DRAWING NUMBER: HD/NW5 4EB-C/EXT-ELEVATION Hemingstone 0 Z

> Metres Feet

-5

10 Hemingstone Scale 1:100
Printed on A3 paper

Conservatory Proposed NW5 4EB 82A Queens Crescent Kentish Town London

Mr R. Mullane Tcl No 0797 073 4383

Local Planning Authority: London Borough of Camden

Legend

000000 Tiled Roof Stud Partition Blockwork

Brickwork

Hemingstone

Unit 1

IP6 ONL Ipswich Suffolk Claydon Business Park Great Blakenham

hemingstone@btinternet.com

Construction to be to current NHBC standards with all work complying to current Building Regulations. Client and contractor are to be aware of The Party Wall Act 1996. Please ensure there is agreement from adjoining owners before work commences. It is also the responsibility of the client to obtain planning permission where necessary, or to ensure that permitted development rights have not been restricted or removed and there are no restrictive covenants nor special conditions within the property deeds etc which may affect the proposal. Contractor to set out to ensure all work close to adjacent boundaries, including foundations, roof overhangs and gutterings are within the curtilage of the site.

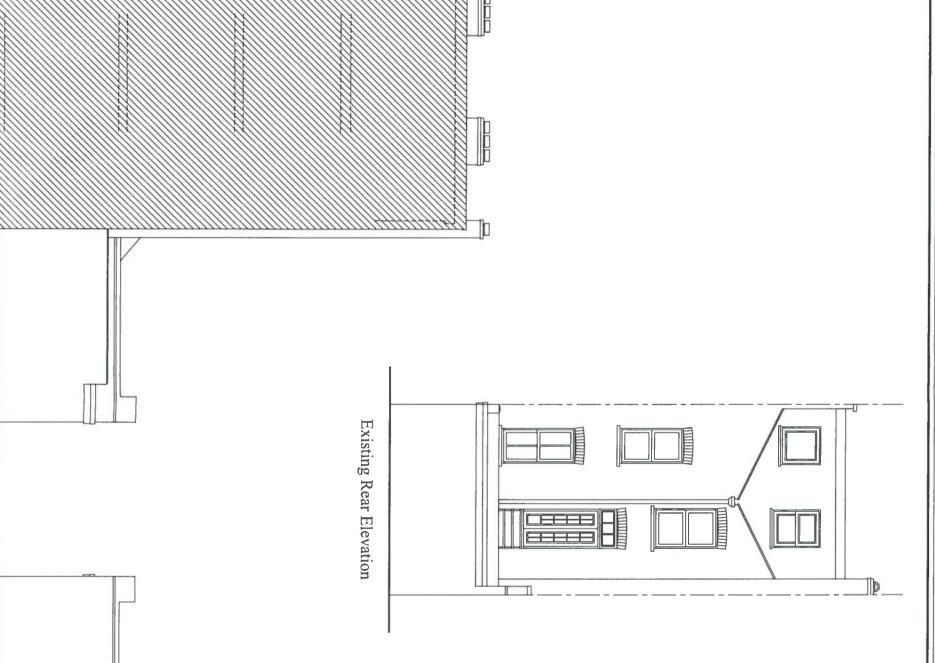
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Existing Side Elevation



Existing Side Elevation

HD/NW5 4EB-C/PROP-ELEVATION DRAWING NUMBER:

C) Z

Metres Feet 0

10 Hemingstone

82A Queens Crescent Conservatory Proposed NW5 4EB Kentish Town London

Mr R. Mullane

Tcl No 0797 073 4383

Local Planning Authority: London Borough of Camden

Legend

Tilcd Roof ******* Stud Partition Blockwork

Brickwork

Hemingstone

Unit 1

IP6 ONL Ipswich Suffolk Claydon Business Park Great Blakenham

Telephone: 0771 400 3663 Email:

hemingstone@btinternet.com

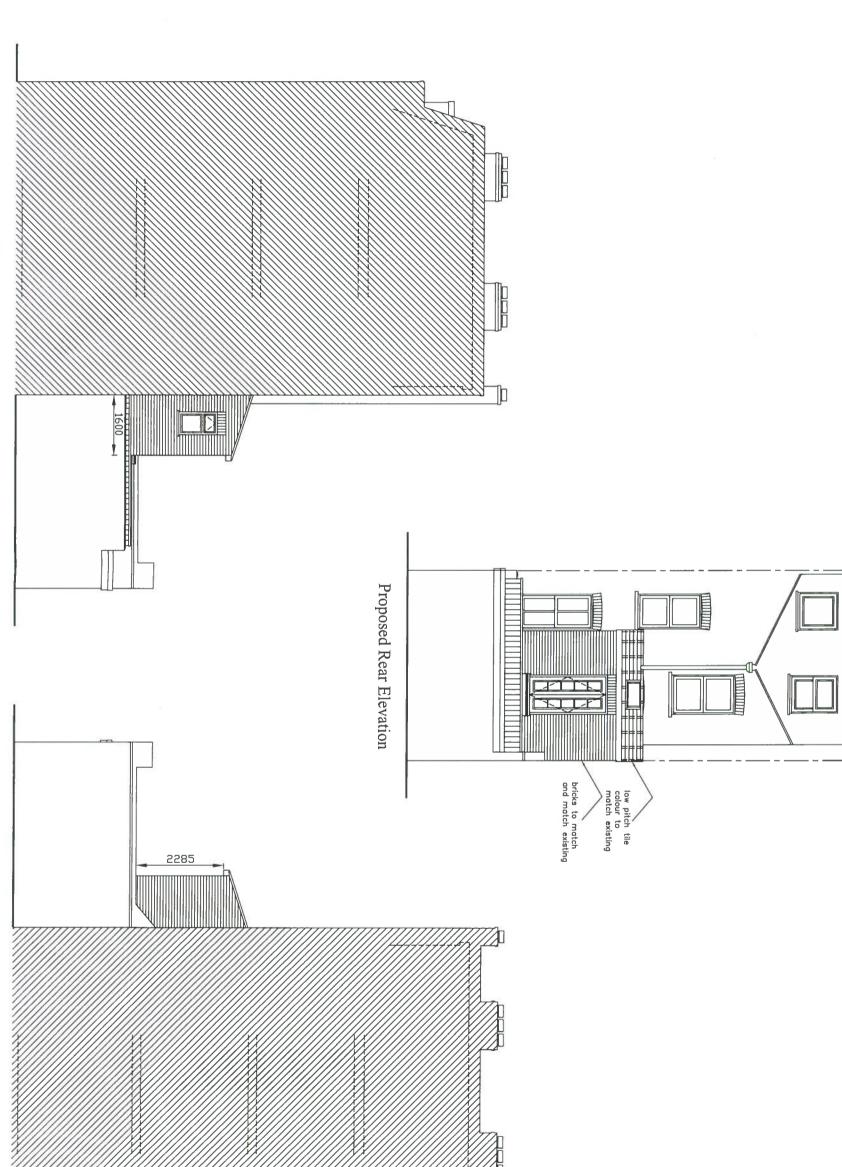
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DRAWING NUMBER: HD/NW5 4EB-C/EXT-FIRST

Hemingstone 0

Metres

-10

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Hemingstone Scale 1:50 Printed on A3 paper

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Feet

Conservatory Proposed

82A Queens Crescent Kentish Town London

NW5 4EB

Mr R. Mullane Tcl No 0797 073 4383

Local Planning Authority: London Borough of Camden

Legend

Blockwork Tiled Roof Stud Partition

Brickwork

Claydon Business Park Great Blakenham Ipswich Suffolk IP6 0NL Unit 1

Telephone: 0771 400 3663 Email:

hemingstone@btinternet.com

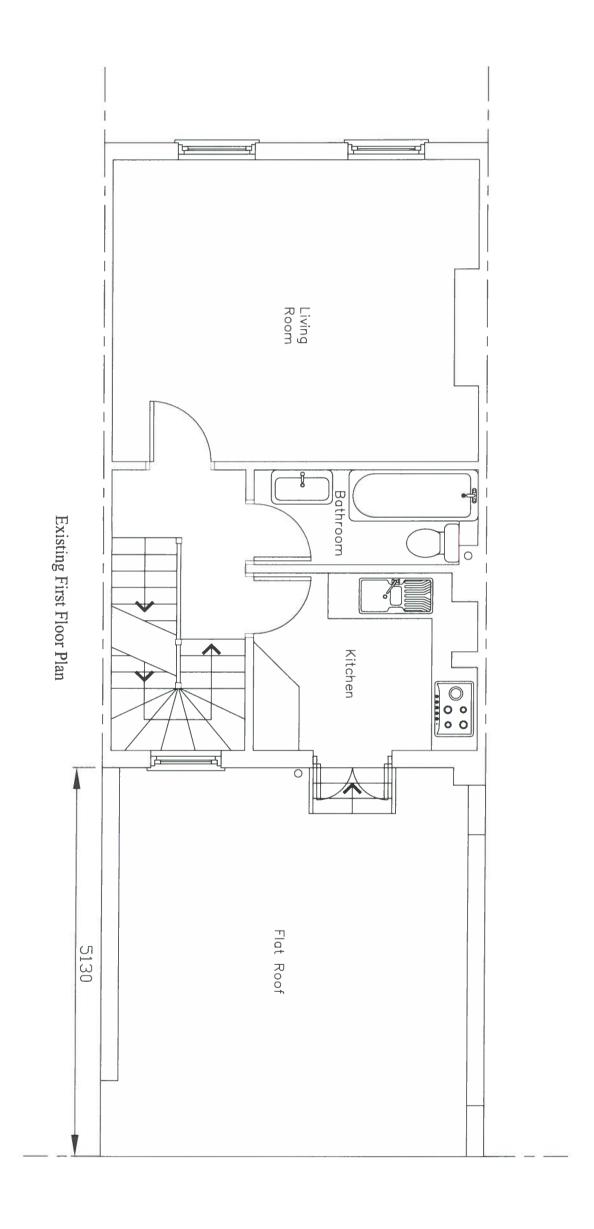
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PREPARATIONS AND CHECKS

Contractors must verify all dimensions, levels and boundaries on sile before commencing any works. All existing lintels, beams, foundations etc. Toking any new loads are to be exposed and re-assessed for the new load, and to be re-inforced, or replaced as necessary at the descretion of the Local Authority.

DRAWING NUMBER: HD/NW5 4EB/EXT SECOND

Hemingstone <u>[]</u>

Metres

-10

14 16

Scale 1:50
Printed on A3 paper Hemingstone

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Loft Conversion Proposed

NW5 4EB 82A Queens Crescent Kentish Town London

Mr R. Mullane

Tcl No 0797 073 4383

London Borough of Camden Local Planning Authority:

Legend

Brickwork 000000 Tiled Roof Blockwork Stud Partition

Hemingstone

Unit 1

Claydon Business Park Great Blakenham Ipswich Suffolk IP6 0NL

hemingstone@btinternet.com

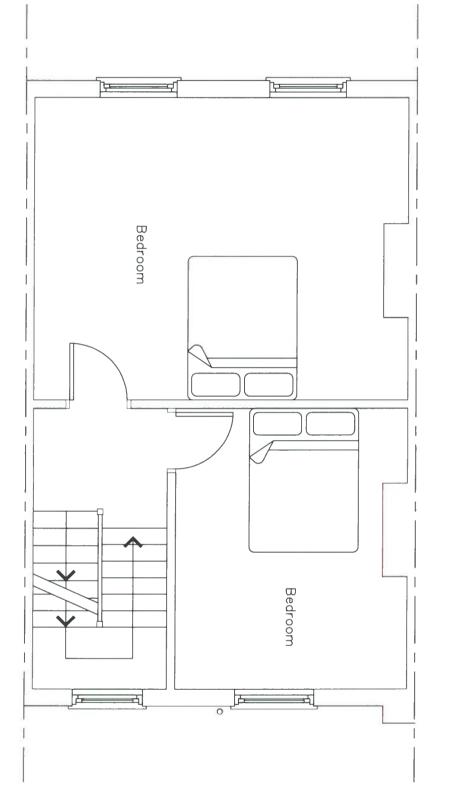
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Existing Second Floor Plan

PREPARATIONS AND CHECKS

Contractors must verify all dimensions, levels and boundaries on site before commencing any works. All existing lintels, beams, foundations etc. taking any new loads are to be exposed and re-assessed for the new load, and to be re-inforced, or replaced as necessary at the descretion of the Local Autharity.

HD/NW5 4EB-C/PROP-FIRST DRAWING NUMBER:

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Metres -12

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Hemingstone Scale 1:50 Printed on A3 paper

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Proposed

Conservatory

82A Queens Crescent Kentish Town London

NW5 4EB

Mr R. Mullane

Tel No 0797 073 4383

London Borough of Camden Local Planning Authority:

Legend

Tiled Roof Brickwork 000000 Blockwork Stud Partition

Hemingstone

Unit I Claydon Business Park

Ipswich Suffolk IP6 ONL Great Blakenham

Telephone: 0771 400 3663 Email:

hemingstone@btinternet.com

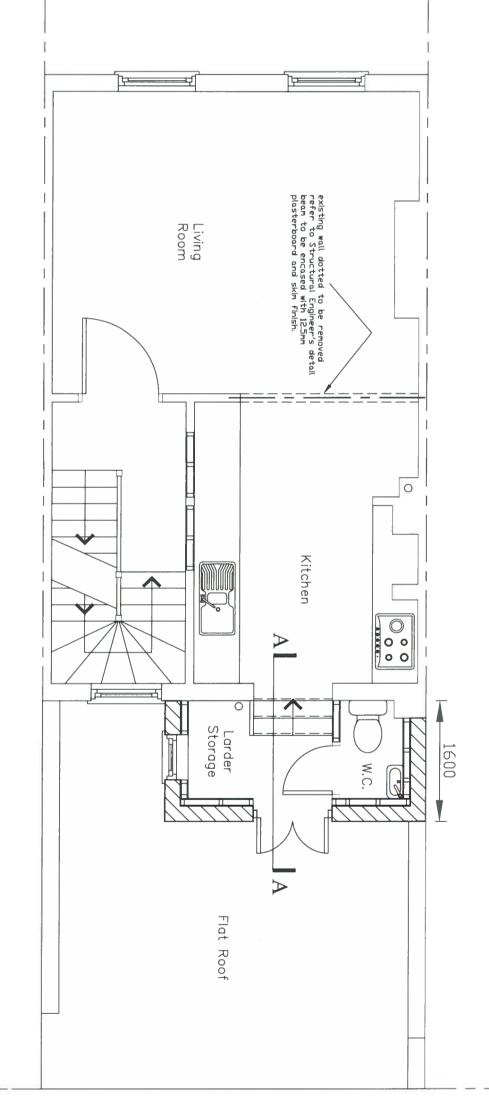
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Proposed First Floor Plan

PREPARATIONS AND CHECKS

Contractors must verify all dimensions, levels and boundaries on site before commencing any works. All existing lintets, beams, foundations etc. taking any new loads are to be exposed and re-assessed for the new load, and to be re-inforced, ar replaced as necessary at the descretion of the Local Authority.

DRAWING NUMBER: HD/NW5 4EB/PROP SECOND

U ល (I)

Scale 1:50
Printed on A3 paper Hemingstone

-12

-16

0

Proposed

Loft Conversion

82A Queens Crescent

Kentish Town

London NW5 4EB

Tel No 0797 073 4383 Mr R. Mullane

Local Planning Authority:

London Borough of Camden

Legend

Tiled Roof

8000000 Brickwork Blockwork Stud Partition

Hemingstone 0 5 -0 2

Unit 1 Claydon Business Park

Ipswich Suffolk IP6 ONL Great Blakenham

Telephone: 0771 400 3663 Email:

hemingstone@btinternet.com

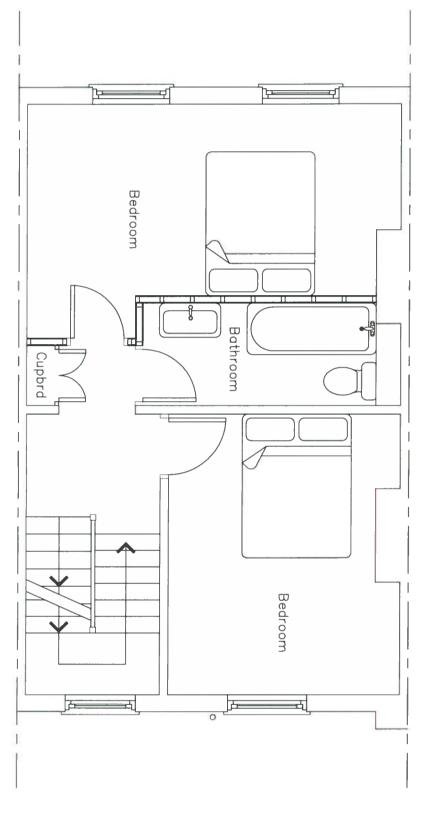
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Proposed Second Floor Plan

PREPARATIONS AND CHECKS

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DRAWING NUMBER: HD/NW5 4EB-C/SECTION

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Hemingstone Scale 1:50 Printed on A3 paper

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Conservatory Proposed

82A Queens Crescent NW5 4EB Kentish Town London

Mr R. Mullane

Tcl No 0797 073 4383

London Borough of Camden Local Planning Authority:

Legend

Brickwork 000000 Tiled Roof Blockwork Stud Partition

Unit 1 Hemingstone

Ipswich Suffolk IP6 0NL Great Blakenham Claydon Business Park

hemingstone@btinternet.com

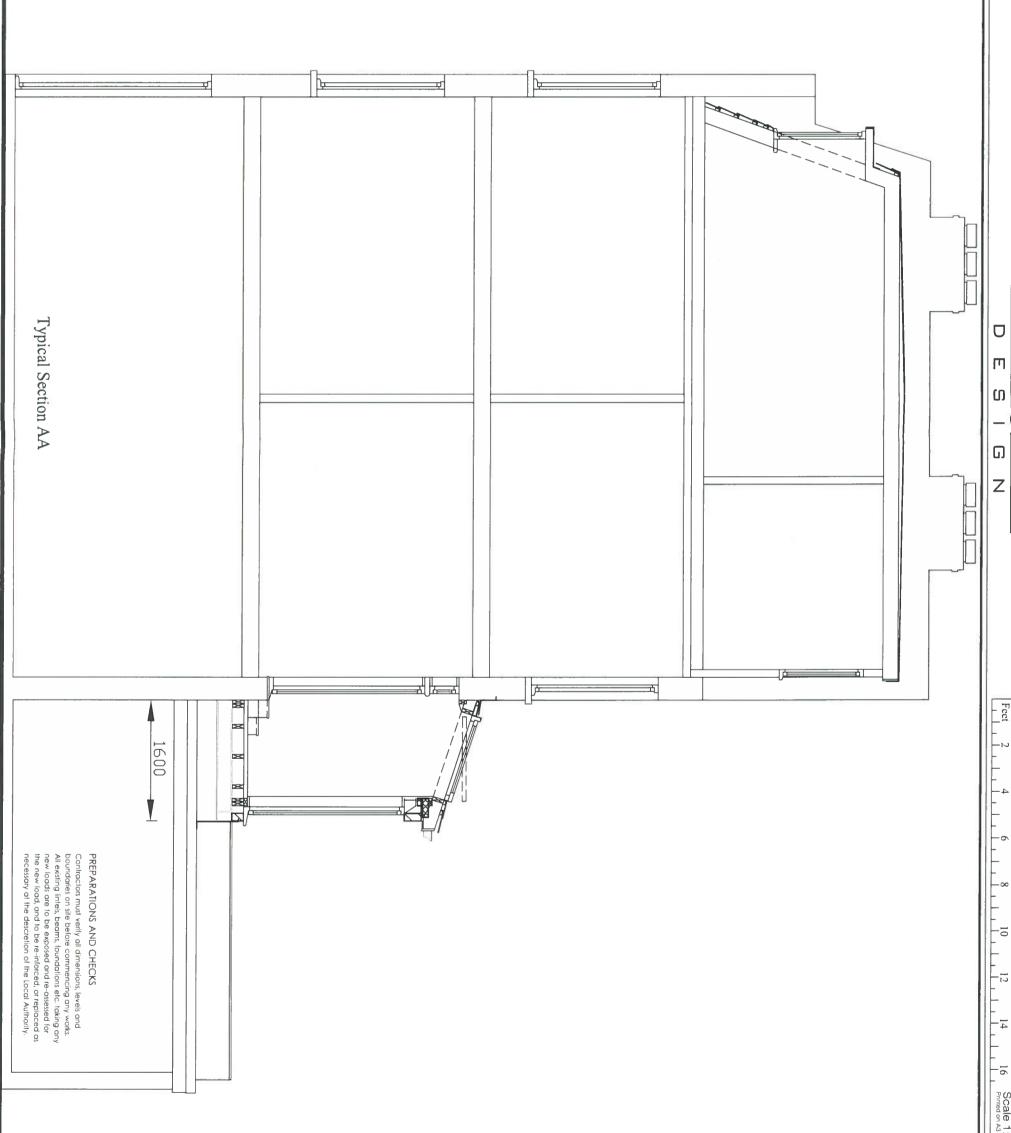
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DRAWING NUMBER: HD/NW5 4EB-C/EXT-ROOF

Hemingstone

0

Proposed Conservatory

82A Queens Crescent Kentish Town London NW5 4EB

for

Mr R. Mullane Tel No 0797 073 4383

Local Planning Authority: London Borough of Camden

Legend

Tiled Roof
Stud Partition
Blockwork

Hemingstone
DESIGN

DESIGN
Unit 1
Claydon Business Park

Great Blakenham Ipswich Suffolk IP6 0NL

Telephone: 0771 400 3663 Email:

hemingstone@btinternet.com

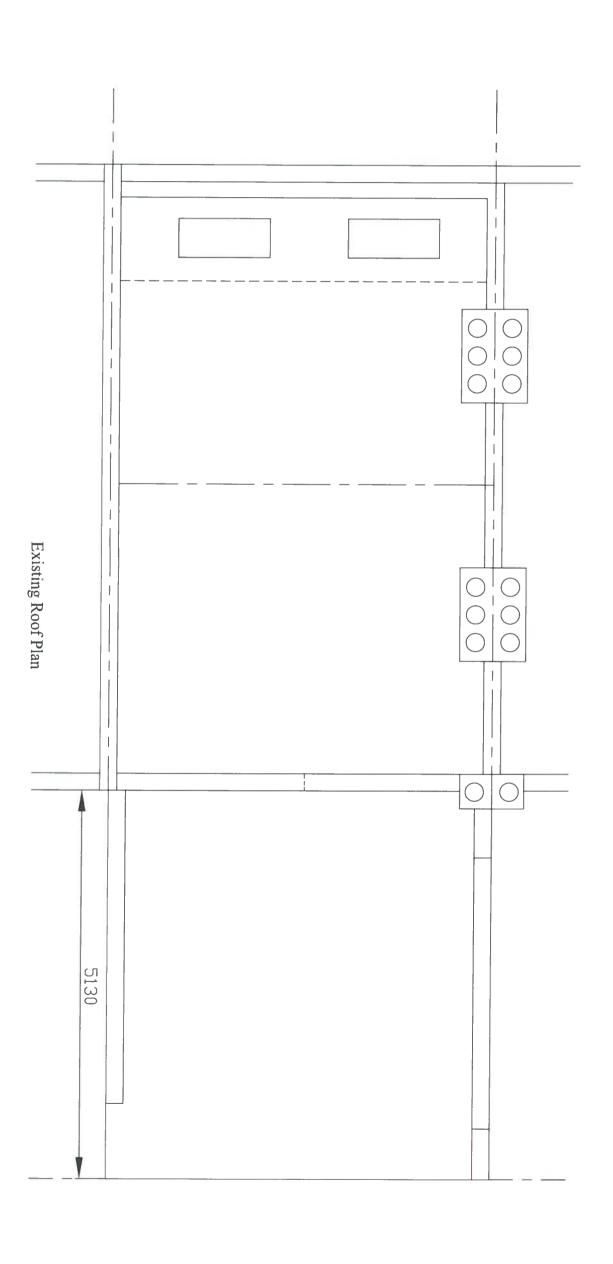
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PREPARATIONS AND CHECKS
Contractors must verify all dimensions

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HD/NW5 4EB-C/PROP-ROOF DRAWING NUMBER:

Hemingstone

Metres 2 3 4 <u>⊢</u>: 12 14 16 Hemingstone Scale 1:50 Printed on A3 paper

0

Proposed

Conservatory

NW5 4EB 82A Queens Crescent Kentish Town London

Mr R. Mullane Tel No 0797 073 4383

Local Planning Authority: London Borough of Camden

Legend

Tiled Roof Stud Partition

Z Z Brickwork 8000000 Blockwork

Hemingstone

Unit 1 Claydon Business Park Great Blakenham Ipswich Suffolk IP6 0NL

hemingstone@btinternet.com

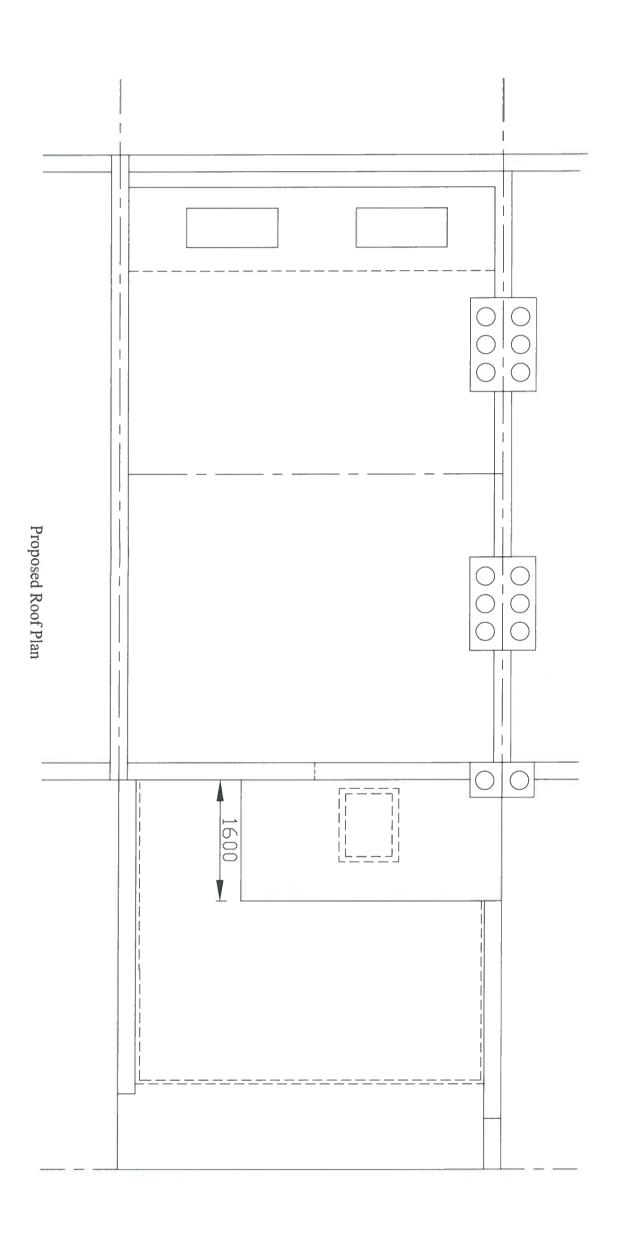
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HD/NW5 4EB-C/SITE DRAWING NUMBER:

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Printed on A3 paper

Conservatory Proposed

82A Queens Crescent Kentish Town

NW5 4EB London

Mr R. Mullane Tel No 0797 073 4383

Local Planning Authority: London Borough of Camden

Legend

Tilcd Roof Stud Partition

Z Z Brickwork 000000 Blockwork

Hemingstone

Unit 1 Claydon Business Park Great Blakenham Ipswich Suffolk IP6 0NL

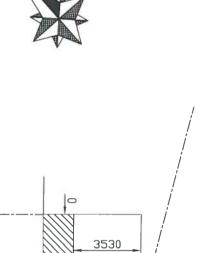
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1600



Queen's Crescent