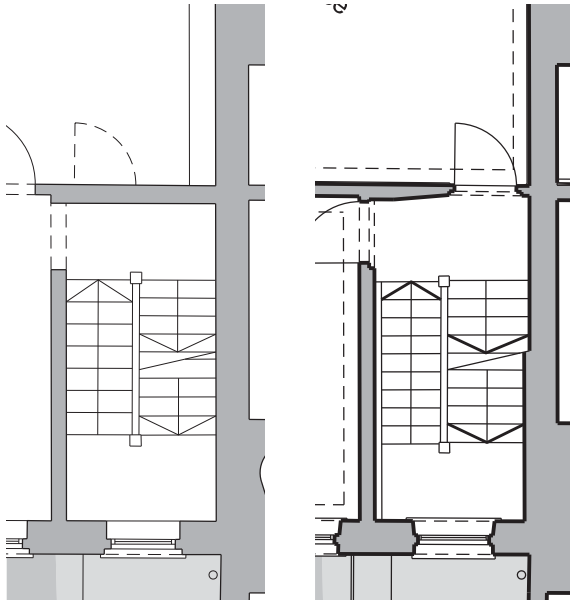
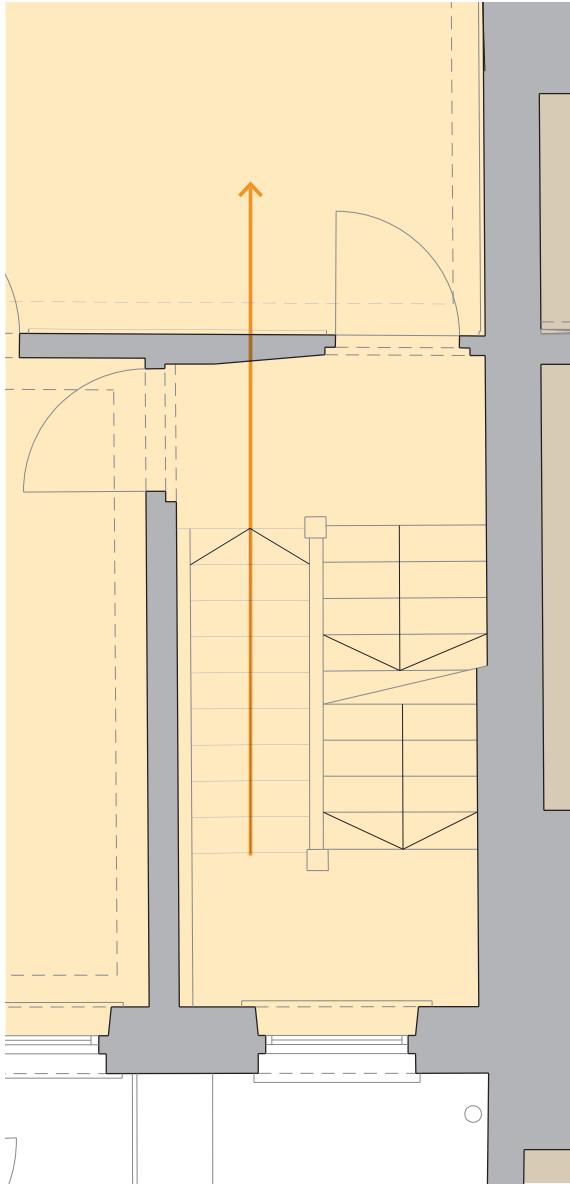
Existing First Floor Closet Wing
Cornice and panelling remains much intact, however, shelves and partition detract from the wing

Entrance Door Location

As existing plans of the neighbouring buildings demonstrate, ground and first floor doors should align across floors, sitting in front of the rising flight of stairs.

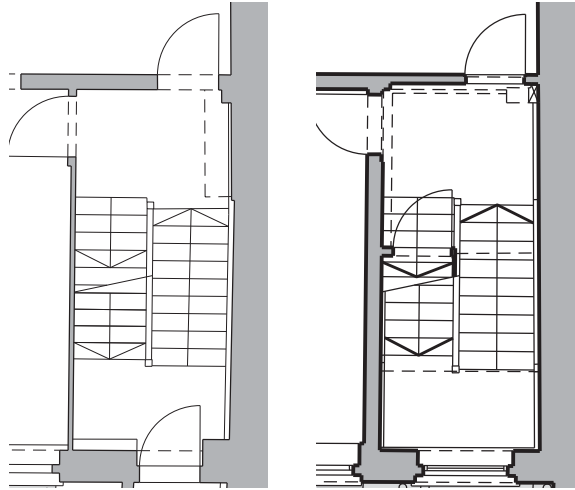
There is one example where this is not the case, on the second floor of no.7 Denmark Street, where perhaps it moved during works to level the floor below and ultimately moved to a point in the wall where it would suffer least from further subsidence.

Subject to opening up works and structural investigations, this application seeks to reinstate the second floor door position to match the floor below.



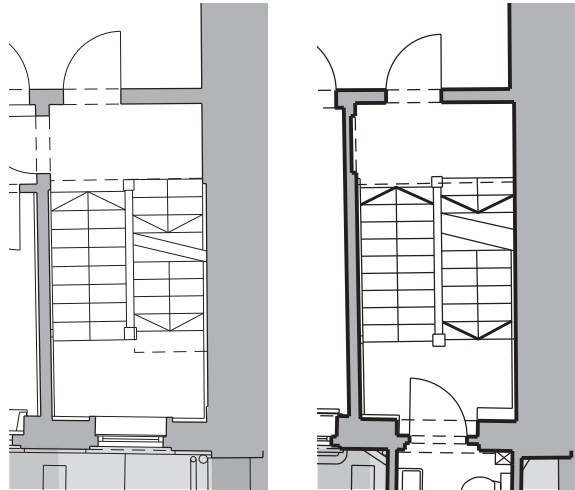
No.7 Existing Plan
First Floor

Second Floor



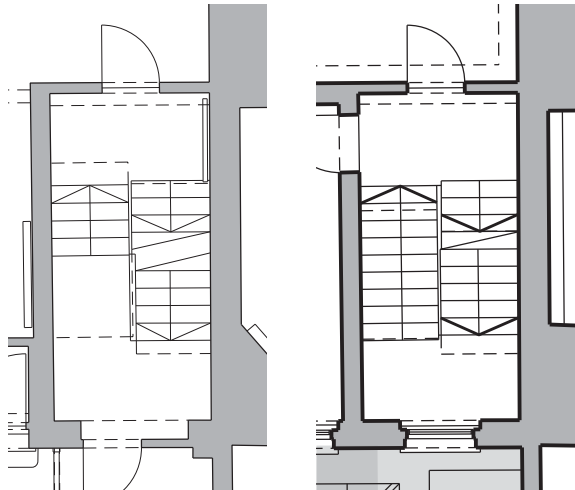
No.6 Existing Plan
First Floor

Second Floor



No.9 Existing Plan
First Floor

Second Floor



No.10 Existing Plan
First Floor

Second Floor

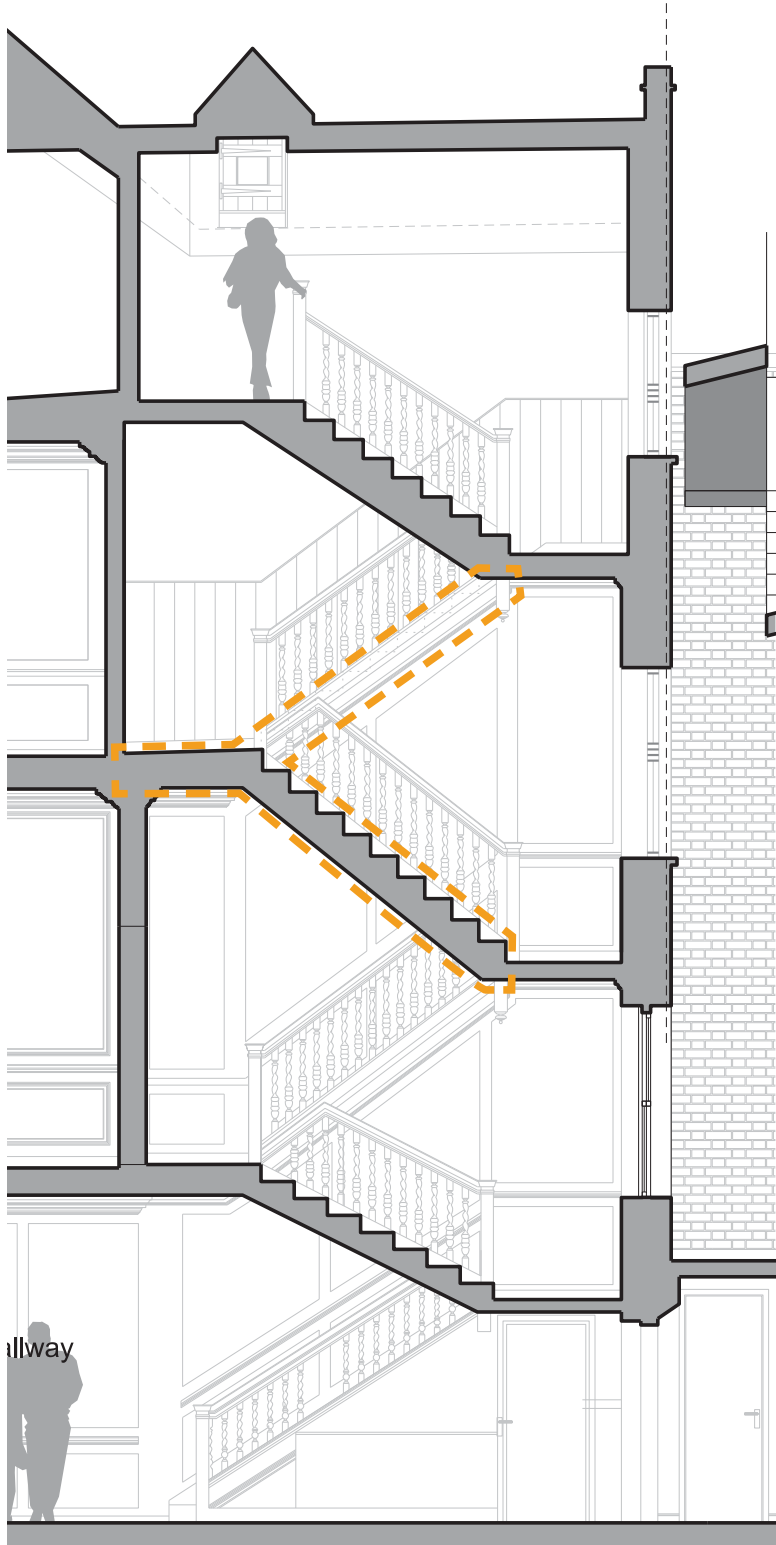
Staircase Repairs

As these inspection photos show clearly, the stair in no.7 is in urgent need of repair. Deflection occurs at every level, with the second floor showing the most significant levels of movement.

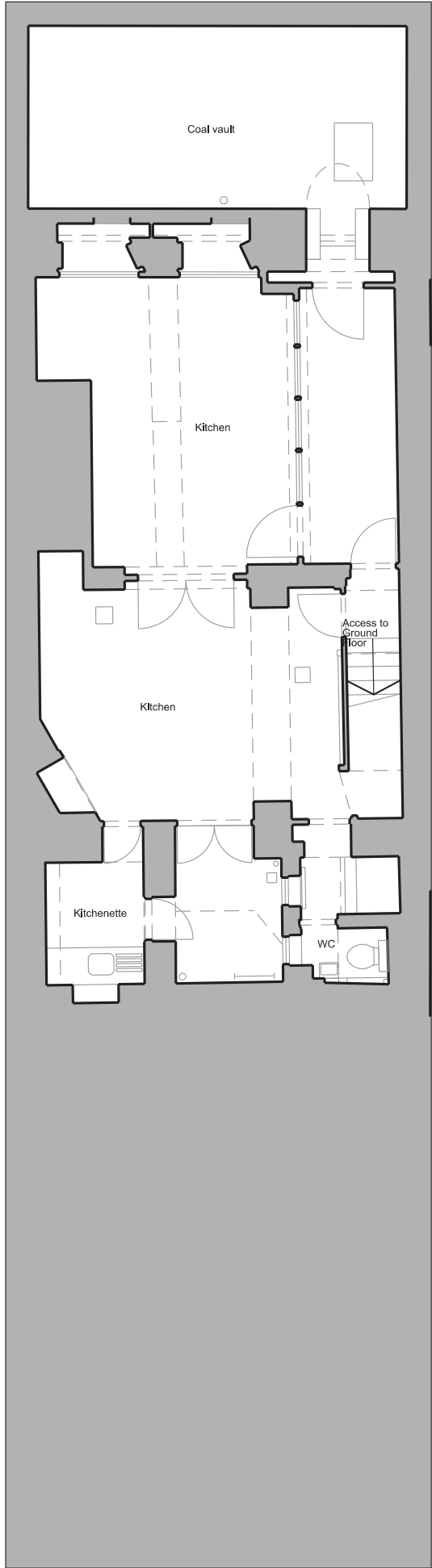
The flights that meet the second floor landing should be removed and rebuilt, rather than simply repaired. Moving the stair to its original would run the risk of causing further movement and affecting the original fabric.



Evidence of severe deflection within the stair wells



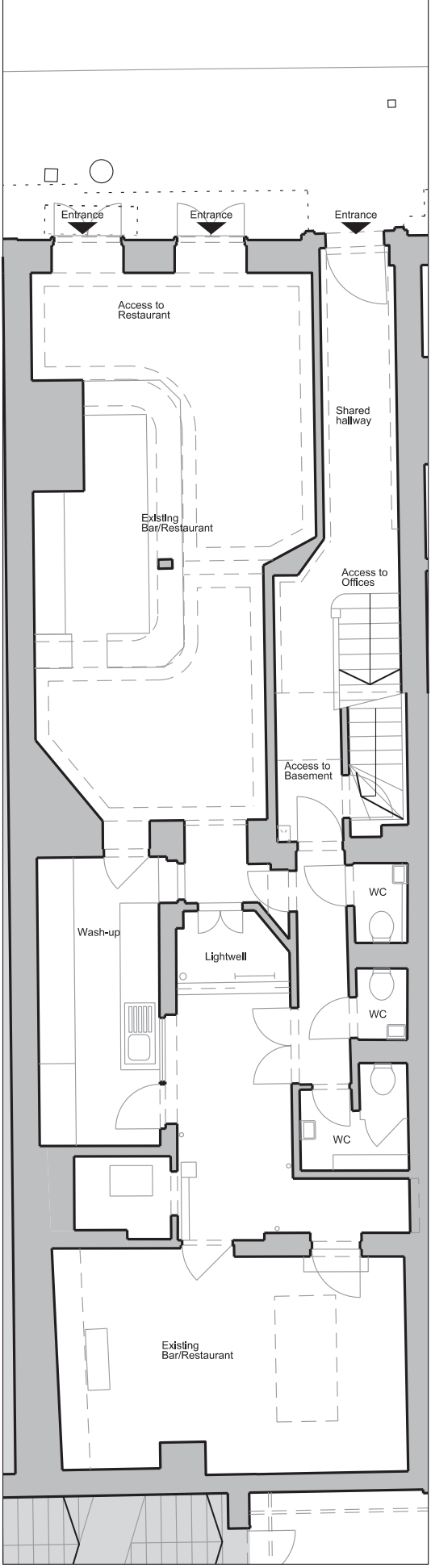
The flights of stairs that meet the second floor landing are the most affected. It is proposed that these are rebuilt for the safety of the tenants and longevity of the property



01
7D(X)100

7 Denmark Street: Existing
Basement Plan

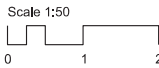
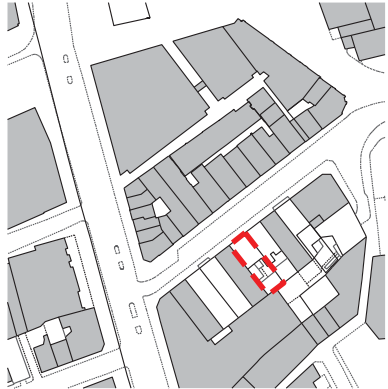
1:50



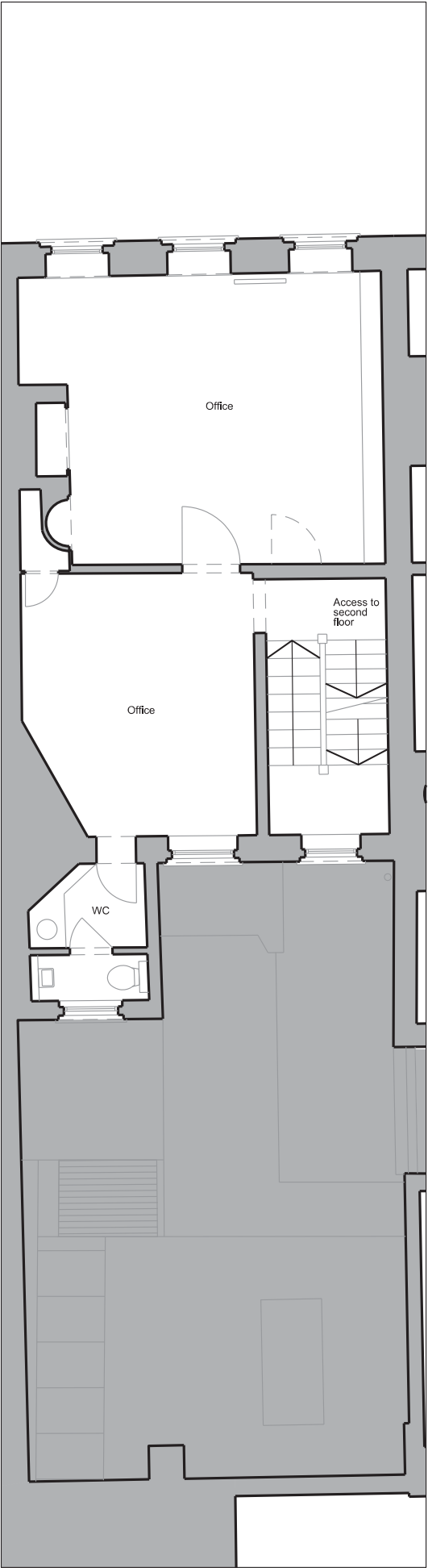
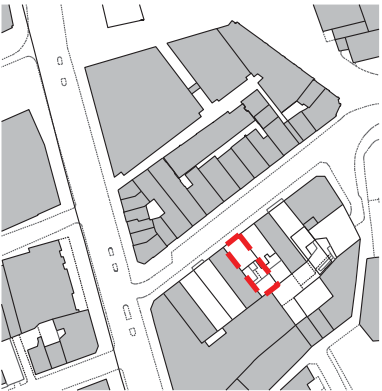
02
7D(X)100

7 Denmark Street: Existing
Ground Floor Plan

1:50



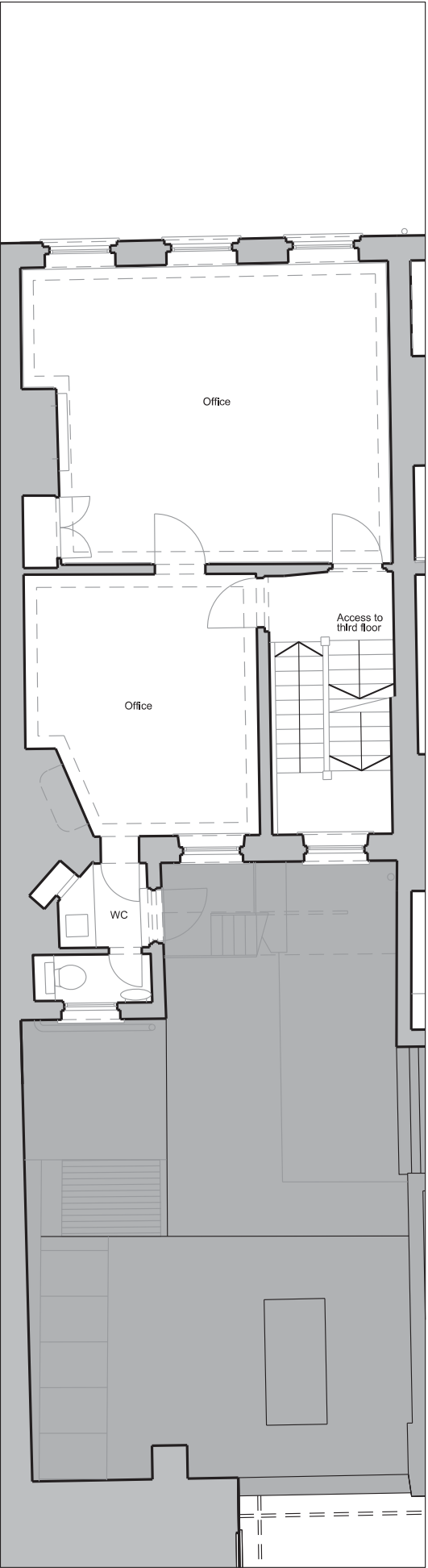
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01 Issued to LBC 27/09/17			
Client			
Consolidated Ltd.			
Project			
St. Giles Circus - Zone 3			
Drawing Title			
No 7 Denmark Street Existing Basement + Ground Floor Plan			
Drawing Number			
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Scale	1:50@A1	Status	For Information
Drawn by	NB	Date	01/08/14
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01
7D(X)101

7 Denmark Street: Existing
First Floor Plan

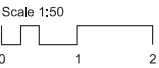
1:50



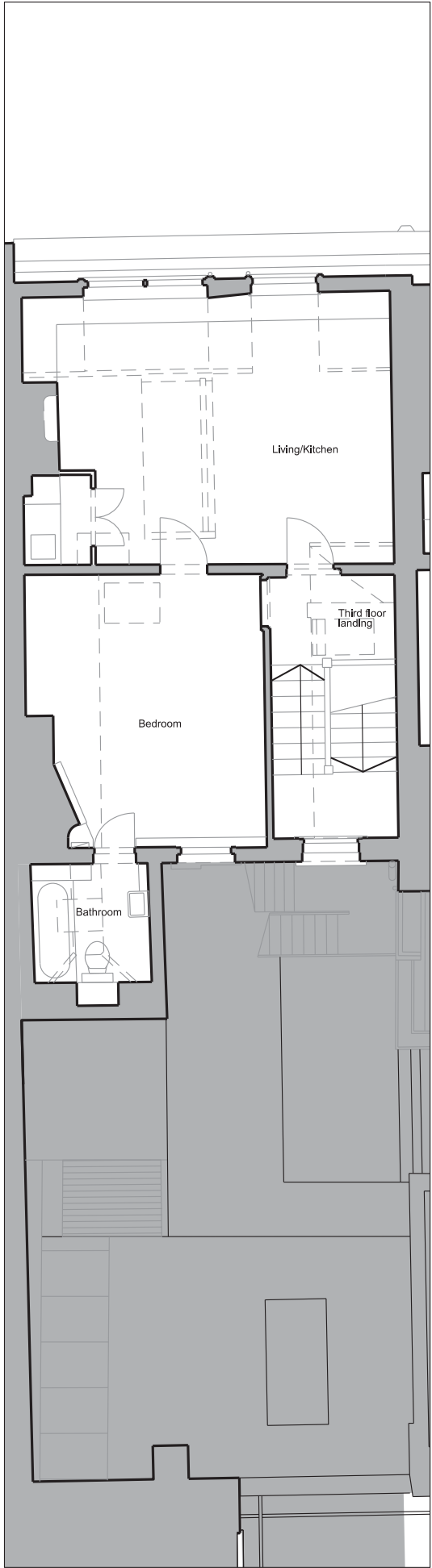
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7D(X)101

7 Denmark Street: Existing
Second Floor Plan

1:50



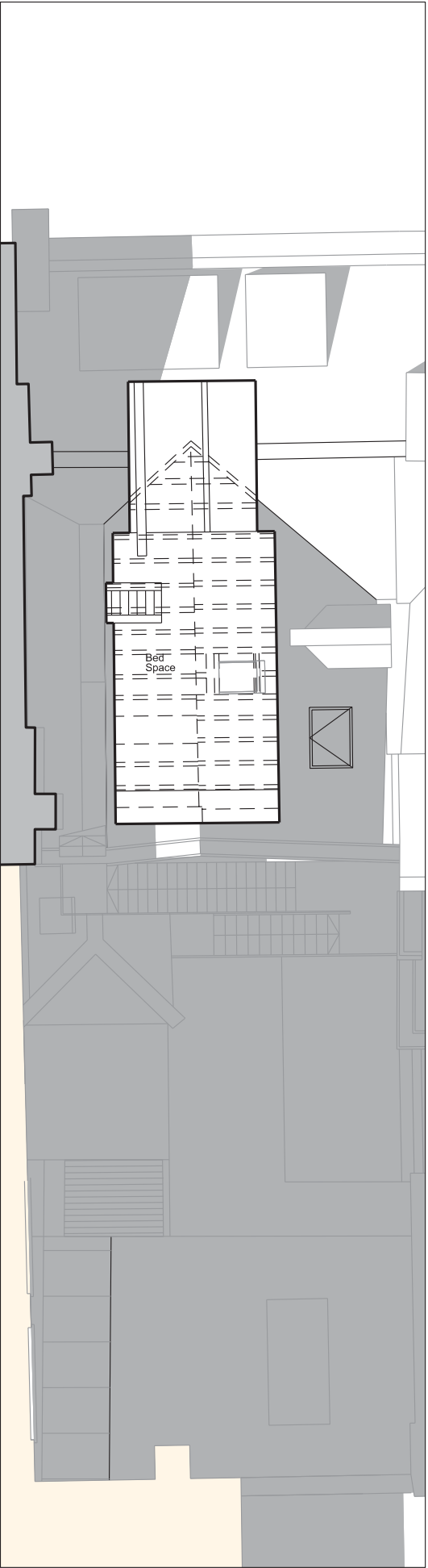
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01
7D(X)102

7 Denmark Street: Existing
Third Floor Plan

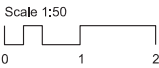
1:50



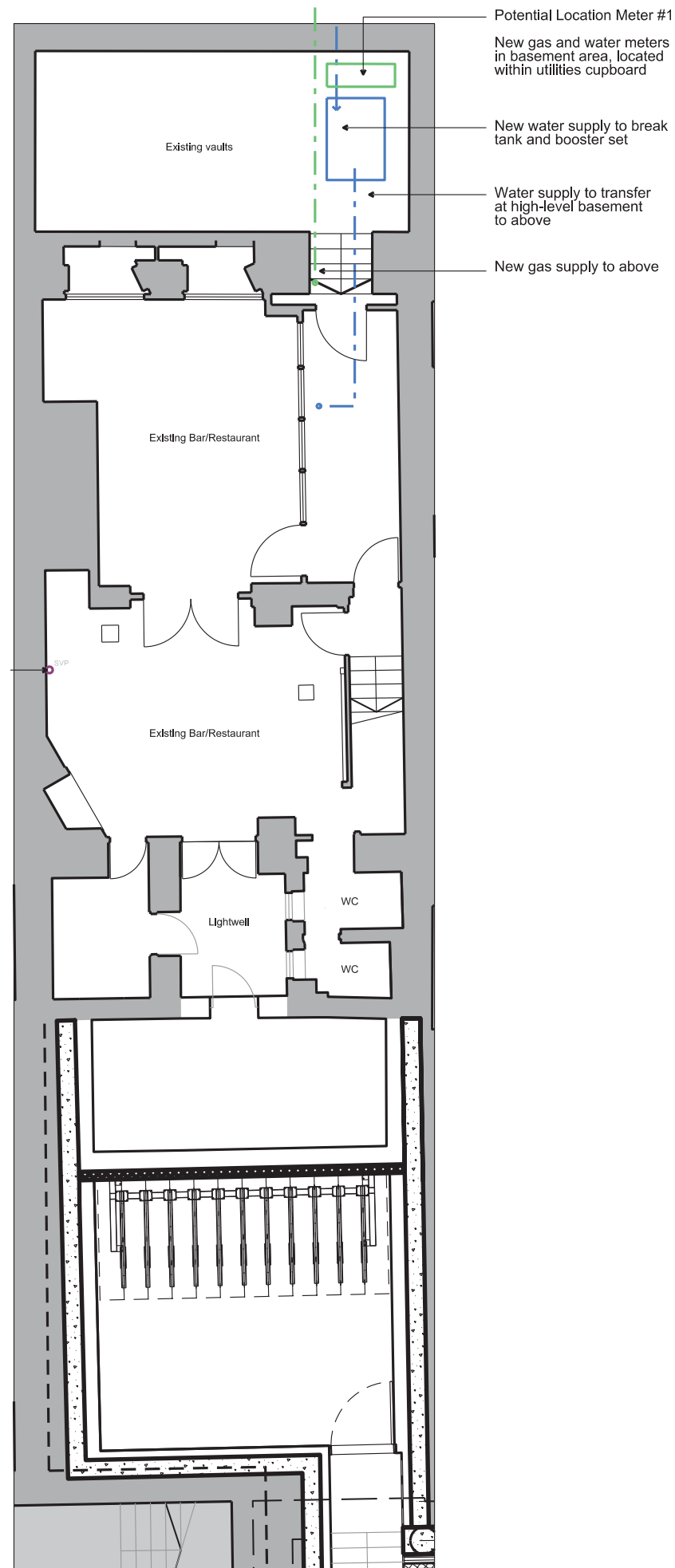
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7D(X)102

7 Denmark Street: Existing
Roof Plan

1:50



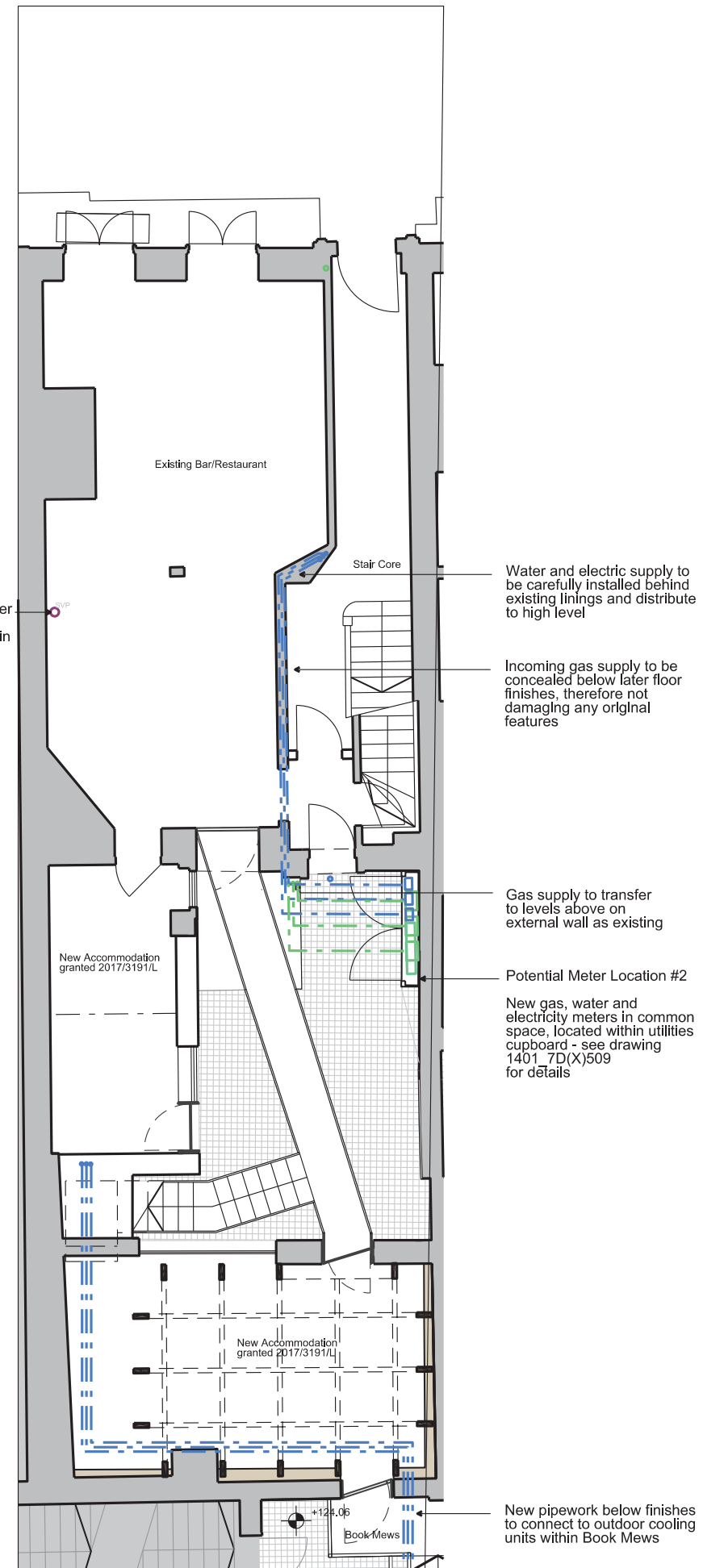
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01
7D(X)200

7 Denmark Street: Proposed
Basement Plan

1:50



02
7D(X)200

7 Denmark Street: Proposed
Ground Floor Plan

1:50



Services Routes:

- Electric distribution
- Wet services distribution
- Gas distribution
- Drainage
- Ventilation

Scale 1:50

0 1 2



Revisions			
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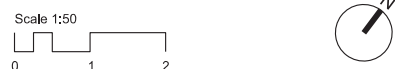
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70 Cowcross Street
London
EC1M 6EJ

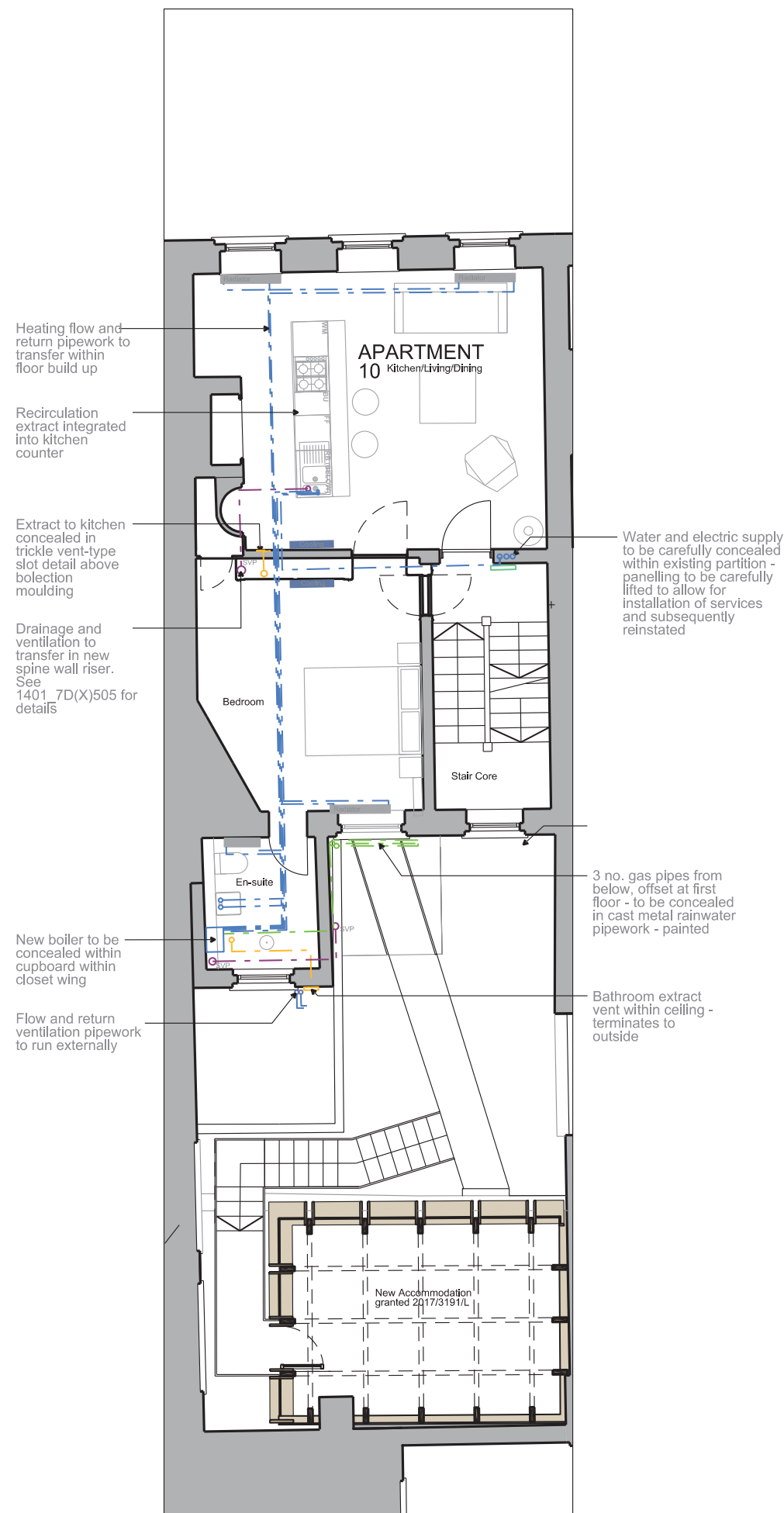
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07785 973723
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- Services Routes:
- Electric distribution
 - Wet services distribution
 - Gas distribution
 - Drainage
 - Ventilation



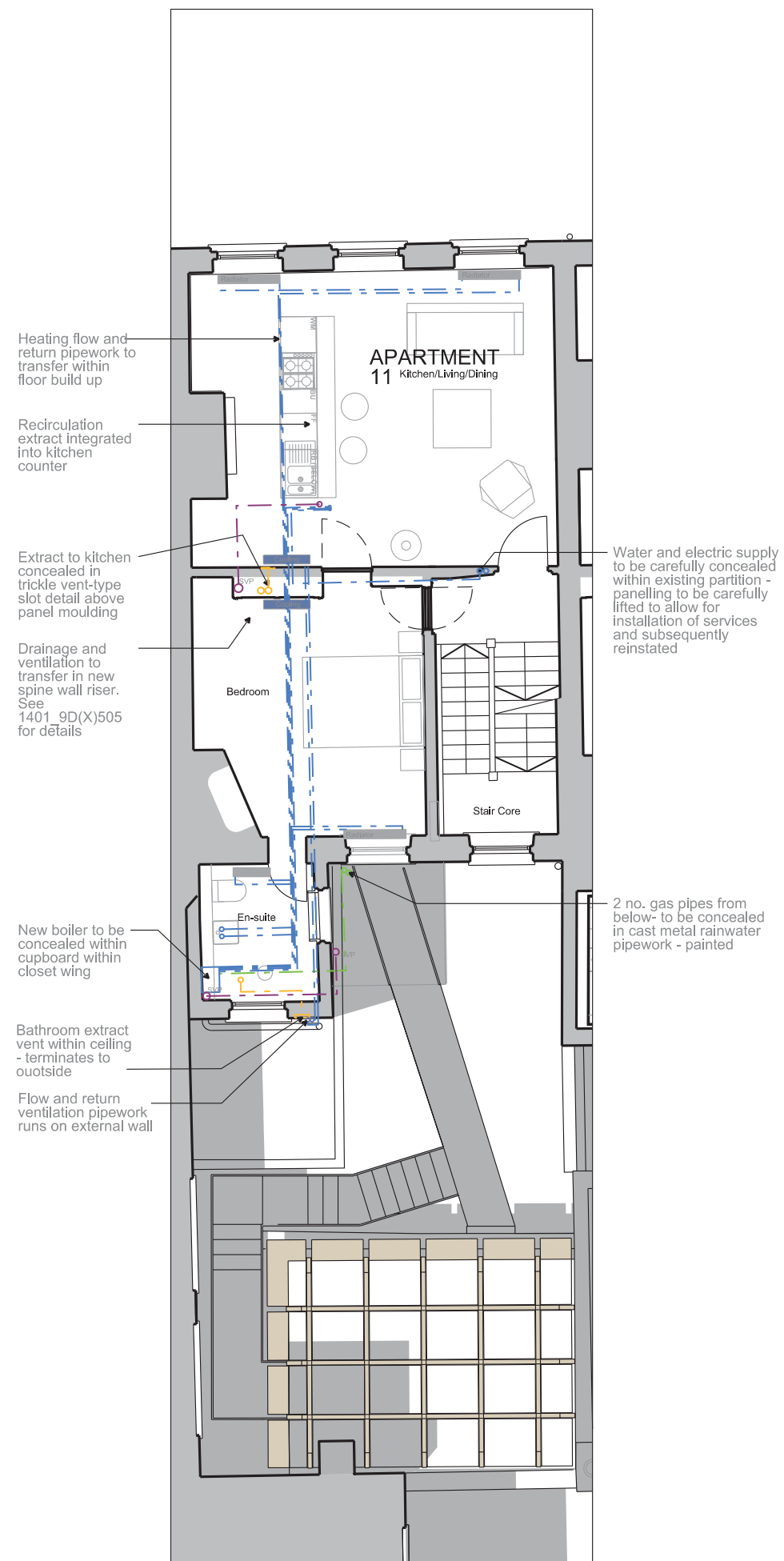
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Drawing Number			
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01
7D(X)201

7 Denmark Street: Proposed
First Floor Plan

1:50



02
7D(X)201

7 Denmark Street: Proposed
Second Floor Plan

1:50



- Services Routes:
- Electric distribution
 - Wet services distribution
 - Gas distribution
 - Drainage
 - Ventilation



Revisions			
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Consolidated Ltd.			
Project			
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Drawing Title			
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Heating flow and return pipework to transfer within floor build up

Recirculation extract integrated into kitchen counter

Extract to kitchen concealed in trickle vent-type slot detail

New boiler to be concealed within cupboard within closet wing

APARTMENT 12 Kitchen/Living/Dining

Bedroom

Stair Core

Bathroom

Water and electric supply to be carefully concealed within existing partition - panelling to be carefully lifted to allow for installation of services and subsequently reinstated

1 no. gas pipes from below, transfer at low-level within floor - to be concealed in cast metal rainwater pipework - painted

Extract ducts to terminate with inline tiled in vents

Mezzanine Space

01
7D(X)202

7 Denmark Street: Proposed
Third Floor Plan

1:50

02
7D(X)202

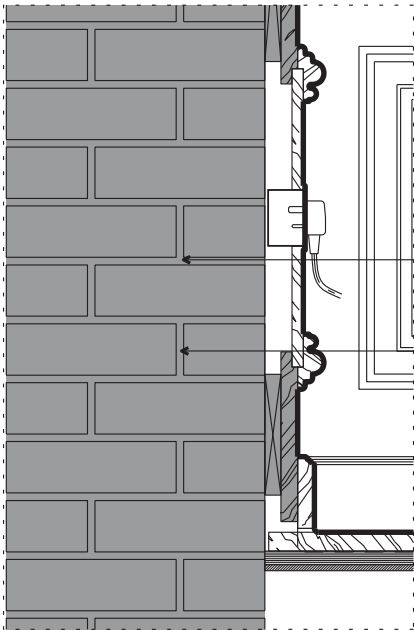
7 Denmark Street: Proposed
Roof Plan

1:50

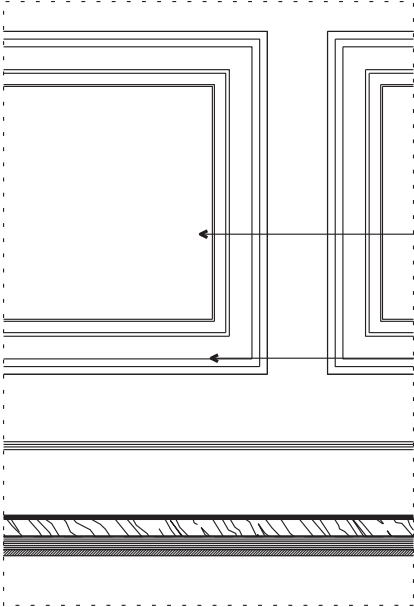
Note- Where existing power outlets are provided at low level on skirting, outlet to be removed and skirting repaired.



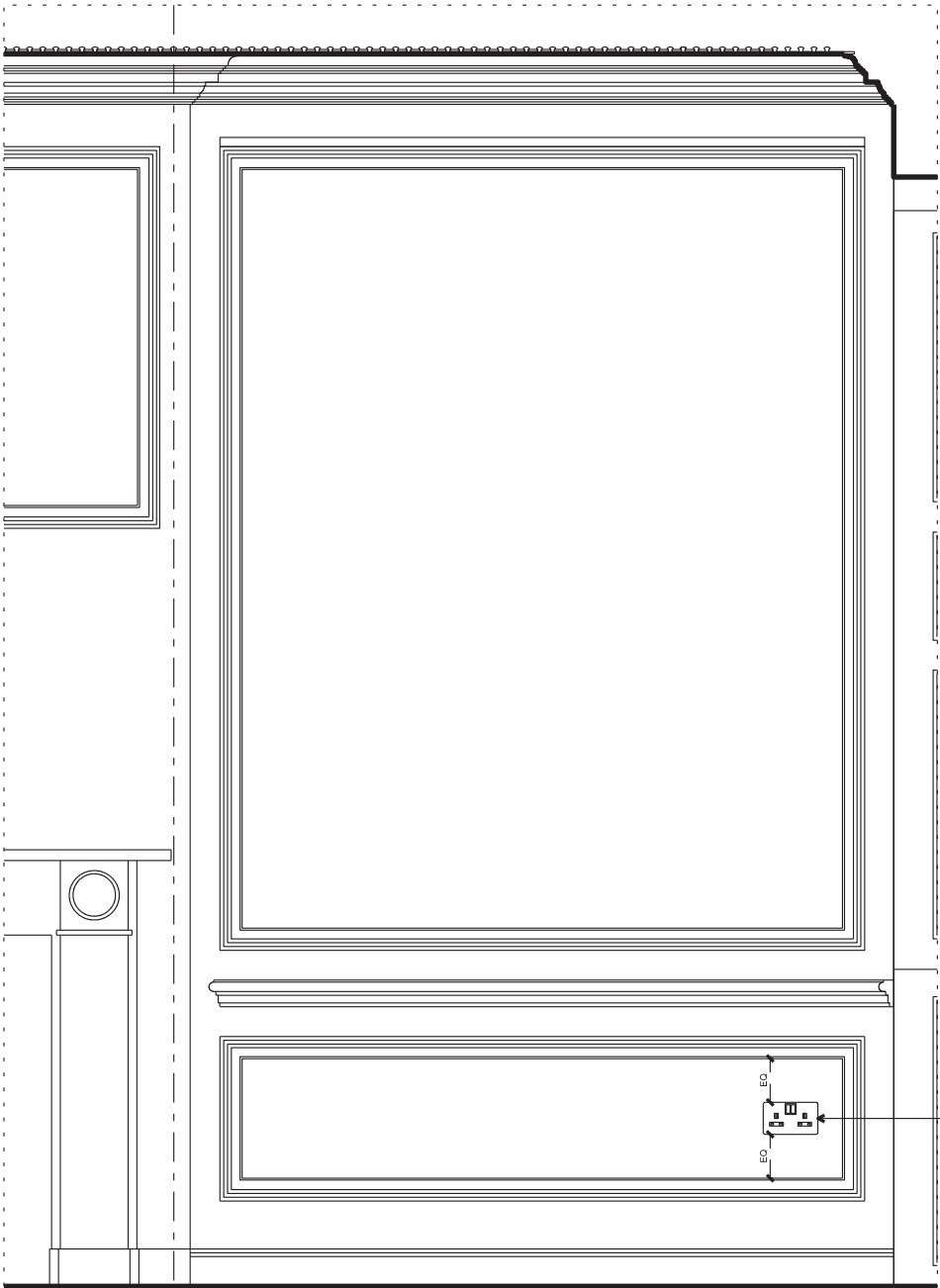
01
X_500 Condition 1 - Retained existing panelling. 1:5



02
X_500 Power Outlet Condition 1 Recessed outlet in new/replaced panel



03
X_500 Power Outlet Condition 2 Surface mounted power outlet to existing panelling



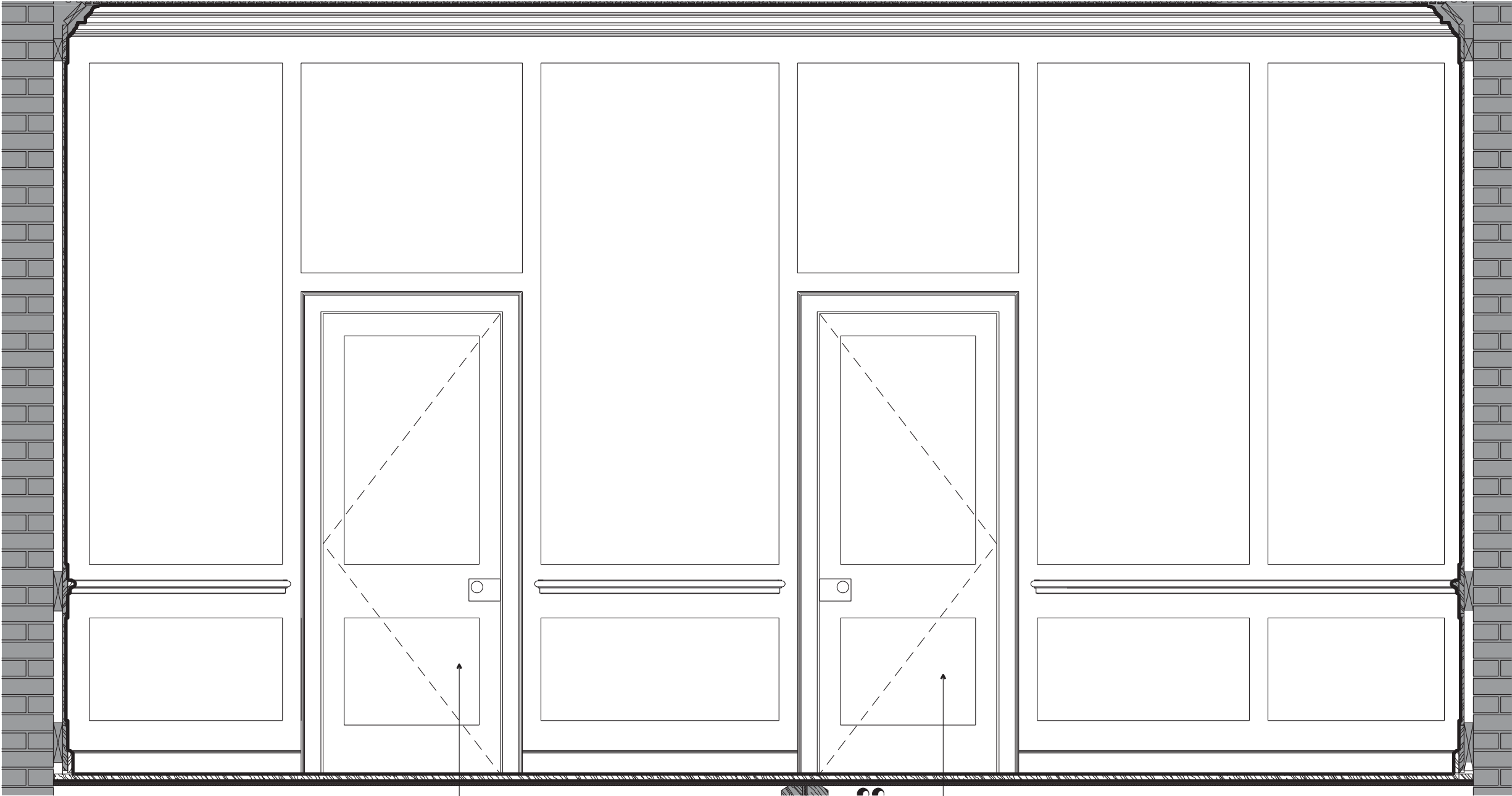
04
X_500 Power Outlet Condition 2 Elevation 1:10

Socket to align centrally in existing lower panel.



Scale 1:5
0 0.1 0.2 Metres

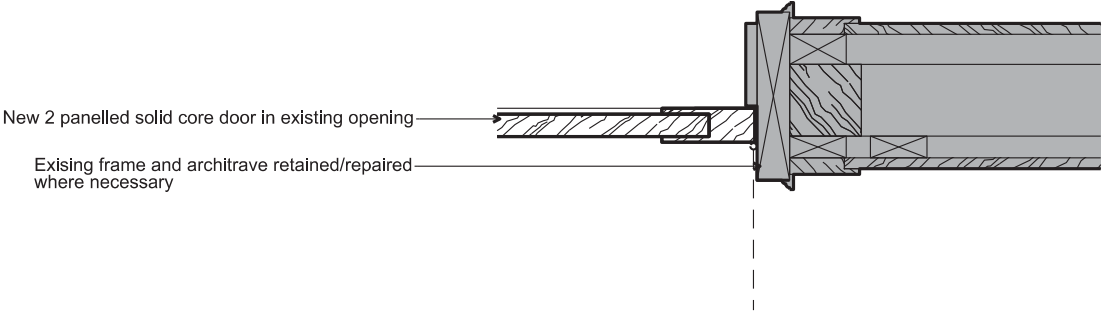
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Drawing Title			
7 Denmark Street Proposed Services Details Electrical Outlet			
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01
X_501 Proposed Door Elevation
Second Floor Rear wall 1:10

New 2 panel door to match existing second floor condition and reintroduce historic location of opening

Existing openings to be fitted with 2 panelled doors to match existing second floor condition (All floors except first floor)



02
X_501 Proposed Typical Door Detail
Plan Detail 1:5



03
X_501 Typical Existing 2 panelled door on second floor
Photograph



Scale 1:5
0 0.1 0.2 Metres

Revisions			
01 Issued to LBC 27/09/17			
Client			
Consolidated Ltd.			
Project			
St. Giles Circus - Zone 3			
Drawing Title			
7 Denmark Street Proposed Door Details			
Drawing Number			
1401_7D(X)501			
Scale	VARIOUS@A1	Status	APPROVAL
Drawn by	NB	Date	21.09.2017
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All internal layouts are for illustrative purposes only			
ica		70 Cowcross Street London EC1M 6EJ 02037807355 07785 973723 lanchalkarchitects.com	



01
X_502 Existing Condition First Floor
Original Panelling and dado mostly intact - to be repaired



02
X_502 Existing Condition Second Floor
Original panelling and dado mostly intact - to be repaired



03
X_502 Existing Dado Images
Condition 1 - Front Room



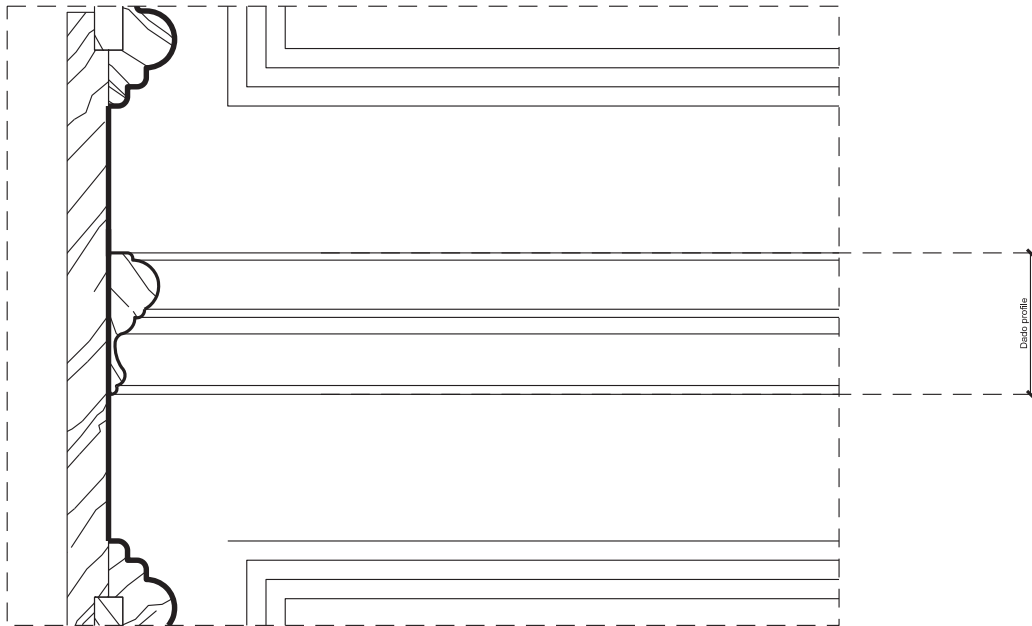
04
X_502 Existing Dado Images
Condition 2 - Rear Room



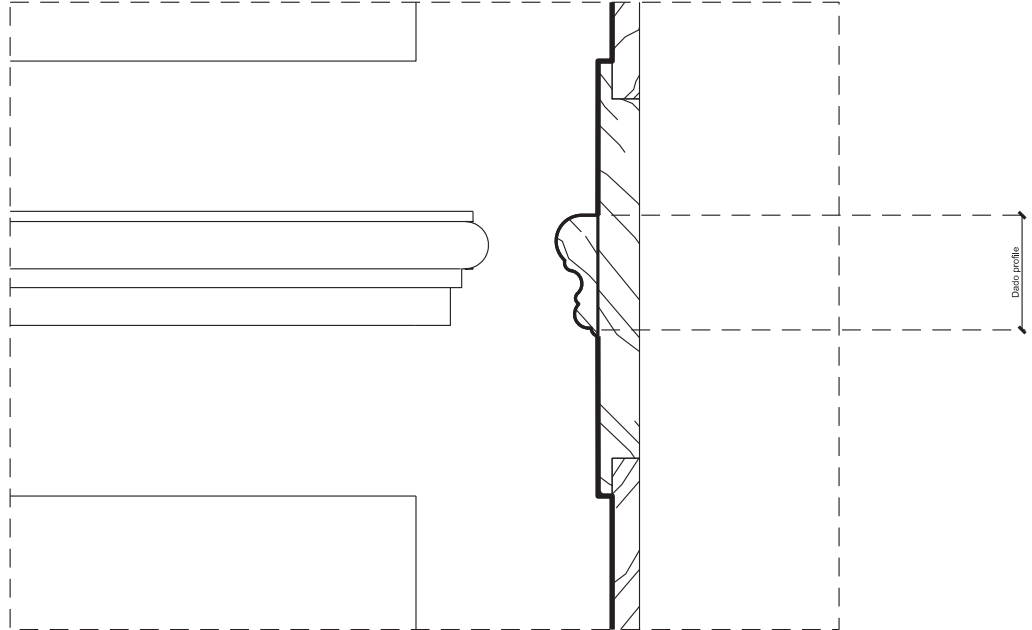
NOTE:

All instances of damaged or missing dado rails are to be repaired and reinstated in accordance to the details below

Front rooms have a more ornate profile to match the original, while rear rooms have simpler sections of dado



05
X_502 Existing Dado profile to be used for repair and replacement
Condition 1 - Front Room



06
X_502 Existing Dado profile to be used for repair and replacement
Condition 2 - Rear Room



Scale 1:5
0 0.1 0.2 Metres

Revisions			
01 Issued to LBC 27.09.17			
Client			
Consolidated Ltd.			
Project			
St. Giles Circus - Zone 3			
Drawing Title			
7 Denmark Street Proposed Dado Repair Details			
Drawing Number			
1401_7D(X)502			
Scale	VARIOUS@A1	Status	APPROVAL
Drawn by	NB	Date	21.09.2017
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01
X_505 Existing Internal Elevation
First Floor - Spine wall, back room

New plaster
cornice - profile
to match existing

New riser with
panelling and
dado detail to
match existing.
To be scribed
into existing to
allow for later
removal

Existing
corner-cupboard
(recently
revealed). To
be retained
in-situ and
repaired

New
two-panelled
door and
reinstated
architrave to
match
existing

Extent of new riser. To be inset from existing
frame to allow for legibility of existing panels

02
X_505 Proposed Internal Elevation
First Floor - Spine wall, back room - showing typical riser installation

1:10

Scale 1:5
0 0.1 0.2 Metres

Revisions			
01 Issued to LBC 27/09/17			
Client			
Consolidated Ltd.			
Project			
St. Giles Circus - Zone 3			
Drawing Title			
7 Denmark Street Proposed Detail New Riser to Spine Wall			
Drawing Number			
1401_7D(X)505			
Scale	VARIOUS@A1	Status	APPROVAL
Drawn by	EW	Date	21.09.2017
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Existing corner-cupboard
(recently revealed). To be
retained in-situ and repaired

Indicative location of
vertical services distribution

New
two-panelled
door and
reinstated
architrave to
match
existing

Existing
frame to be
left exposed
to allow for
legibility of
existing
panels.
New riser
panelling to
be inset
and scribed
into existing

New riser with panelling and
dado detail to match existing.
To be scribed into existing to
allow for later removal

03
X_505 Proposed Typical Riser to Spine Wall
Plan Detail

1:5