



St Giles - Zone 3 : 6 Denmark Street
Listed Building Application

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Introduction

The existing building is located on Denmark Street, London WC2H 8LS. The building is undergoing a full refurbishment in accordance with Listed Building Consent - 2012/6867/L. Ian Chalk Architects have been appointed as the architects to deliver the building on site and Cord Contracting as the Contractor.

No.6 Denmark Street forms one of a number of late 17th Century terraces along Denmark Street that were developed at the same time. ICA are appointed to refurbish nos. 6, 7, 9 & 10.

A recent application for no.9 Denmark Street has been submitted following dialogue with Camden Conservation. The application set out a number of principles for the refurbishment of that building, including integration of modern services into historic fabric, and reinstatement of period details. The application sought for no.6 Denmark Street looks to build on the principles that have been agreed for no.9, due to the similarities of the original buildings & the refurbishment works proposed.

The following pages provide a full description of the proposals. The proposals are supported by separate Structural documentation from Engenuiti.



No. 6 Denmark Street Elevation

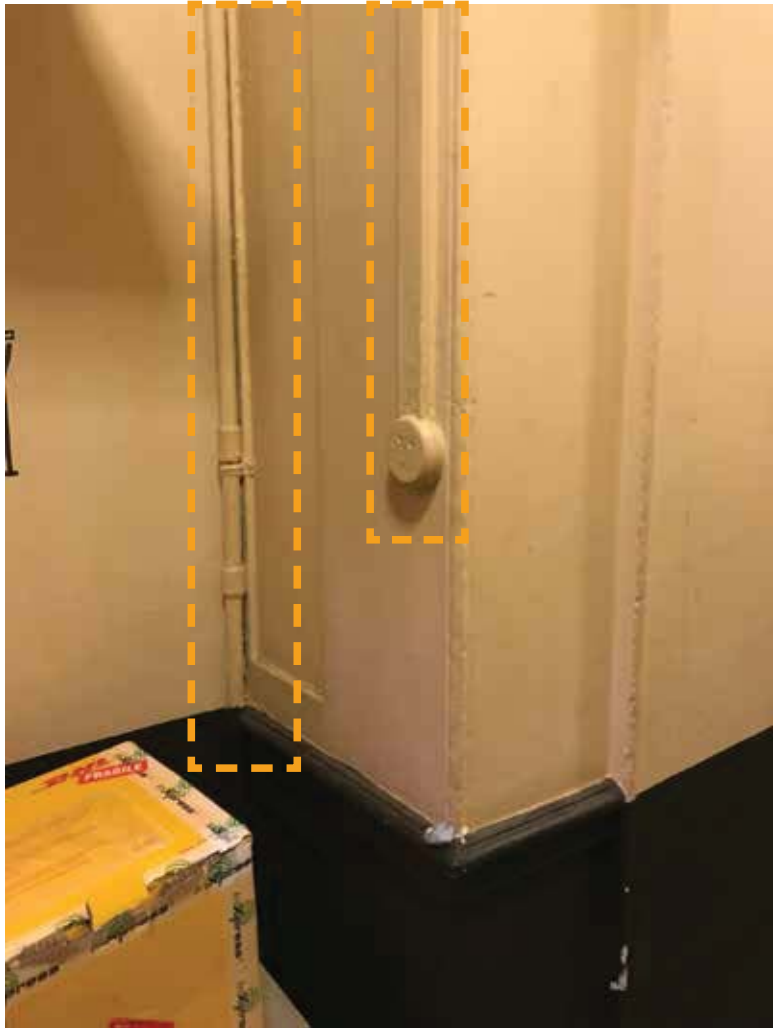
Existing Services

The existing building is generally in a poor condition and the services provision throughout is inadequate and piecemeal. This is typical of old buildings where later services have been added at varying stages. The photographs to the right show various services installations across the building.

There has been no cohesive strategy and the result is a clutter of surface-fixed wiring and pipework that compromises the reading of the historic fabric and, in places, damages the fabric where cornices/dados have been chopped out to run routes.

The full-scale refurbishment of this building which forms part of the works currently taking place provides an opportunity to reassess how the townhouses to Denmark St are serviced and upgraded to meet modern requirements, as well as how to future-proof, ensuring the preservation of the buildings in the long term.

This report reviews the consented option for providing service routes to the consented kitchen/living areas at the front of the house, before looking at an alternative solution adopted and agreed in principle for No.9 Denmark Street and then sets out proposals for the preferred solution for this property.



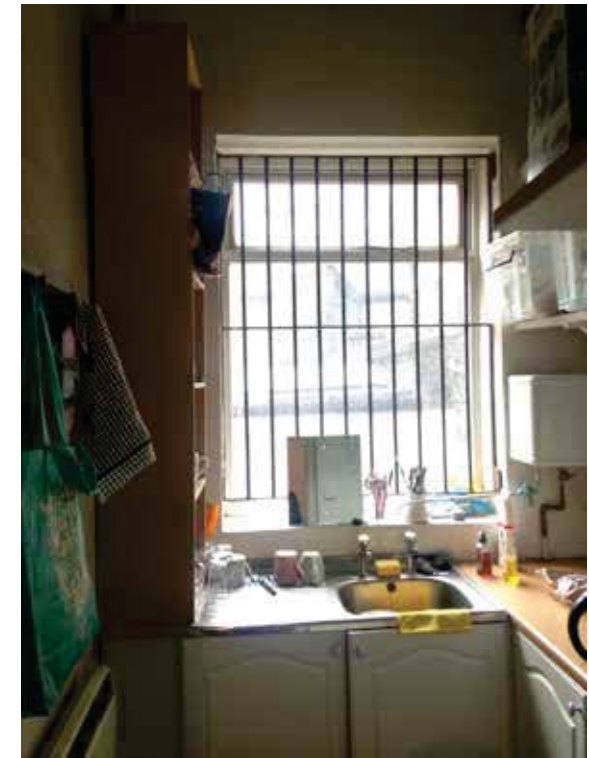
Entrance Hall of No.6, September 2017, following possession showing an array of surface mounted containment, wires and wall-mounted lighting

Existing building and condition

The key limitations with the existing building when servicing is the configuration of the rooms and the restrictions of working with a timber-framed interior.

On a typical upper floor, services are either distributed from the stairwell and into the front and rear rooms, or externally via the rear elevation

This leaves little option but to install exposed services, with pipework boxed out over original features and surface-mounted containment throughout.



Busy kitchenettes spoil reading of closet wing



Wiring running across openings and through walls affects the existing fabric. Subsequent modifications to the spaces make for a clash of bulkheads, details and features not in keeping with the period and heritage of the building

Consented Service Strategy

The consented proposals for 6 Denmark Street position wet services in the principal front room of the house on each of the upper floors. This creates a challenge for providing services, particularly drainage from the sink and washing machine.

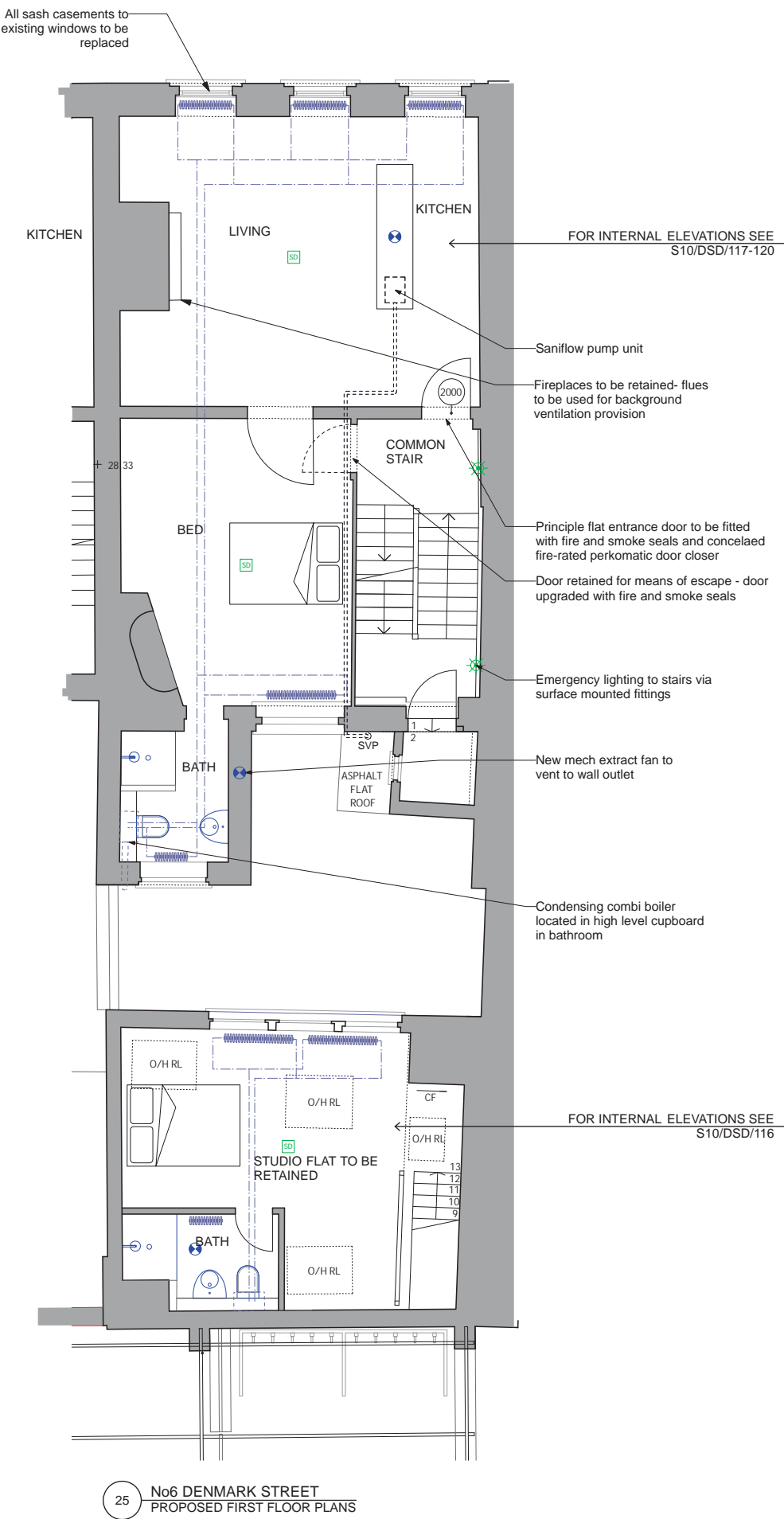
The consented scheme shows routes for drainage within the floor void, passing from the front, through the back room and out to the rear elevation. The distance of pipework required means that gravity drainage cannot be achieved due to a limited floor void. The consented scheme includes the provision of pumped foul drainage in the form of a Saniflo type pump located within the kitchen island unit.

These units, whilst having some benefits, are noisy and can become blocked - this is a particular risk in this building as the pumps will be serving kitchen sinks and food waste and grease can easily block the pumping mechanism.

The risk of water blockages and leaks is a particular concern as the fabric of the building is fragile and includes lath and plaster ceilings and cornices. Any flooding that resulted from a kitchen blockage could severely damage the plaster details, as well as the timber linings.

In terms of extract ventilation within the kitchen/living space, provision is for a recirculation hood above the oven, with background ventilation provided via the existing chimney flues.

We do not feel that this current servicing strategy offers the best long-term solution for the building, putting it at potential future risk of harm and not addressing the fundamentals of modern services.



Pumped drainage unit located beneath kitchen sink

Strategy for No. 9 Denmark Street

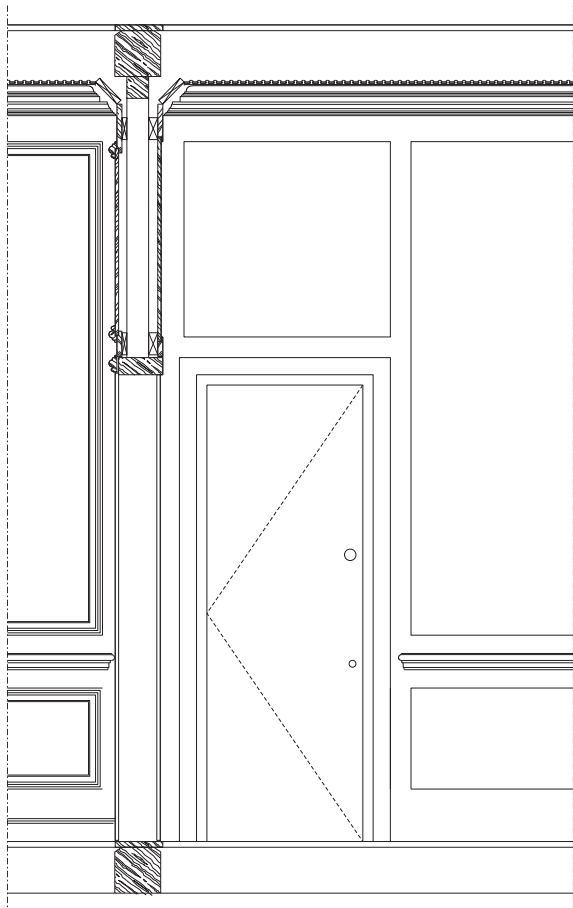
Consented under application ref: 2017/3191/L

For No.9, we have been in discussion with Camden Conservation and have agreed in principle an alternative strategy that we felt would be a more appropriate way of servicing the existing building. This approach entailed carrying out minor modifications to the partition wall that separates front and back rooms.

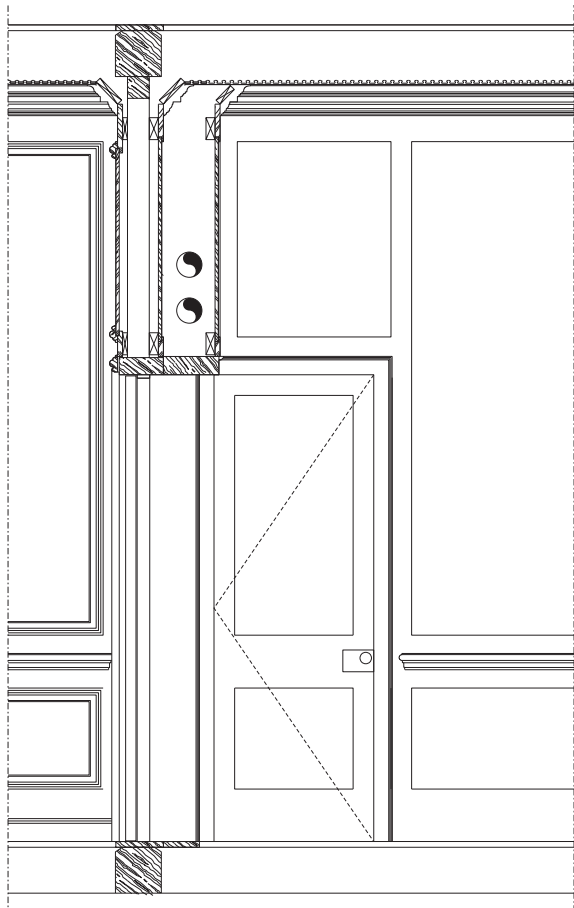
The spine wall partition is timber framed and requires structural modification to address ongoing issues of building settlement. Once structural modifications are complete and linings reinstated, we have agreed the principle of installing a new vertical distribution riser within the back room. This riser will be panelled with a high-level plaster cornice, all detailed to match existing. This riser can be installed within the upper floors of the house and allow for efficient introduction of modern servicing.

Due to the similarities in construction and short-comings of no.6 Denmark Street, we feel that this services strategy is relevant to this application and applicable here.

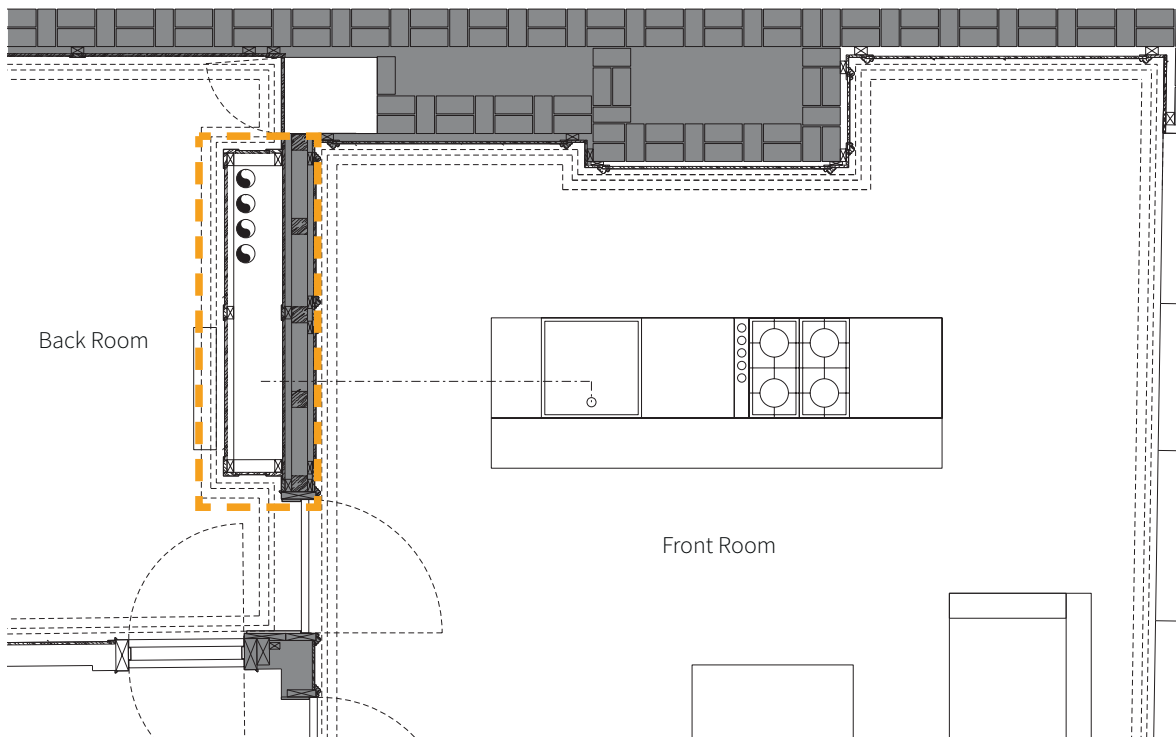
The proposal does result in some very minor harm to the panelling of the First Floor back room and the reading of the room plan, however, it was agreed that the benefit of being able to service the building and preserve it in the long term would outweigh this harm.



Existing section showing partition and panelling



Proposed section showing services zone concealed behind new panelling



Proposed plan showing services zone concealed behind existing panelling with doors and architraves reinstated

Preferred Services Strategy for No.6 Denmark Street

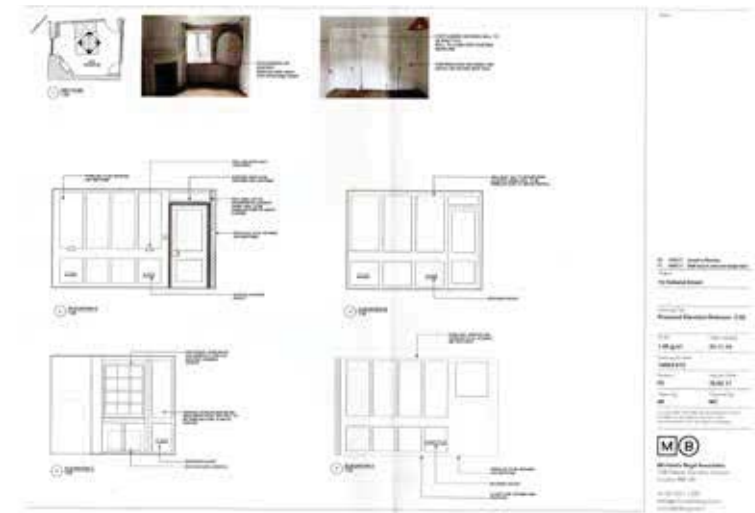
Our preferred solution, as with No.9, is creating a false spine wall. Whilst there is a small amount of harm by passing vertical pipework through existing floorboards and lath and plaster ceilings, this is kept to a minimum and allows both front and rear rooms to be serviced from a single riser. The false wall will be panelled to match existing, with a new plaster cornice. All existing panelling will be retained in-situ and any new works will be scribed into the existing, ensuring that the false wall can be removed in future and the original panelling revealed.

The structural works required to arrest the sinking of the spine wall (see accompanying Engenuiti Report) also offer an opportunity to integrate the services route in this location with minimal further intrusion to the existing building.

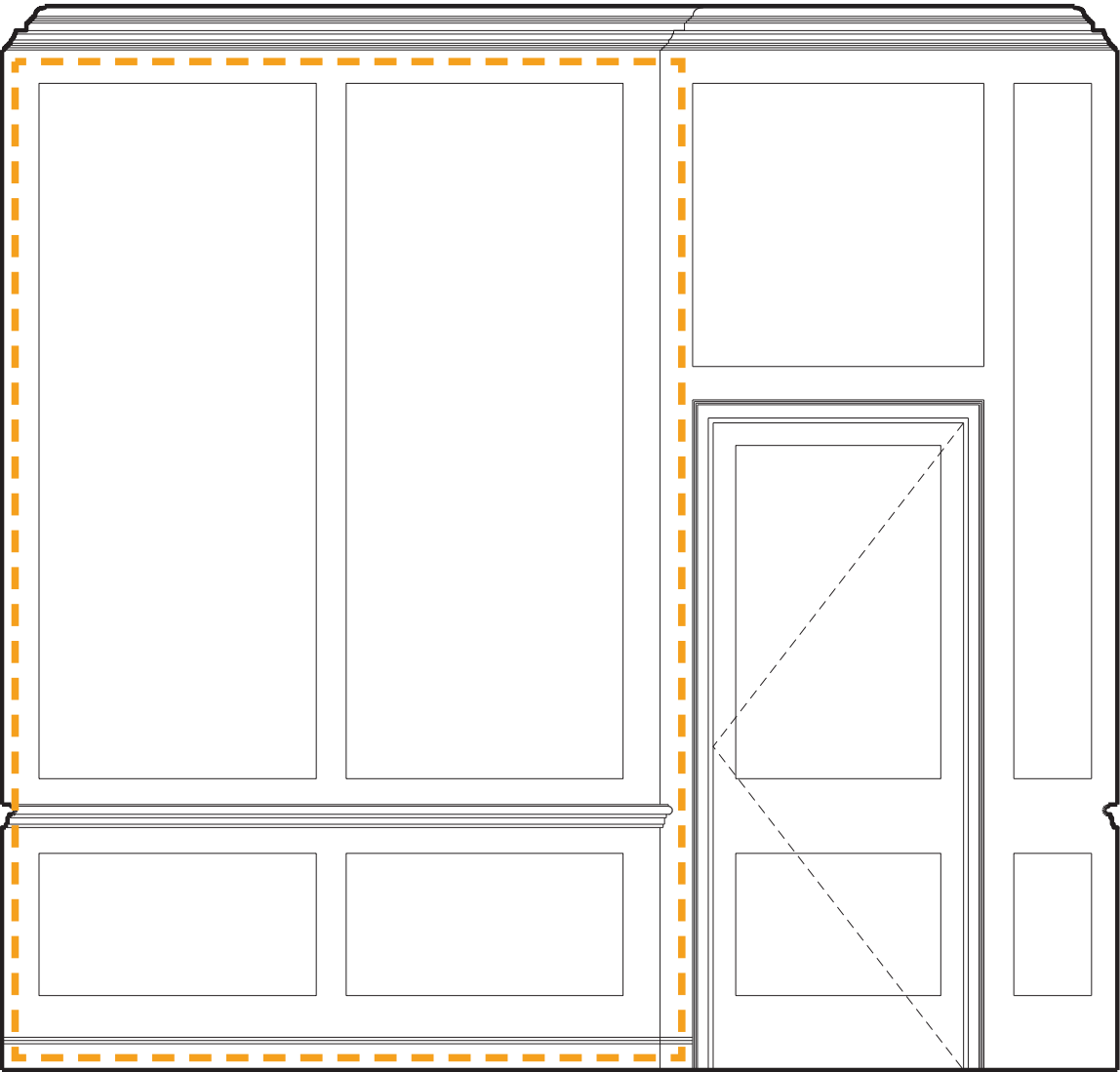
The preferred strategy has been developed in consultation with Alan Baxter Associates as Heritage Consultants and they have offered the introduction of a services riser into 16 Holland Street as a suitable precedent where this strategy has been implemented in a similar period Grade II listed Georgian townhouse.



First Floor back room - existing spine wall, large opening to front room a later modification that shall accommodate a new door and be modified to more appropriately suit the panelling



Precedent introduction of riser within Grade II listed townhouse - 16 Holland Street, W8 4LT - Michaelis Boyd Associates



Proposed elevation showing services riser, panelled to match existing. Door access remains unaffected

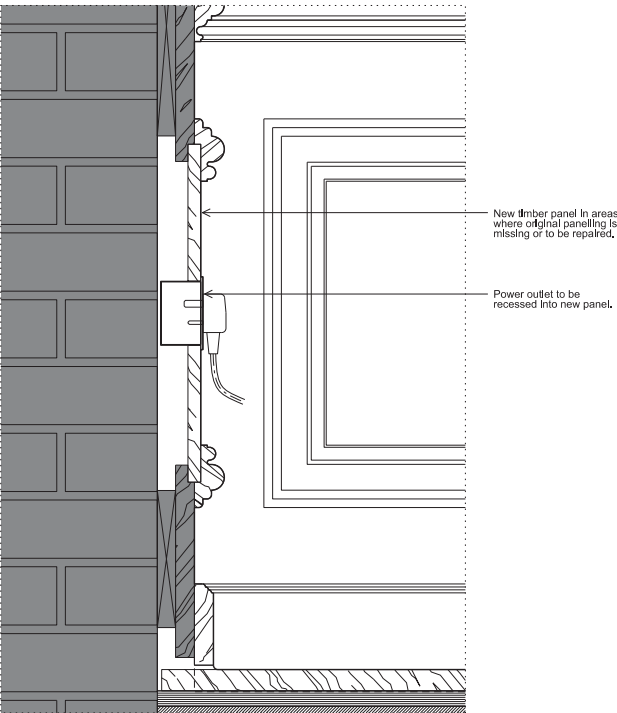
Installation of electrical sockets and switch plates

We propose two approaches to the introduction of electrical small power and lighting switch plates into the existing building.

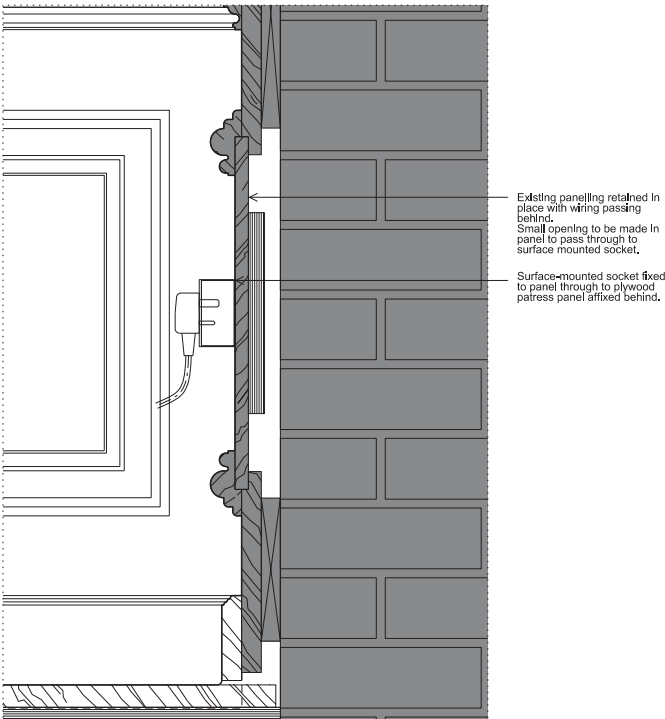
Due to the extensive panelling throughout the building, we will look to minimise switches.

Where existing panelling remains, we will either reuse locations where back-boxes have already been cut-out, or we will surface-mount units.

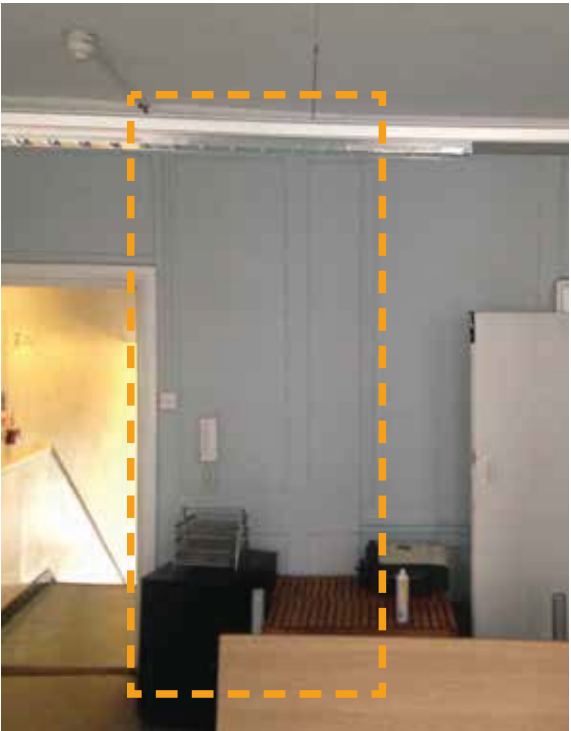
Where panelling has been damaged/lost and needs replacing, we will incorporate recessed back-boxes with flush plates into new panelling.



Recessed back-box and flush-mounted switch plate



Surface-mounted back-box and switch plate



Example of modified panelling in no. 6 Denmark Street. This panel will require replacement and offers the opportunity to incorporate flush-mounted switch plates

Example of low electrical sockets to be removed to allow repairs to skirting and panelling



Example of dado level services' cut-outs in existing panelling in no. 6 Denmark Street. Repairs will be required here while switch plates will be located somewhere less conspicuous

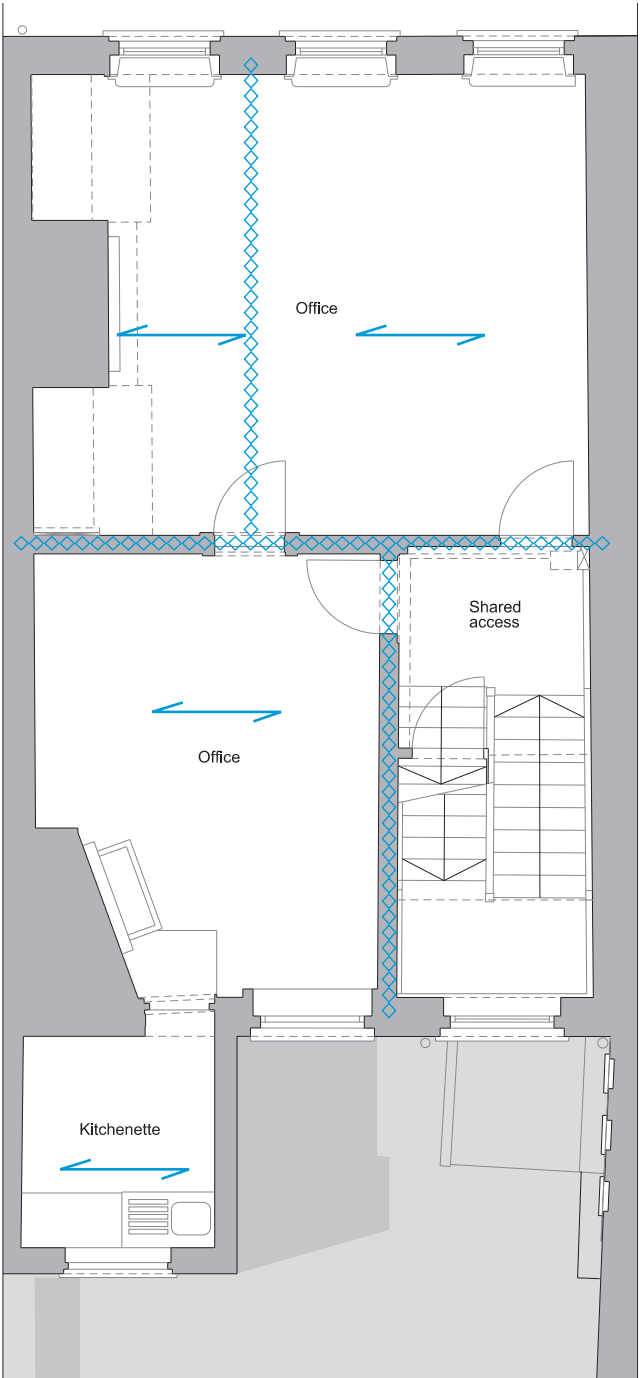
Example of fully intact panelling - surface-mounted back-box and switch plate will be required here



Structural Strategy

Currently, the structure is showing signs of failure, particularly in the stairwells. Initial inspection has uncovered historic attempts to address the continual subsidence and while improvements have been made, the problem remains.

In order to stop any further degradation a number of strengthening works will need to be undertaken. The timber spine beam, stair beam, and floor joists all require strengthening works to halt any further deflection. Each approach shall be analysed and dealt with case-by-case and outlined in Egenuiti's Structural Report, but generally, failing timber beams shall be strengthened by steel beams either side and existing timber joists shall be strengthened by a new timber joist bolted along it.



Original structural layout in need of strengthening



Landing showing signs of floor deflection



Cornice line above openings showing signs of deflection

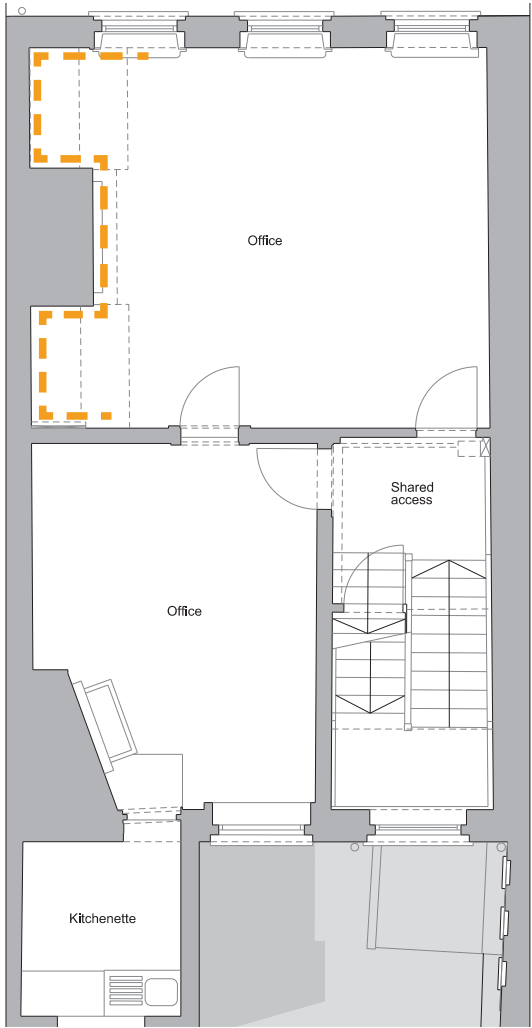
Cornice Line within Front Room

The existing cornice line has sections missing and others which are damaged. This is most likely due to the historic introduction of cupboards to the fireplace niches which have now been removed. The consequence of these modifications is an incomplete & inconsistent cornice line which harms the reading of the room

This application seeks to carefully inspect and restore the existing cornice line and to reinstate sections where it is missing in order to return the room to its historic image. We will work with a plaster specialist and take squeezes of the existing cornice to match.



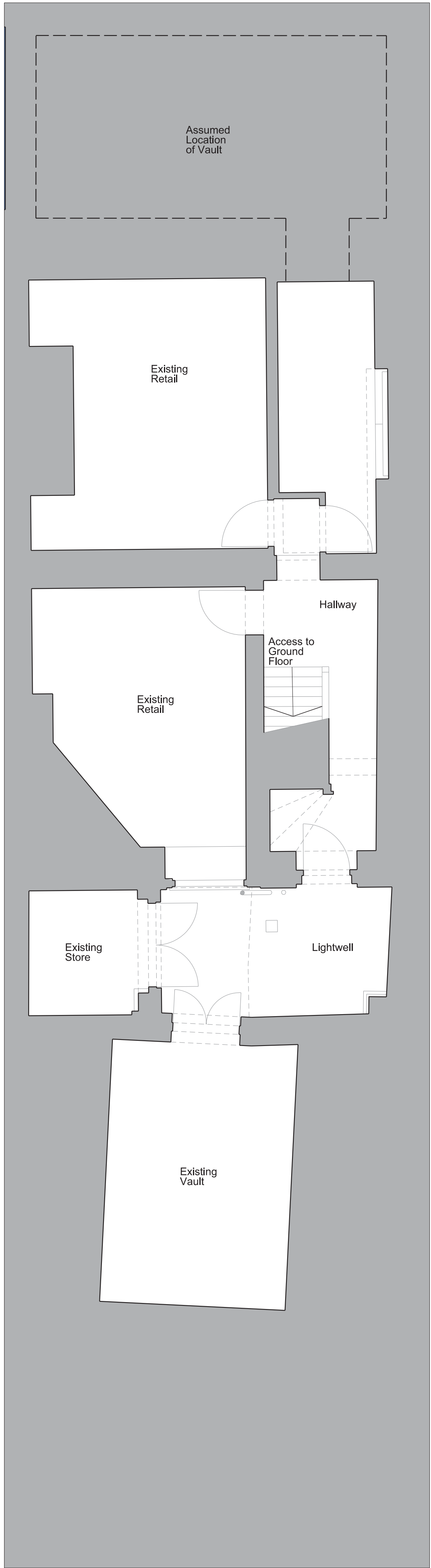
Examples of missing cornice line



Example of intact cornice



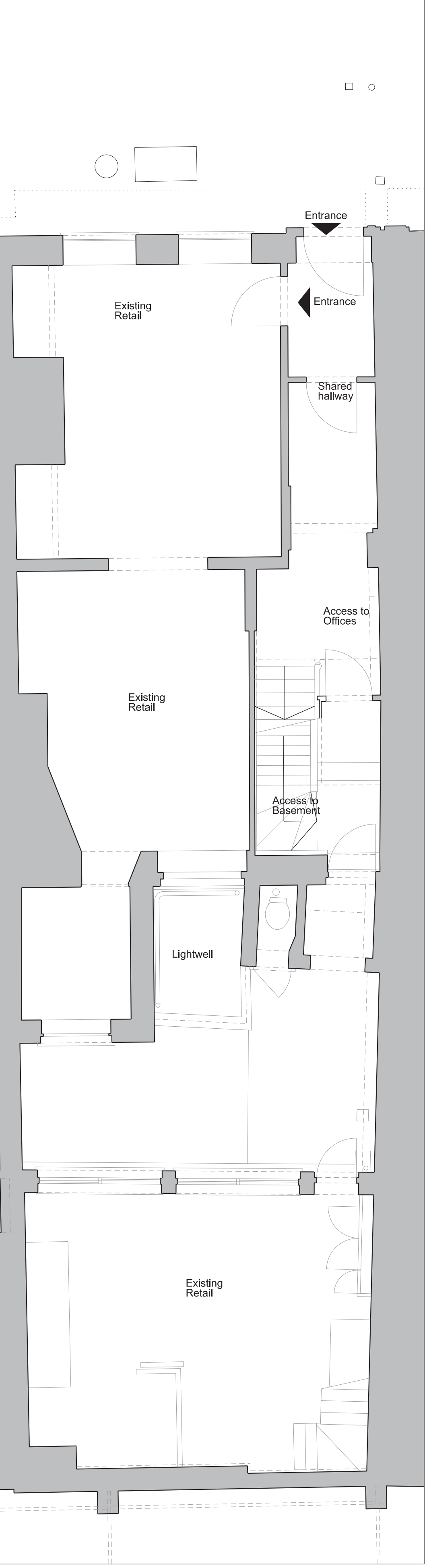
Missing cornice line above



01
6D(X)100

6 Denmark Street: Existing
Basement Plan

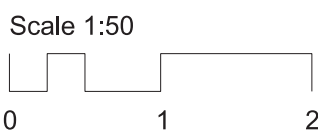
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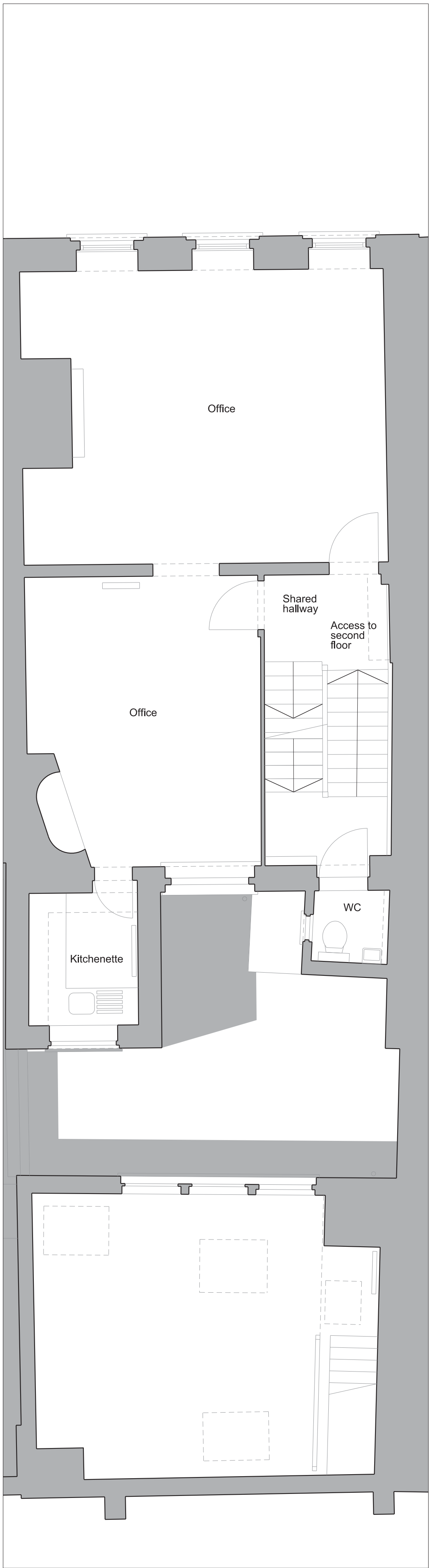
02
6D(X)100

6 Denmark Street: Existing
Ground Floor Plan

1:50



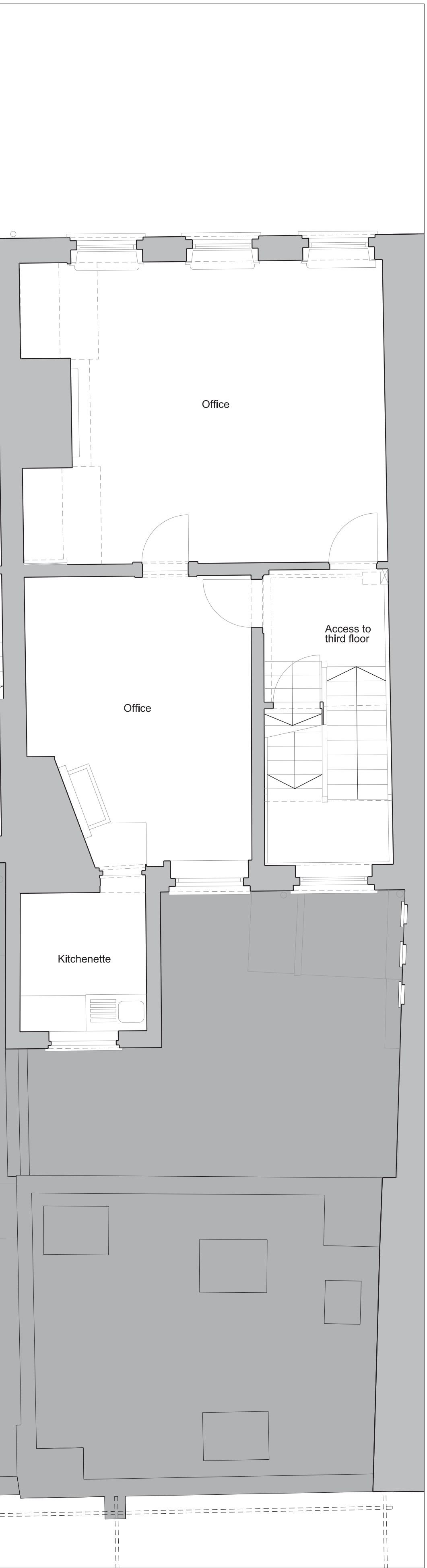
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01 Issued to LBC 26/09/17			
Client			
Consolidated Ltd.			
Project			
St. Giles Circus - Zone 3			
Drawing Title			
No 6 Denmark Street Existing Basement + Ground Floor Plan			
Drawing Number			
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Drawn by	CB	Date	01/08/14
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01
6D(X)101

6 Denmark Street: Existing
First Floor Plan

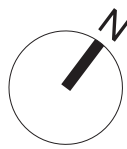
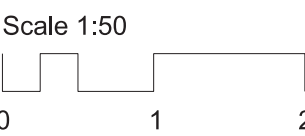
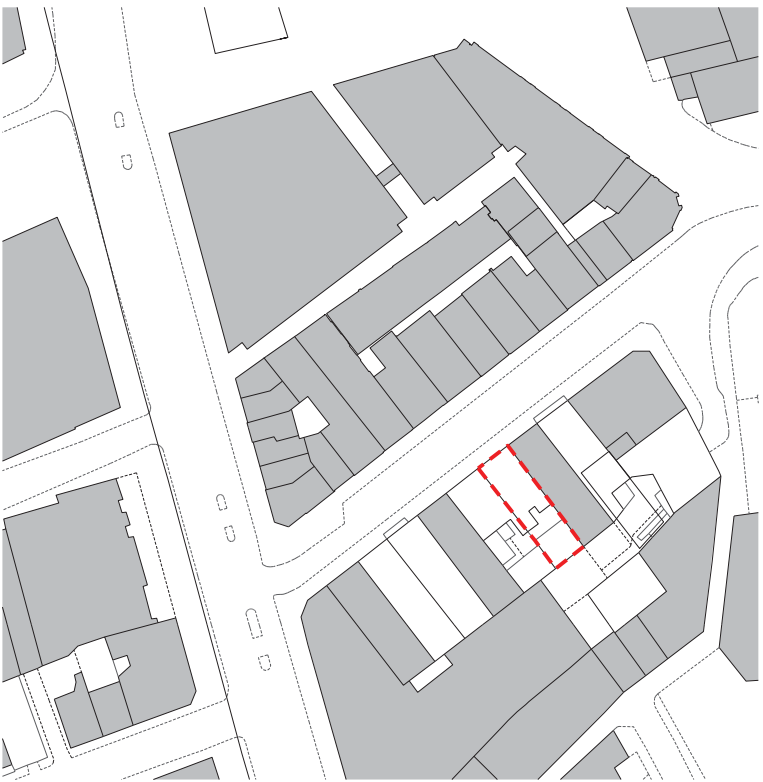
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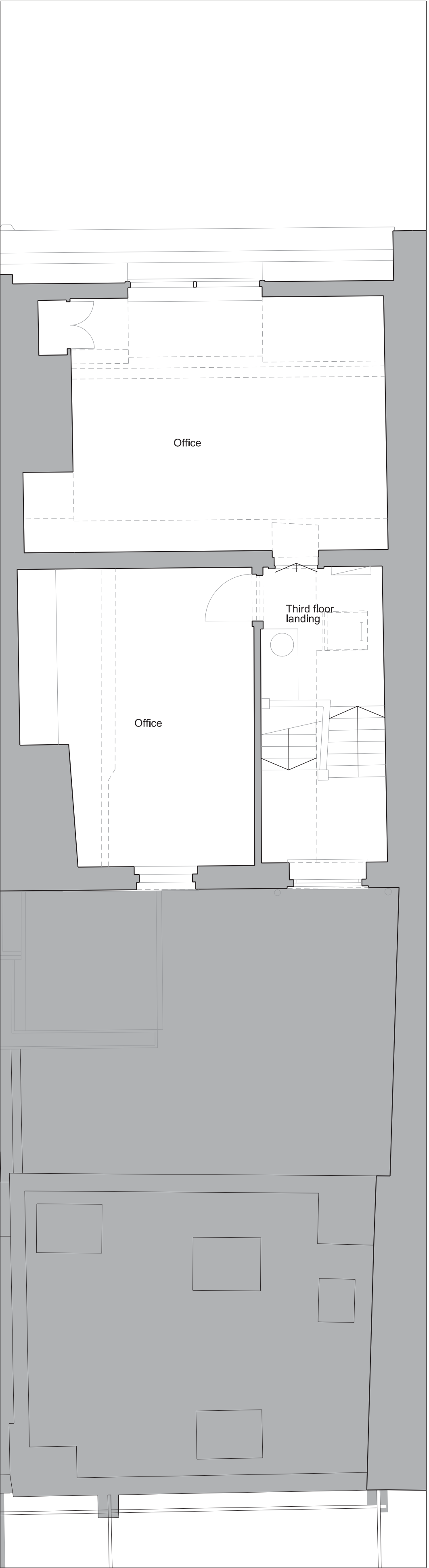
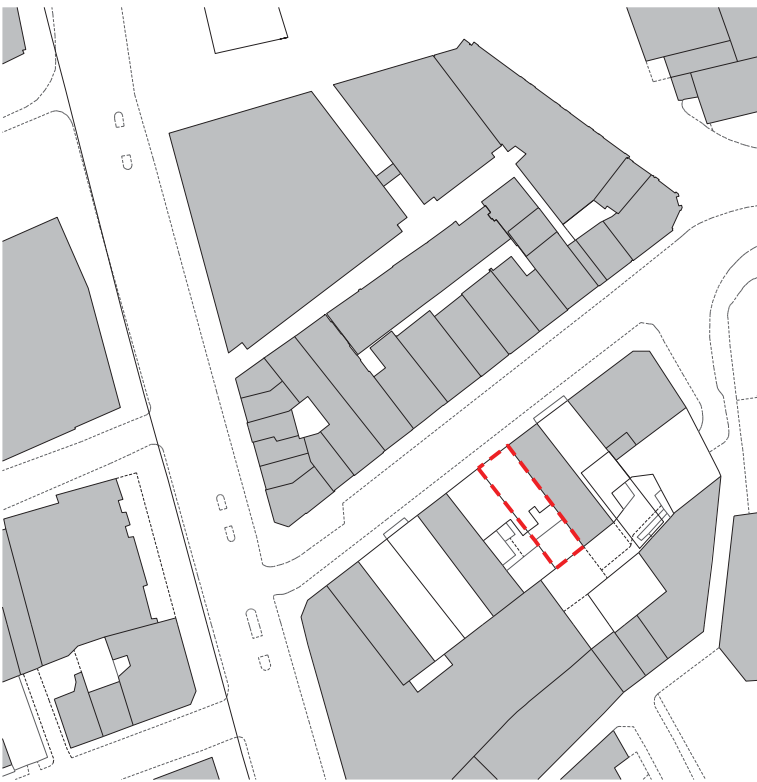
02
6D(X)101

6 Denmark Street: Existing
Second Floor Plan

1:50



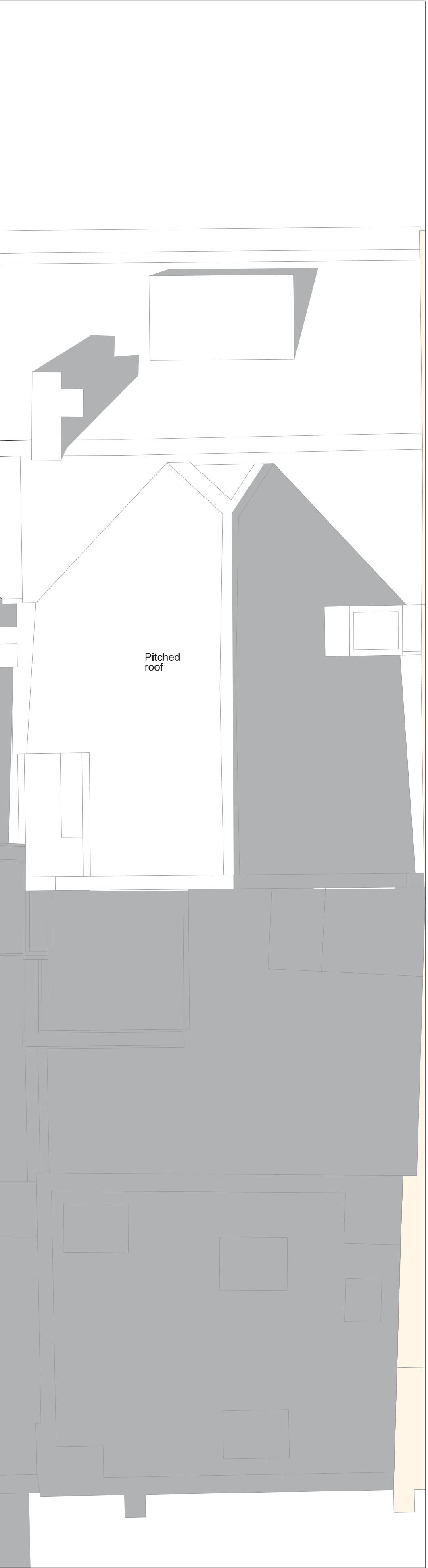
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Consolidated Ltd.			
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Drawing Number			
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01
6D(X)102

6 Denmark Street: Existing
Third Floor Plan

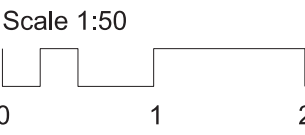
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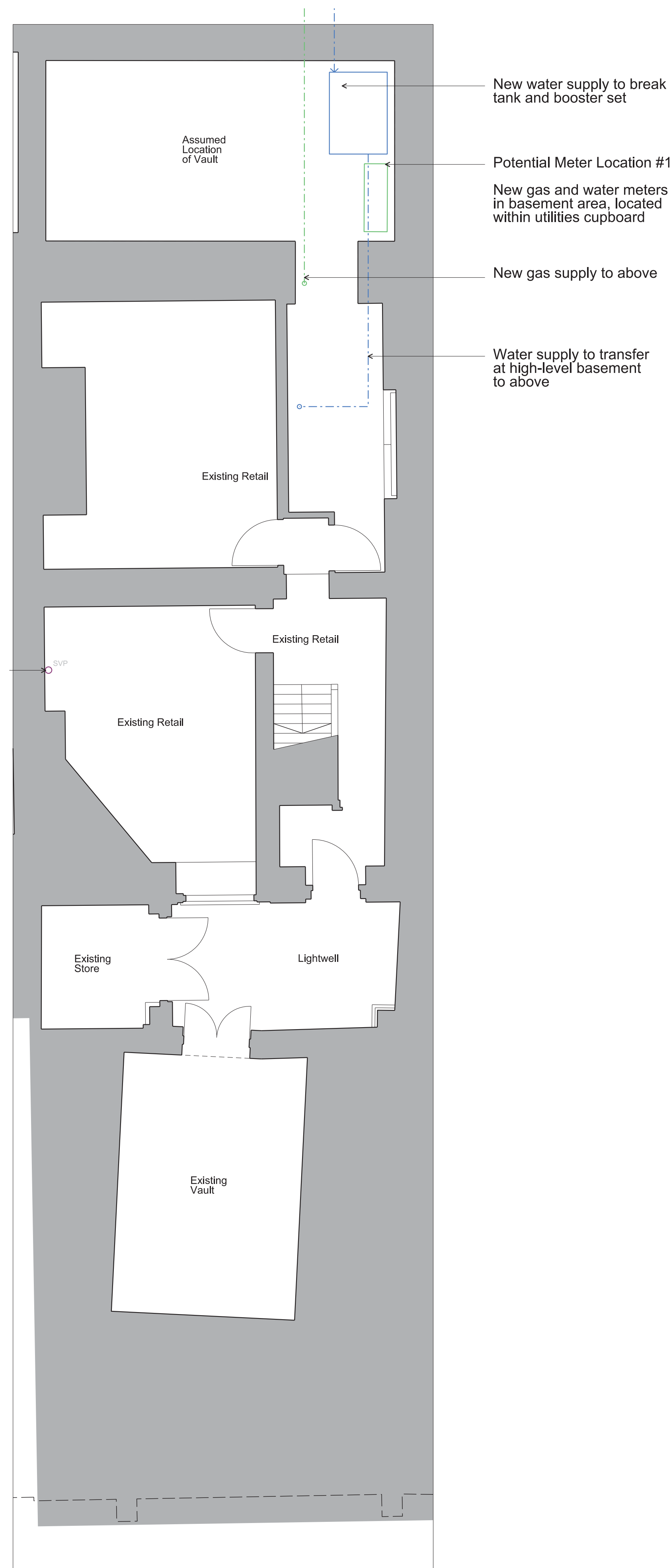
02
6D(X)102

6 Denmark Street: Existing
Roof Plan

1:50



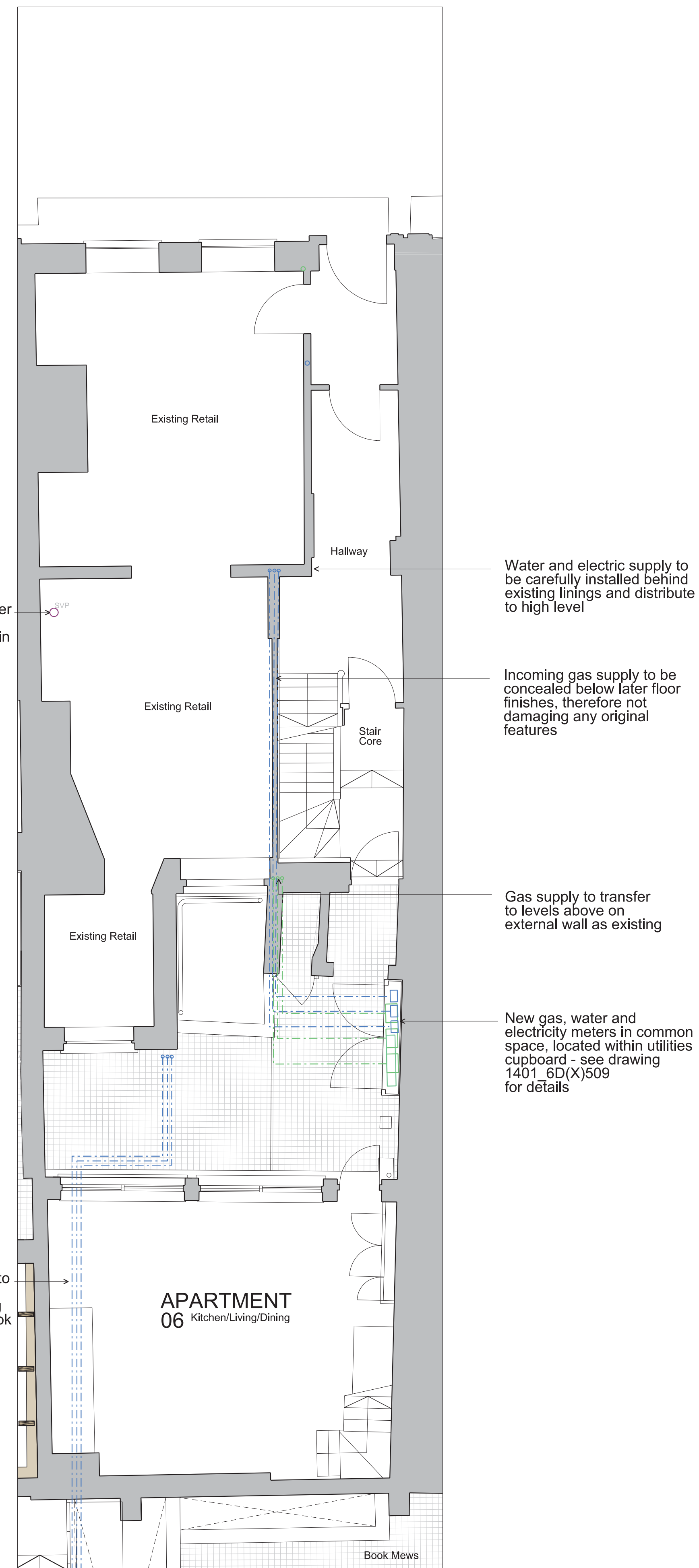
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01
6D(X)200

6 Denmark Street: Proposed
Basement Plan

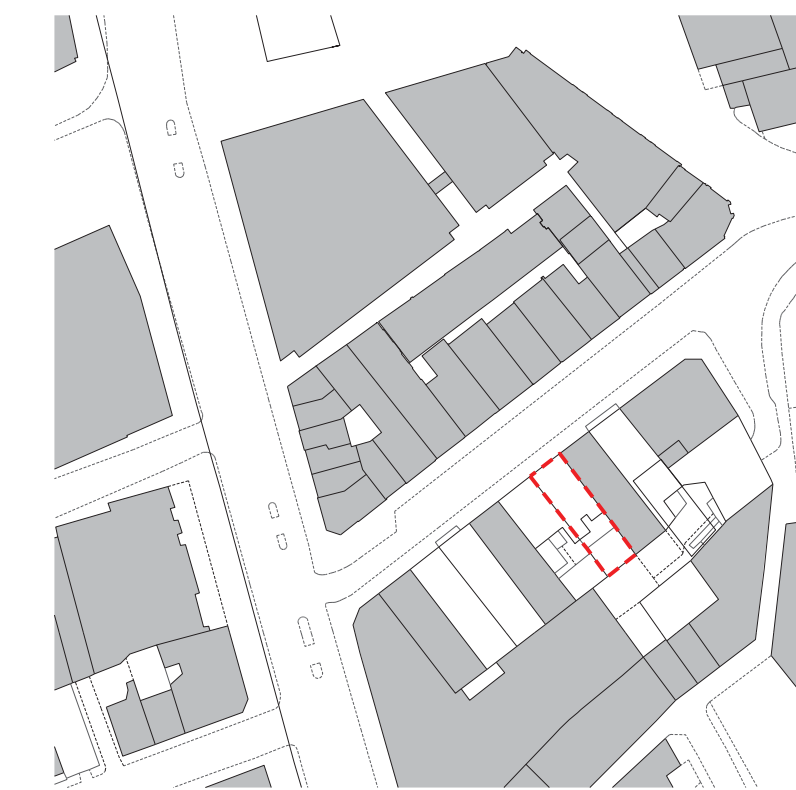
1:50



02
6D(X)200

6 Denmark Street: Proposed
Ground Floor Plan

1:50



- Services Routes:
- Electric distribution
 - Wet services distribution
 - Gas distribution
 - Drainage
 - Ventilation

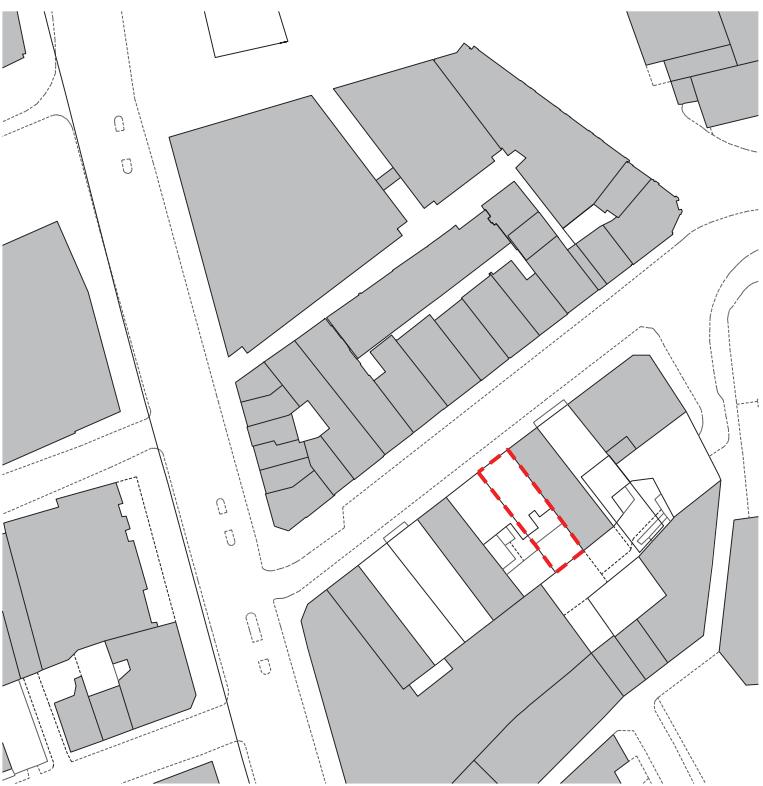
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Drawing Title			
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Drawing Number			
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- Services Routes:
- Electric distribution
 - Wet services distribution
 - Gas distribution
 - Drainage
 - Ventilation

Scale 1:50

0 1 2



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Drawing Title			
No 6 Denmark Street Proposed Services Routes First + Second Floor Plan			
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Heating flow and return pipework to transfer within floor build up

Recirculation extract integrated into kitchen counter

Extract to kitchen concealed in trickle vent-type slot detail above bolection moulding

Drainage and ventilation to transfer in new spine wall riser. See 1401_6D(X)505 for details

New boiler to be concealed within cupboard within closet wing

Flow and return ventilation pipework to run externally

APARTMENT 07 Kitchen/Living/Dining

Water and electric supply to be carefully concealed within existing partition - panelling to be carefully lifted to allow for installation of services and subsequently reinstated

3 no. gas pipes from below, offset over roof - to be concealed in cast metal rainwater pipework - painted

Bathroom extract vent within ceiling - terminates to outside

APARTMENT 06 Bedroom

Heating flow and return pipework to transfer within floor build up

Recirculation extract integrated into kitchen counter

Extract to kitchen concealed in trickle vent-type slot detail above panel moulding

Drainage and ventilation to transfer in new spine wall riser. See 1401_6D(X)505 for details

New boiler to be concealed within cupboard within closet wing

Flow and return ventilation pipework runs on external wall

APARTMENT 08 Kitchen/Living/Dining

Water and electric supply to be carefully concealed within existing partition - panelling to be carefully lifted to allow for installation of services and subsequently reinstated

2 no. gas pipes from below- to be concealed in cast metal rainwater pipework - painted

Bathroom extract vent within ceiling - terminates to outside

01
6D(X)201

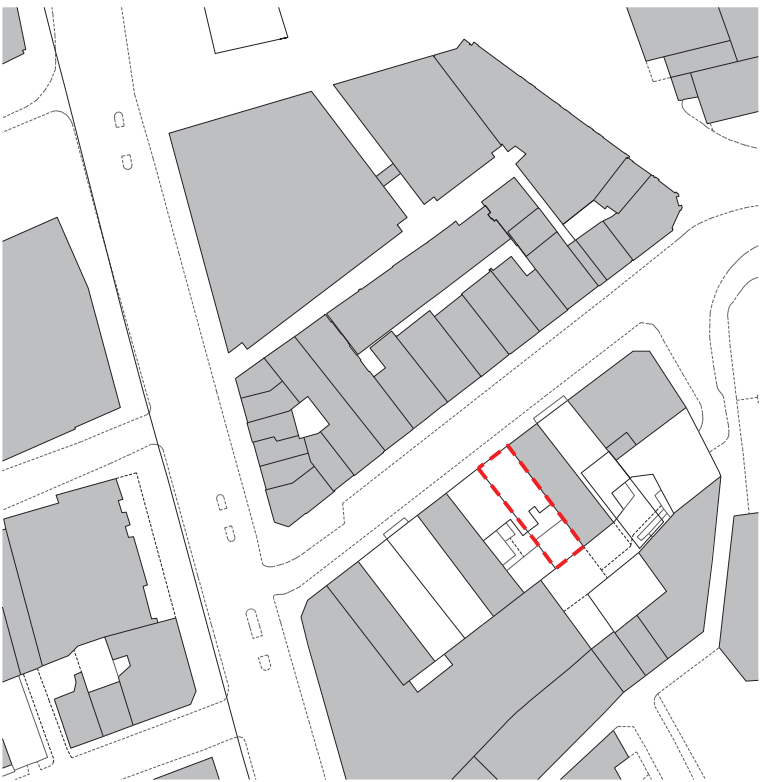
6 Denmark Street: Proposed
First Floor Plan

1:50

02
6D(X)201

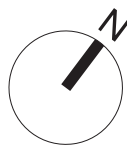
6 Denmark Street: Proposed
Second Floor Plan

1:50



- Services Routes:
- Electric distribution
 - Wet services distribution
 - Gas distribution
 - Drainage
 - Ventilation

Scale 1:50



Revisions			
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Client			
Consolidated Ltd.			
Project			
St. Giles Circus - Zone 3			
Drawing Title			
No 6 Denmark Street Proposed Services Routes Third Floor + Roof Plan			
Drawing Number			
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Heating flow and return pipework to transfer within floor build up

Recirculation extract integrated into kitchen counter

Extract to kitchen concealed in trickle vent-type slot detail

New boiler to be concealed within cupboard within closet wing

APARTMENT 09 Kitchen/Living/Dining

En-suite

Bedroom

Stair Core

Water and electric supply to be carefully concealed within existing partition - panelling to be carefully lifted to allow for installation of services and subsequently reinstated

1 no. gas pipes from below, transfer at low-level within floor - to be concealed in cast metal rainwater pipework - painted

Extract ducts to terminate with inline tiled in vents

SVP

01
6D(X)202

6 Denmark Street: Proposed
Third Floor Plan

1:50

02
6D(X)202

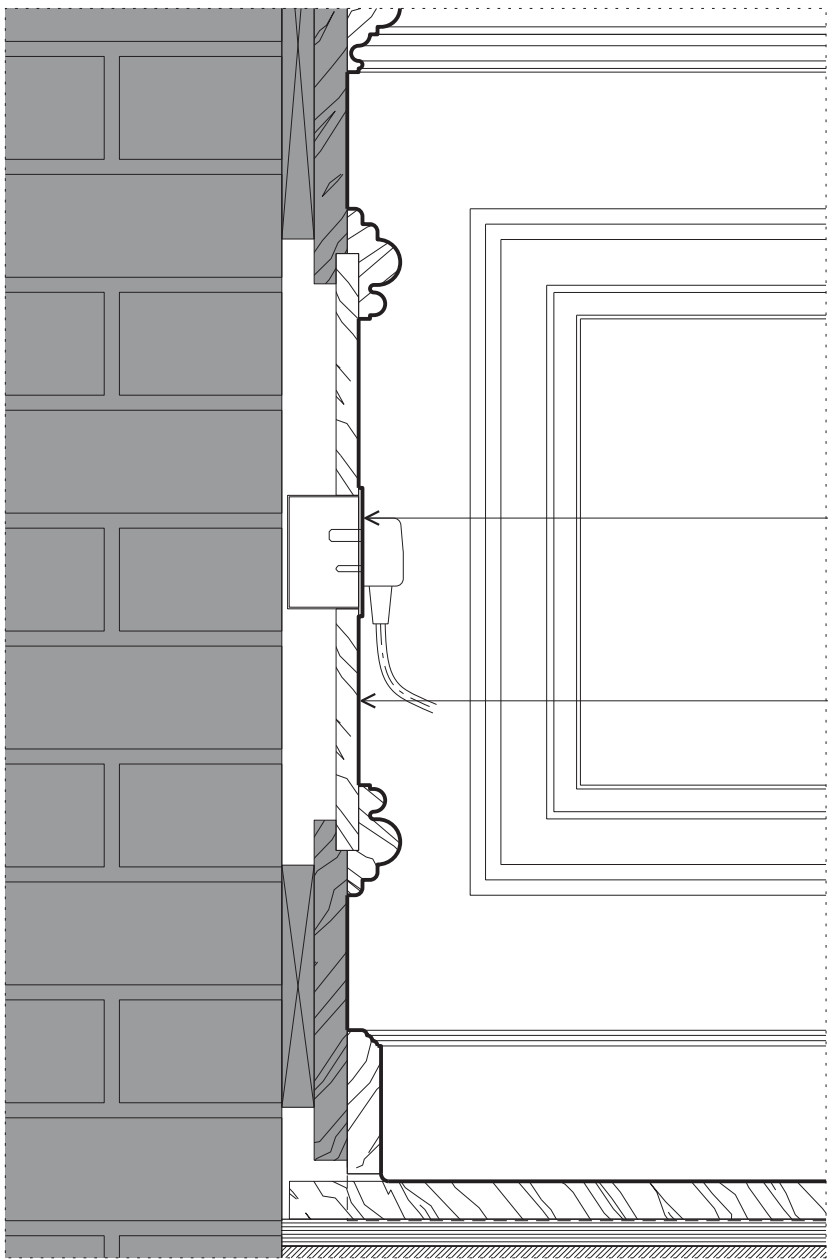
6 Denmark Street: Proposed
Roof Plan

1:50

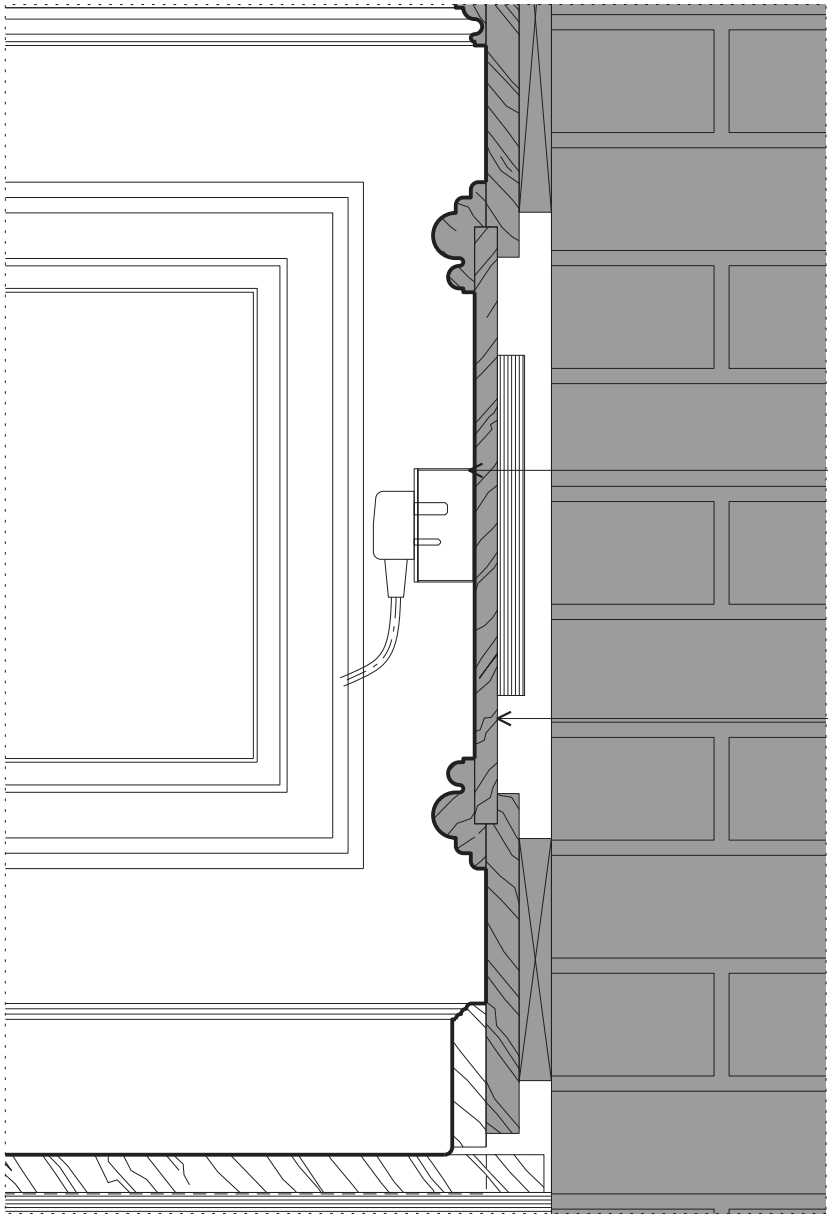
Note- Where existing power outlets are provided at low level on skirting, outlet to be removed and skirting repaired.



01
X_500 Condition 1 - Retained existing panelling. 1:5



02
X_500 Power Outlet Condition 1 Recessed outlet in new/replaced panel 1:5



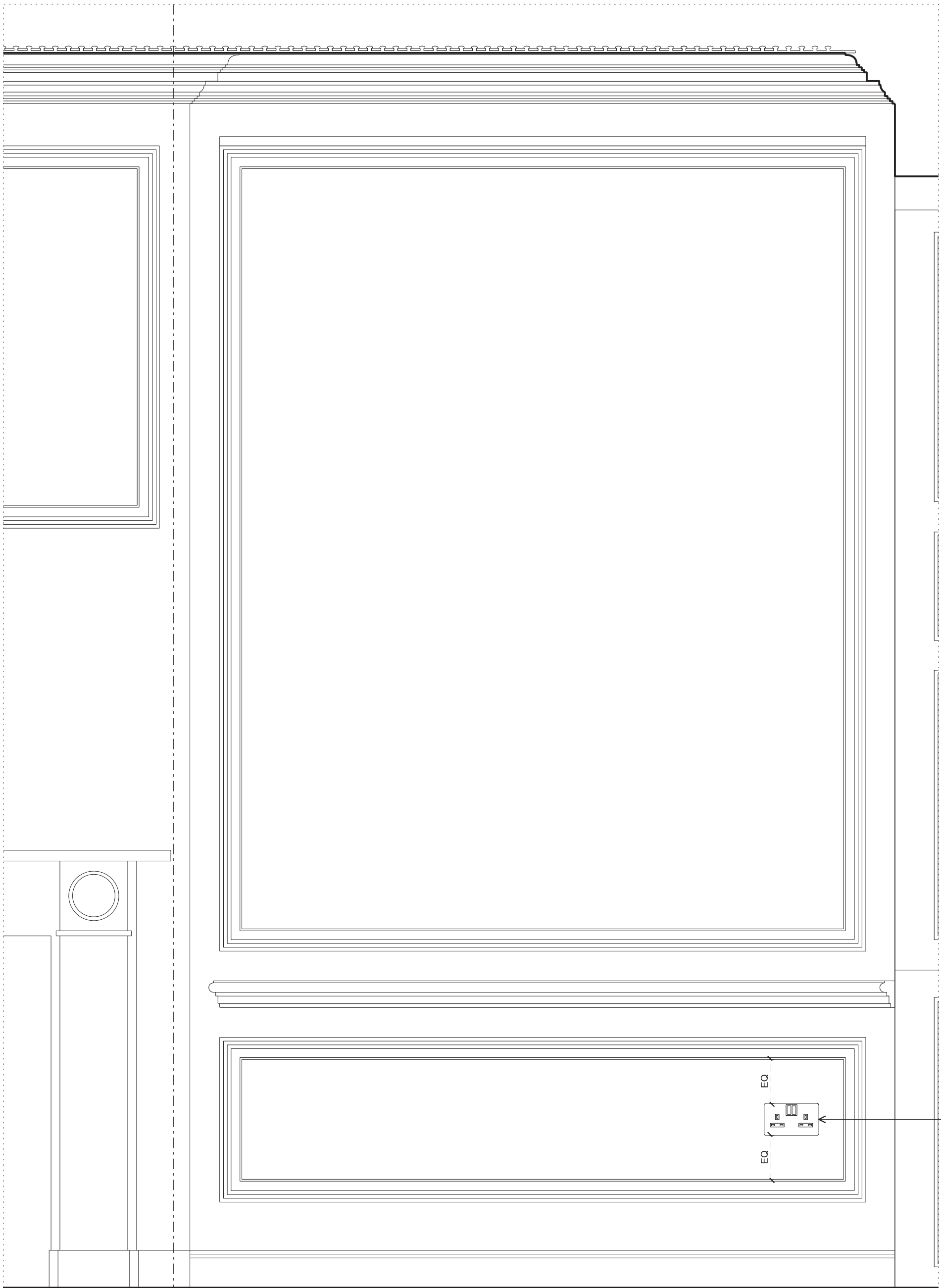
03
X_500 Power Outlet Condition 2 Surface mounted power outlet to existing panelling 1:5

Power outlet to be recessed into new panel.

New timber panel in areas where original panelling is missing or to be repaired.

Surface-mounted socket fixed to panel through to plywood patress panel affixed behind.

Existing panelling retained in place with wiring passing behind. Small opening to be made in panel to pass through to surface mounted socket.



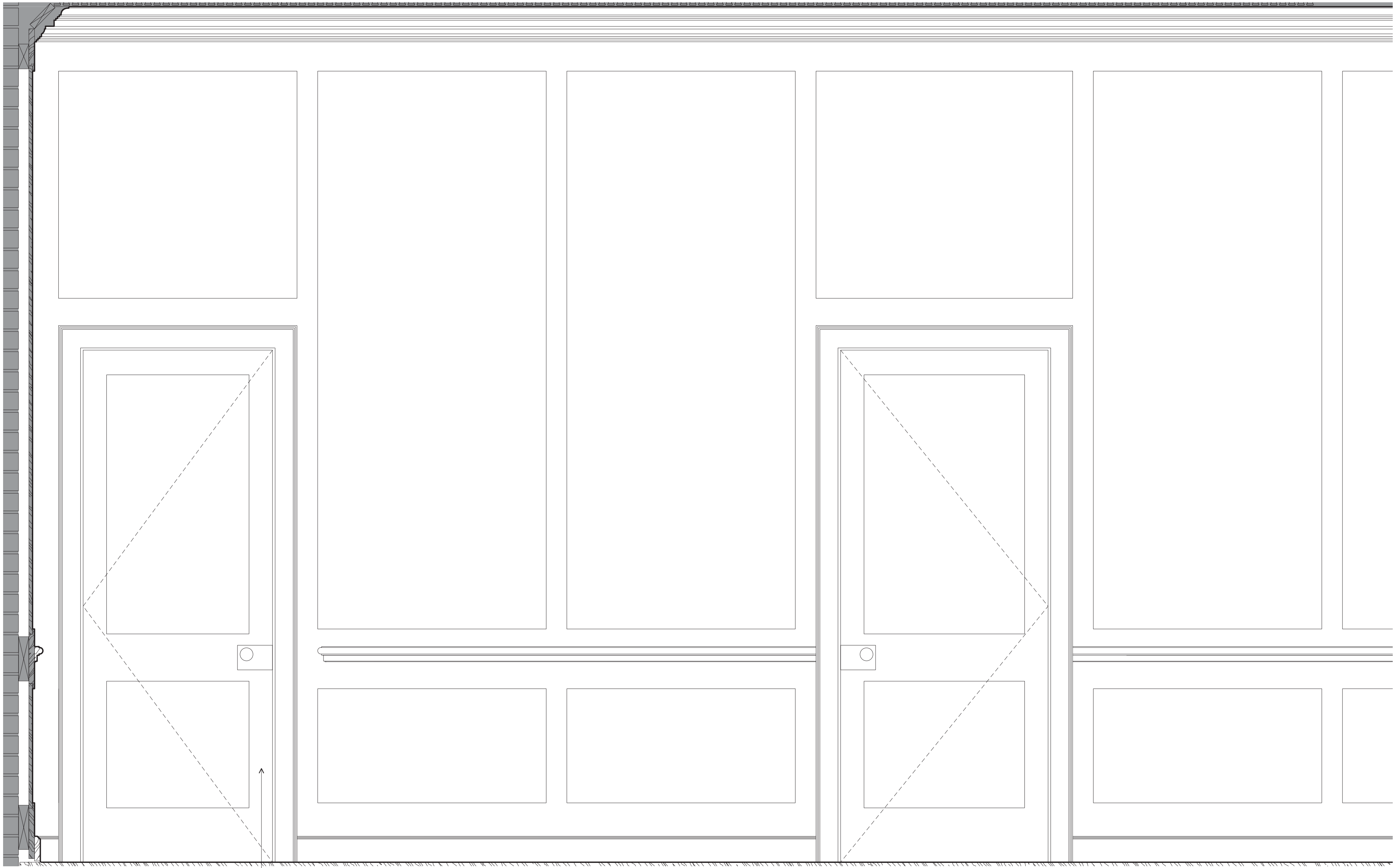
04
X_500 Power Outlet Condition 2 Elevation 1:10

Socket to align centrally in existing lower panel.



Scale 1:5
0 0.1 0.2 Metres

Revisions			
01	Issued to LBC	26/09/17	
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Project			
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Drawing Title			
6 Denmark Street Proposed Services Details Electrical Outlet			
Drawing Number			
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Drawn by	NB	Date	21.09.2017
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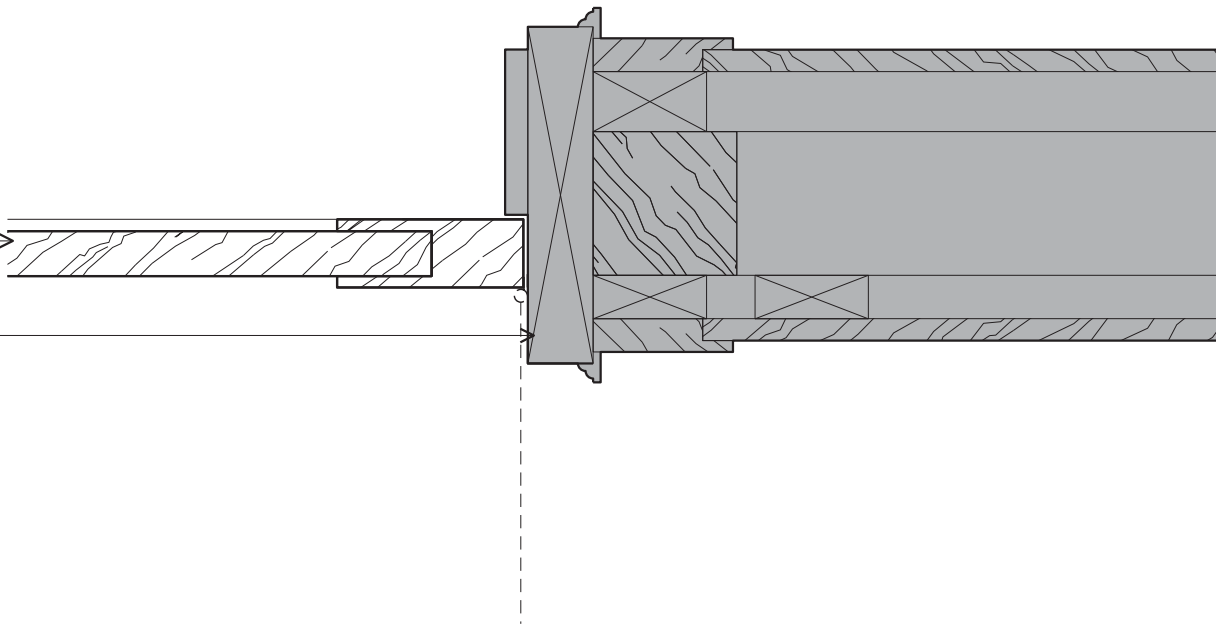


01
X_501 Proposed Door Elevation
Second Floor Rear wall 1:10

Existing openings to
be fitted with 2
panelled doors to
match existing second
floor condition

New 2 panelled solid core door in existing opening

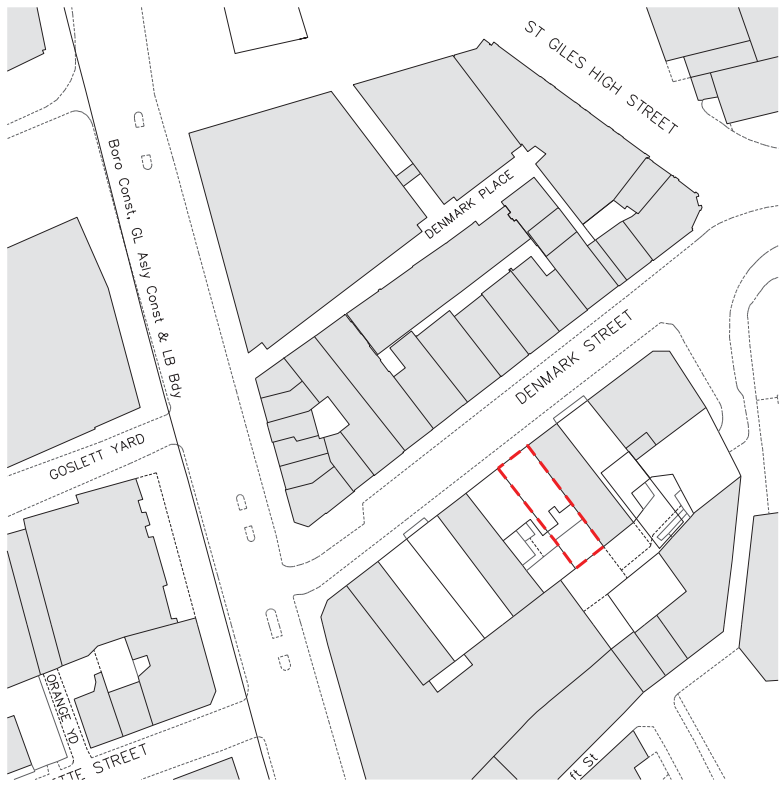
Existing frame and architrave retained/repaired
where necessary



02
X_501 Proposed Typical Door Detail
Plan Detail 1:5

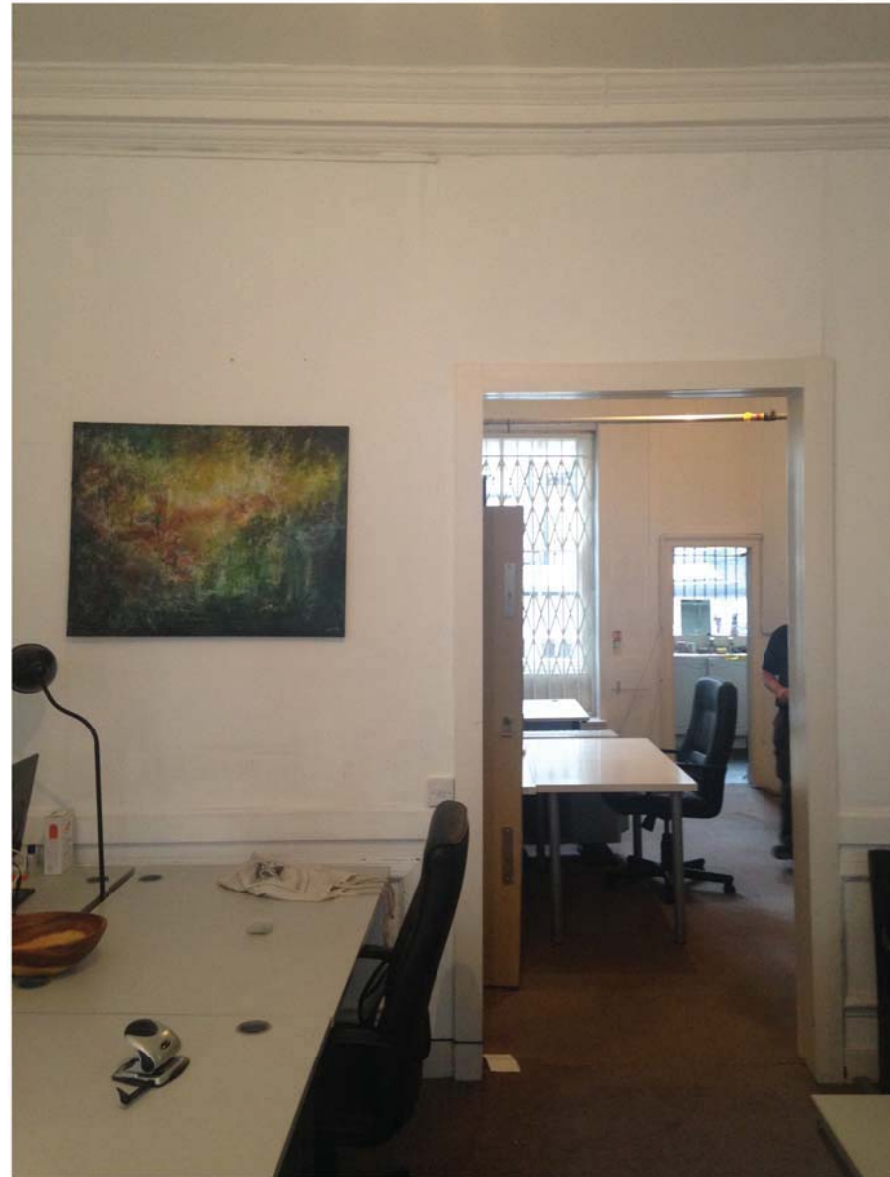


03
X_501 Existing Elevation and modified doors on second floor
Photograph

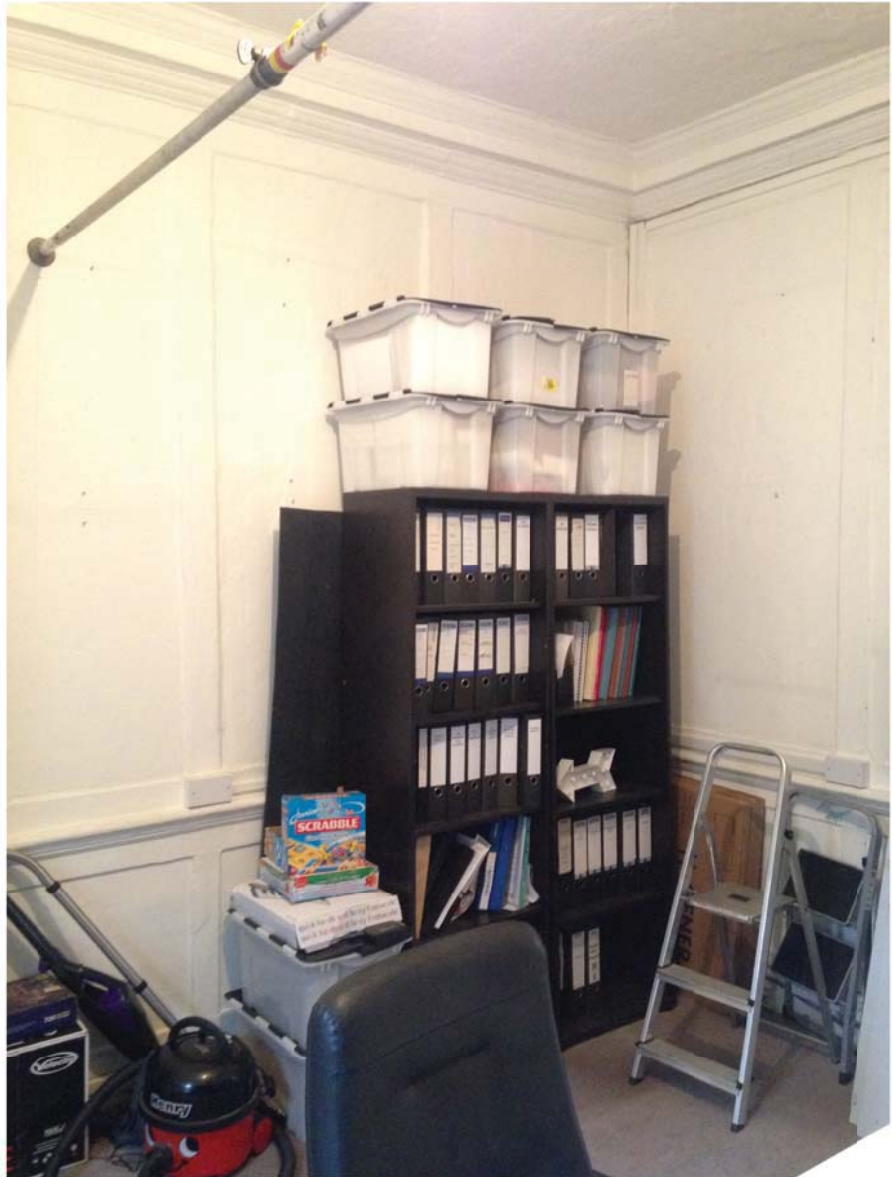


Scale 1:5
0 0.1 0.2 Metres

Revisions			
01 Issued to LBC 26/09/17			
Client			
Consolidated Ltd.			
Project			
St. Giles Circus - Zone 3			
Drawing Title			
6 Denmark Street Proposed Door Details			
Drawing Number			
1401_6D(X)501			
Scale	VARIOUS@A1	Status	APPROVAL
Drawn by	NB	Date	21.09.2017
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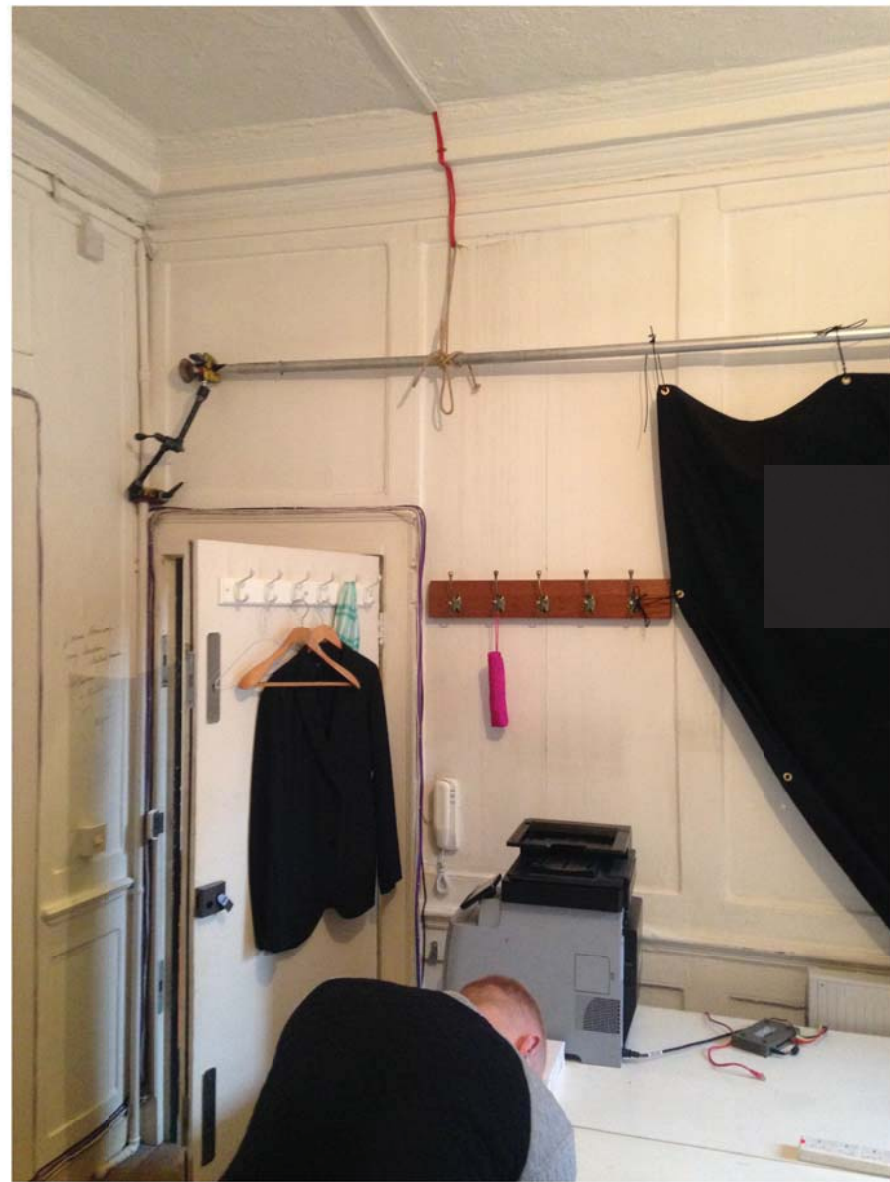
01
X_502 Existing Condition First Floor Front Room
Original Panelling and dado removed previously - to be recreated



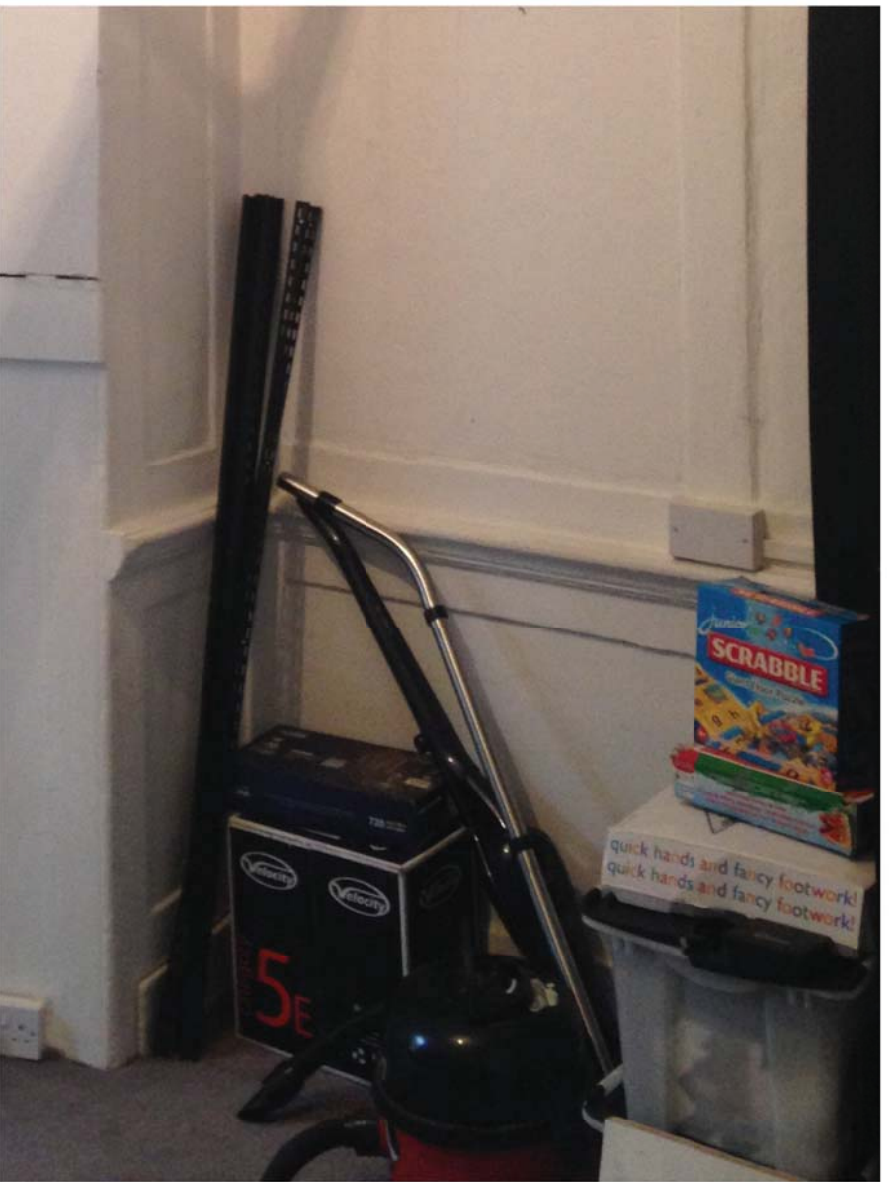
02
X_502 Existing Condition First Floor Rear Room
Original Panelling mostly intact - to be retained and repaired



03
X_502 Existing Dado Images
Condition 1 - Front Room



04
X_502 Existing Dado Images
Condition 2 - Rear Room. Mostly intact

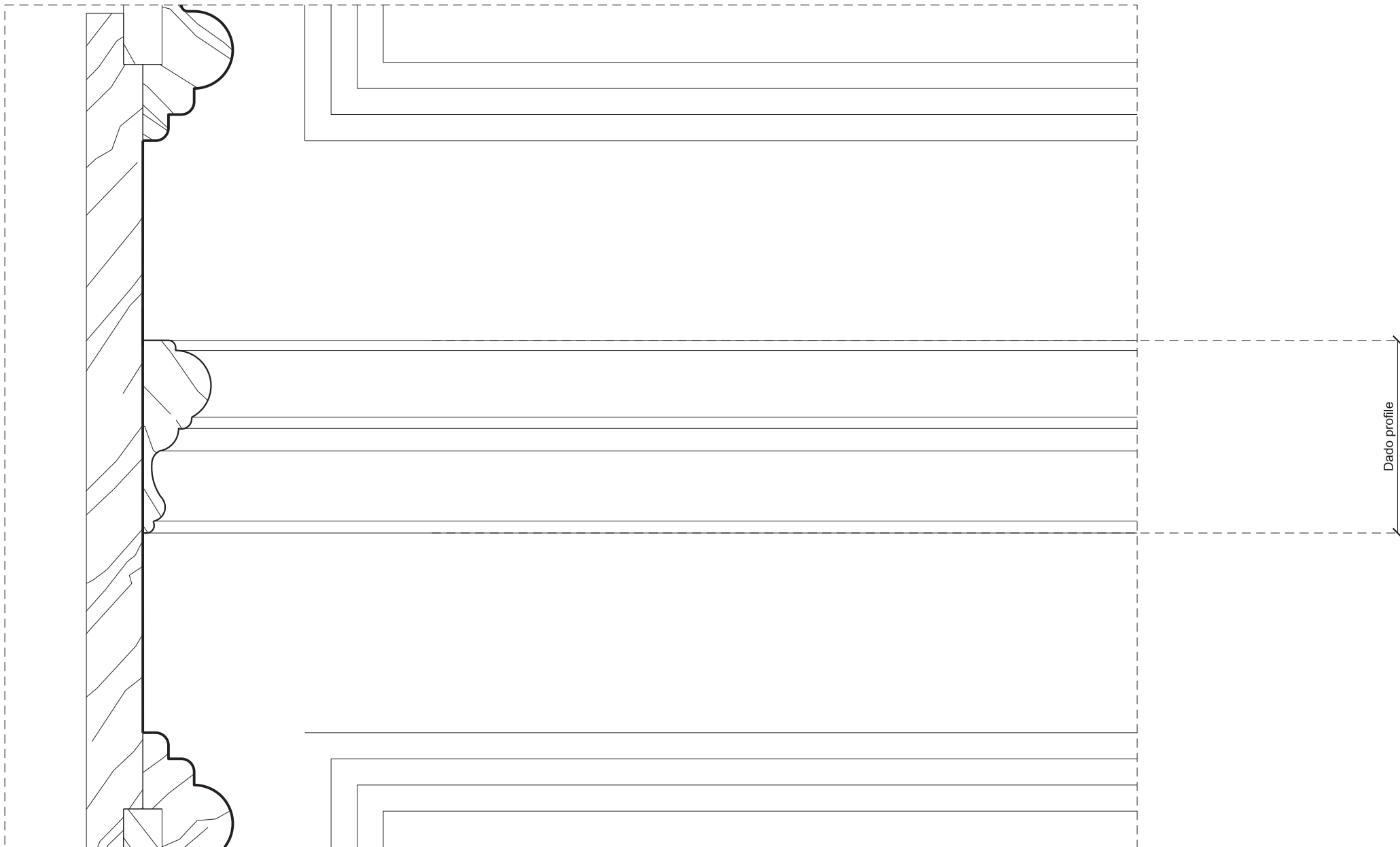


05
X_502 Existing Dado Images
Condition 2 - Rear Room

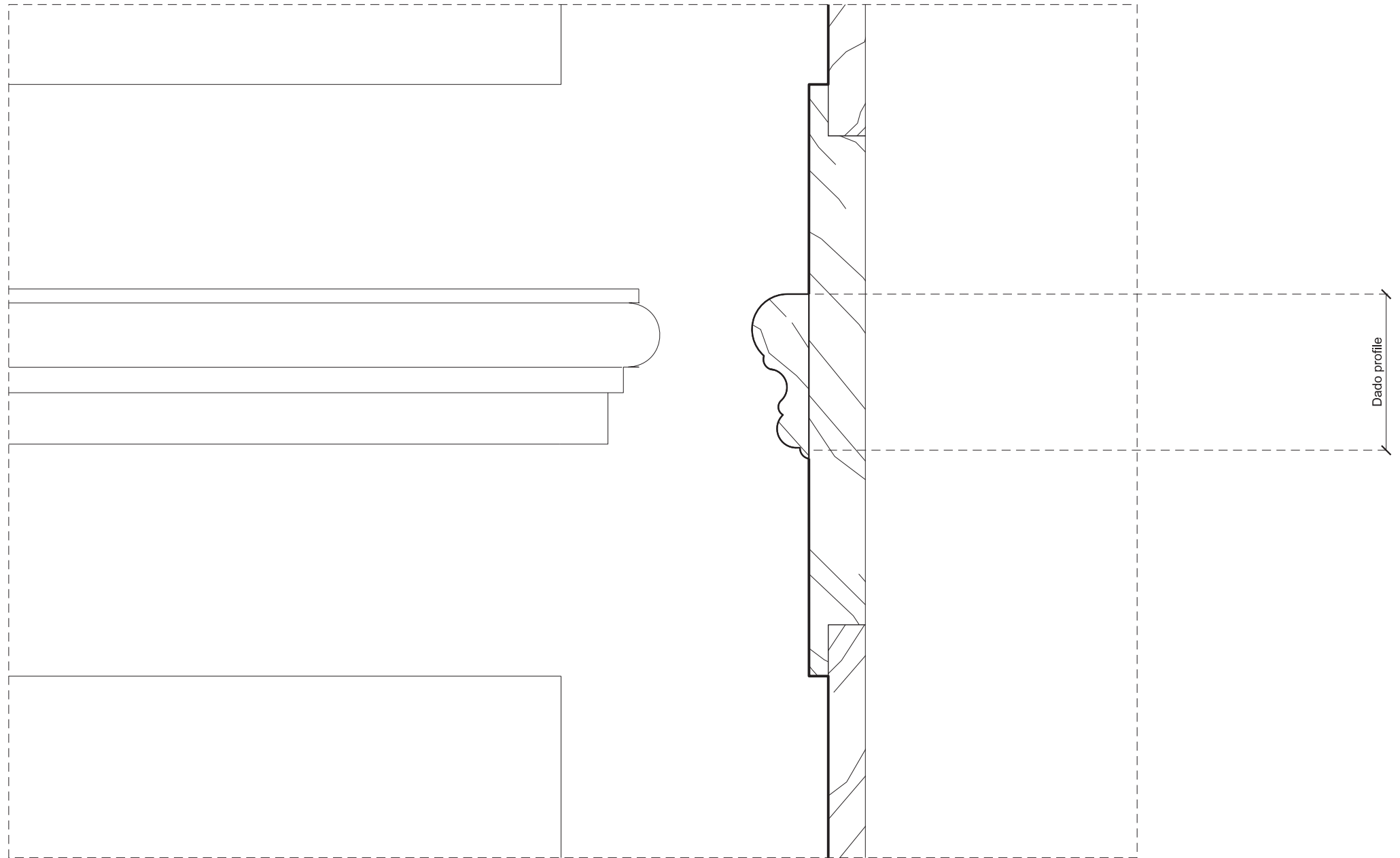
NOTE:

All instances of damaged or missing dado rails are to be repaired and reinstated in accordance to the details below

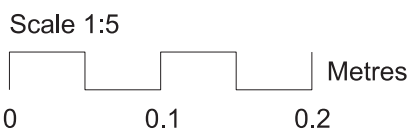
Front rooms have a more ornate profile to match the original, while rear rooms have simpler sections of dado



06
X_502 Existing Dado profile to be used for repair and replacement
Condition 1 - Front Room 1:5



07
X_502 Existing Dado profile to be used for repair and replacement
Condition 2 - Rear Room 1:5



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St. Giles Circus - Zone 3			
Drawing Title			
6 Denmark Street Proposed Dado Repair Details			
Drawing Number			
1401_6D(X)502			
Scale	VARIOUS@A1	Status	APPROVAL
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01
X_505 Existing Internal Elevation
First Floor - Spine wall, back room

New plaster
cornice - profile
to match existing

New riser with
panelling and
dado detail to
match existing.
To be scribed
into existing to
allow for later
removal

New
two-panelled
door and
reinstated
architrave to
match
existing

02
X_505 Proposed Internal Elevation
First Floor - Spine wall, back room - showing typical riser installation

1:10

Scale 1:5
0 0.1 0.2 Metres

Indicative location of
vertical services distribution

New riser with panelling and
dado detail to match existing.
To be scribed into existing to
allow for later removal

New
two-panelled
door and
reinstated
architrave to
match
existing

Existing
frame to be
left exposed
to allow for
legibility of
existing
panels.
New riser
panelling to
be inset
and scribed
into existing

03
X_505 Proposed Typical Riser to Spine Wall
Plan Detail

1:5



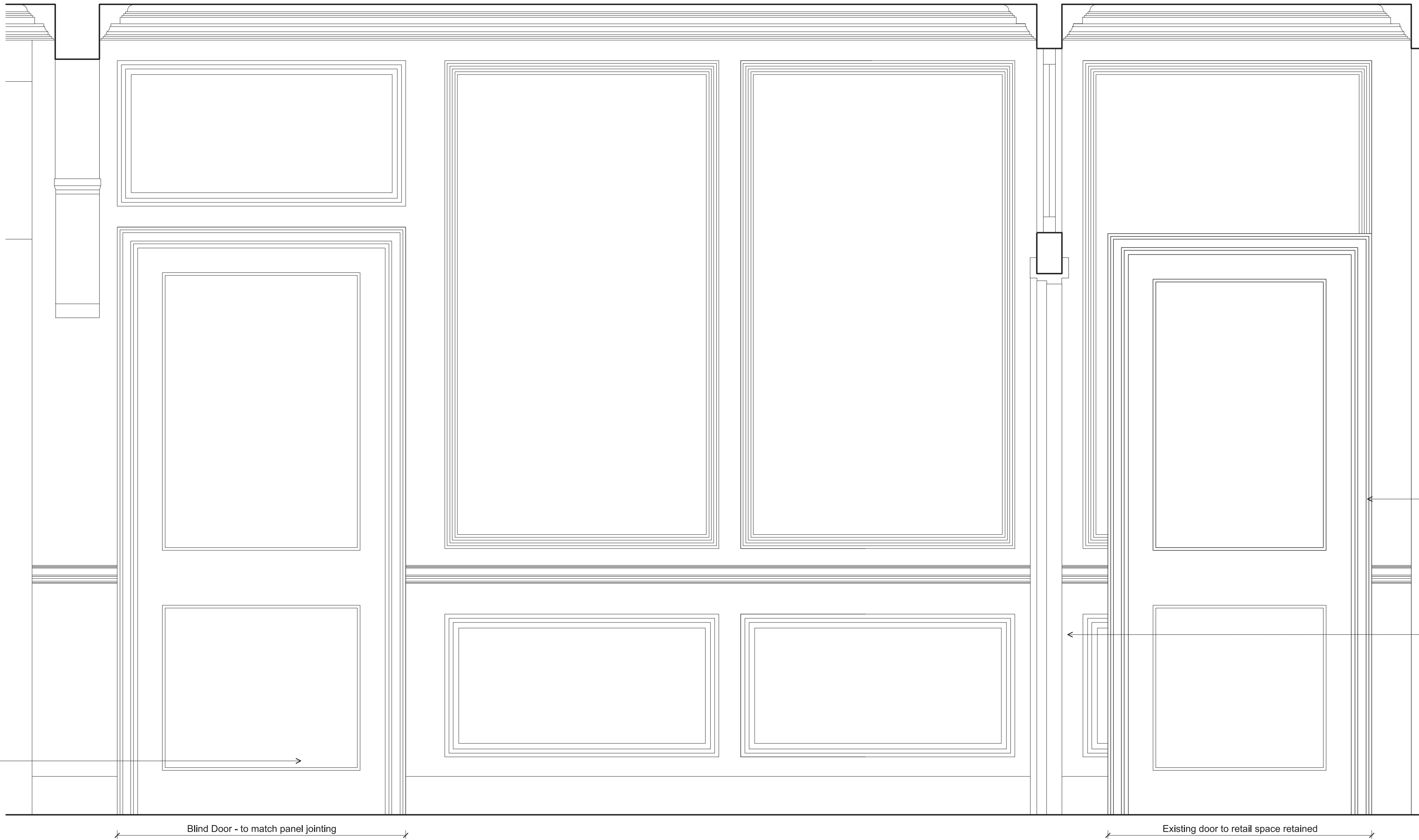
Revisions			
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Client Consolidated Ltd.			
Project St. Giles Circus - Zone 3			
Drawing Title 6 Denmark Street Proposed Detail New Riser to Spine Wall			
Drawing Number 1401_6D(X)505			
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01
X_507
Existing Internal View
Ground Floor Hallway - Showing closed-up connecting door
and recently revealed panelling

Location of former
connecting door -
now closed off due
to retail unit

New two-panel blind door -
located in position of former
connecting door

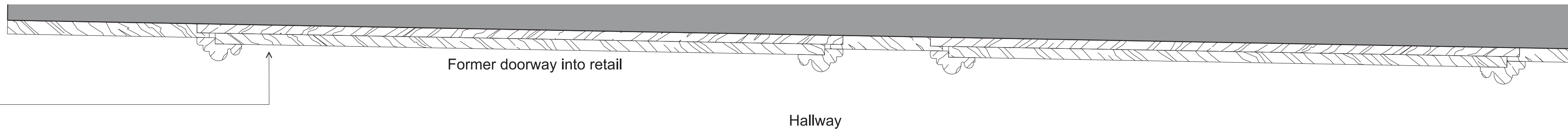
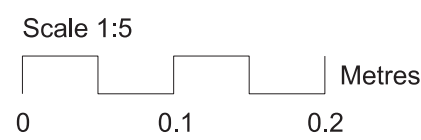


02
X_507
Proposed Internal Elevation
Ground Floor Hallway - Showing new blind door

1:10

Existing
panelling with
reinstated dado
detail

Repositioned
entrance hall
door with
fanlight above



Blind door to be introduced where former
door opening has been infilled

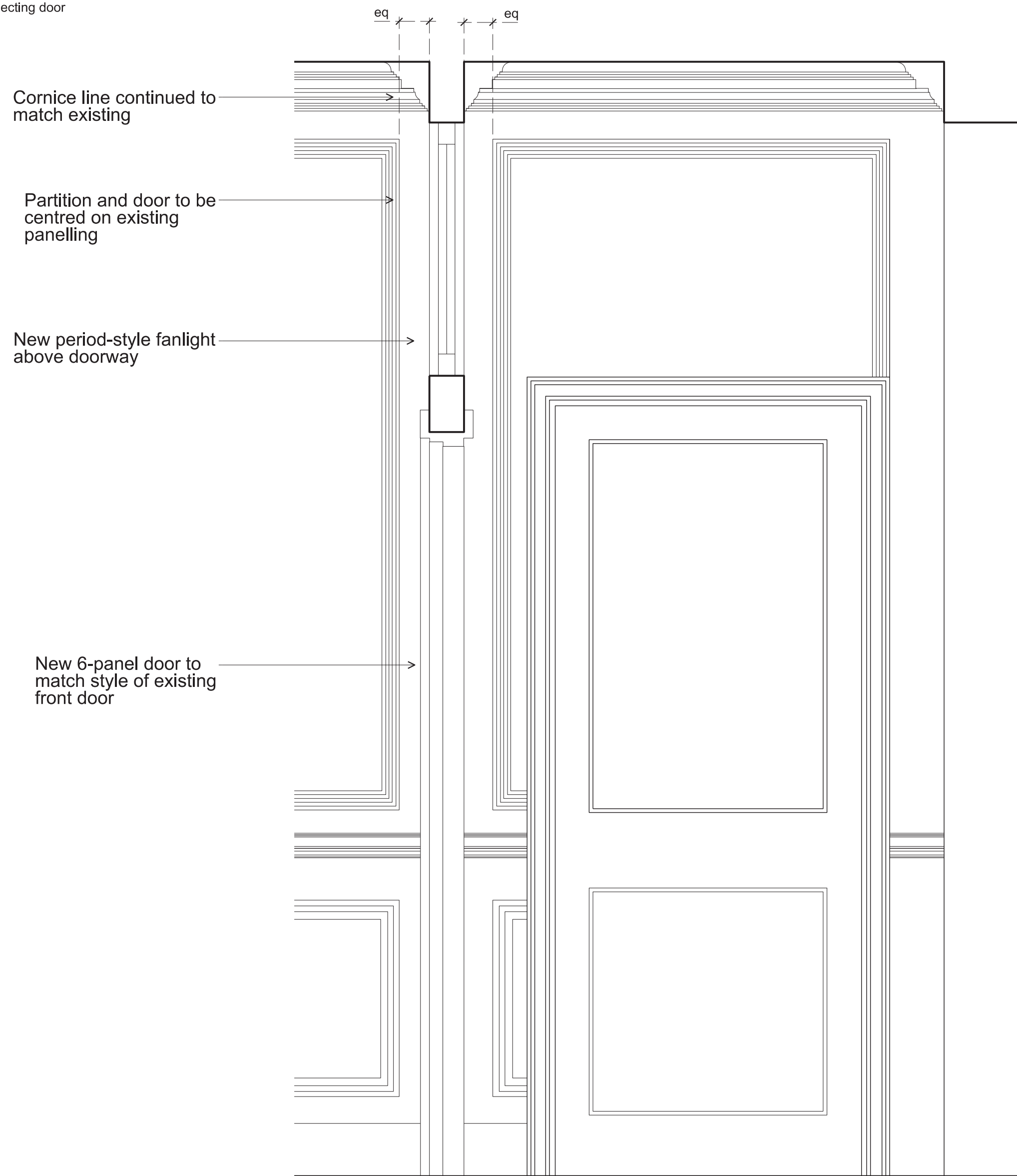
03
X_507
Proposed Panels to Hallway
Plan Detail

1:5

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Project			
St. Giles Circus - Zone 3			
Drawing Title			
6 Denmark Street Proposed Detail Hallway Blind Door			
Drawing Number			
1401_6D(X)507			
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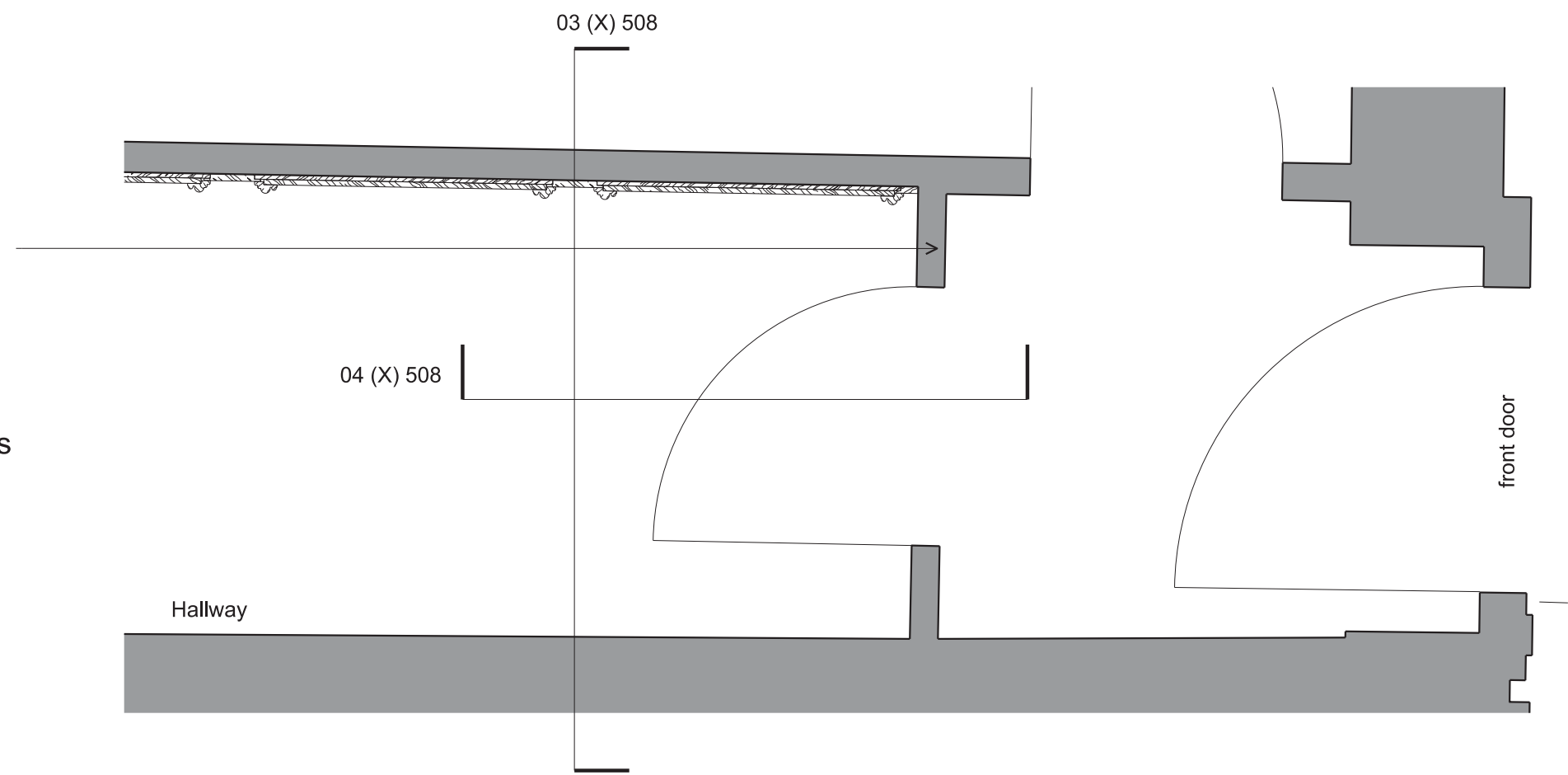
01
X_508
Existing Internal View
Ground Floor Hallway - Showing closed-up connecting door
and recently revealed panelling



03
X_508
Proposed Internal Elevation
Ground Floor Hallway - Showing new cupboard for incoming services

1:20

Hallway door
repositioned
closer to the
front door in
order to fall in
line with the
layout of the
existing panels
and improve
the reading of
the space



02
X_508
Proposed Cupboard Hallway
Plan Detail

1:20

New doorway to be of a
tripartite arrangement with
narrow sidelights and
glazed fanlight above door

New 6-panel door to
match style of existing
hallway



04
X_508
Proposed Internal Elevation
Ground Floor Hallway - Showing new doorway and panelling

1:10



Scale 1:5
0 0.1 0.2 Metres

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01	Issued to LBC	26/09/17	
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St. Giles Circus - Zone 3			
Drawing Title			
6 Denmark Street Proposed Detail Hallway Lobby Door			
Drawing Number			
1401_6D(X)508			
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