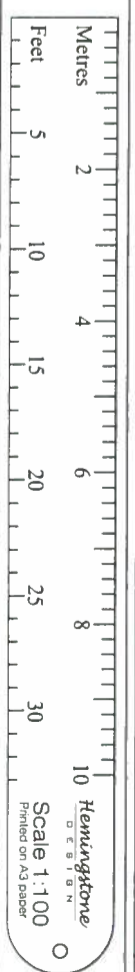


DRAWING NUMBER:
HD/NW5 4EB-C/EXT-ELEVATION

Hemmingsstone

D E S I G N







Proposed
Conservatory

to
82A Queens Crescent
Kentish Town
London
NW5 4EB

for
Mr R. Mullane
Tel No 0797 073 4383

Local Planning Authority:
London Borough of Camden

Legend

-  Tiled Roof
-  Stud Partition
-  Blockwork
-  Brickwork

Hemmingsstone

D E S I G N

Unit 1
Claydon Business Park
Great Blakenham
Ipswich
Suffolk
IP6 0NL


Telephone:
0771 400 3663

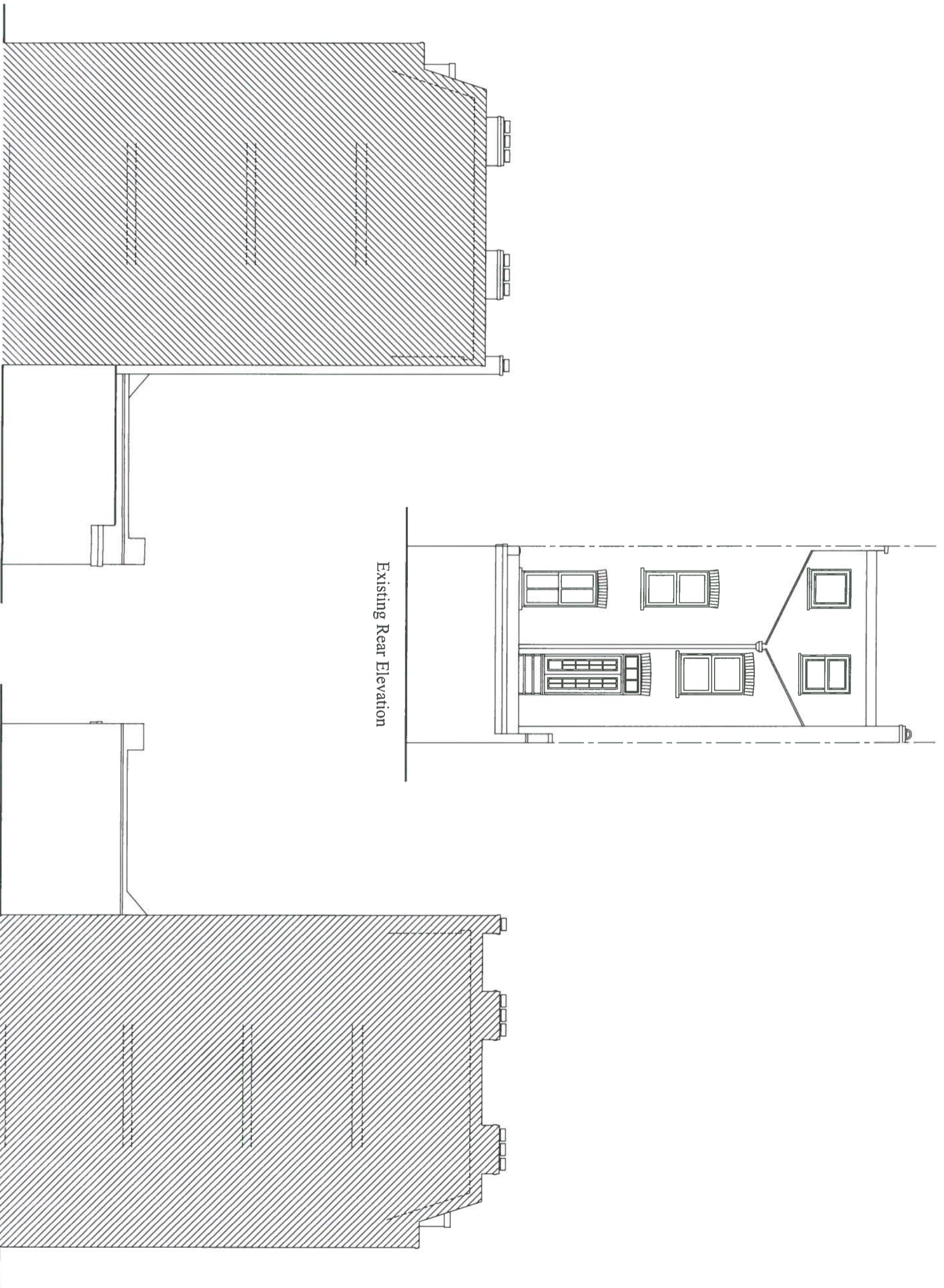
Email:
hemmingsstone@btinternet.com

Construction to be to current NHBC standards with all work complying to current Building Regulations. Client and contractor are to be aware of The Party Wall Act 1996. Please ensure there is agreement from adjoining owners before work commences. It is also the responsibility of the client to obtain planning permission where necessary, or to ensure that permitted development rights have not been restricted or removed and there are no restrictive covenants nor special conditions within the property deeds etc which may affect the proposal. Contractor to set out to ensure all work close to adjacent boundaries, including foundations, roof overhangs and gutters are within the curtilage of the site.

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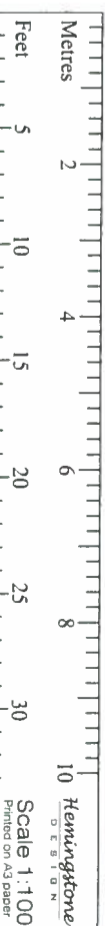
Existing Side Elevation

Existing Rear Elevation

Existing Side Elevation

DRAWING NUMBER:
HD/NW/5 4EB-C/PROP-ELEVATION

Hemingtonstone
DESIGN



Proposed
Conservatory

to

82A Queens Crescent
Kentish Town
London
NW/5 4EB





for

Mr R. Mullane

Tel No 0797 073 4383

Local Planning Authority:
London Borough of Camden

Legend

-  Tiled Roof
-  Stud Partition
-  Blockwork
-  Brickwork

Hemingtonstone
DESIGN

Unit 1
Claydon Business Park
Great Blakenham
Ipswich
Suffolk
IP6 0NL


Telephone:
0771 400 3663

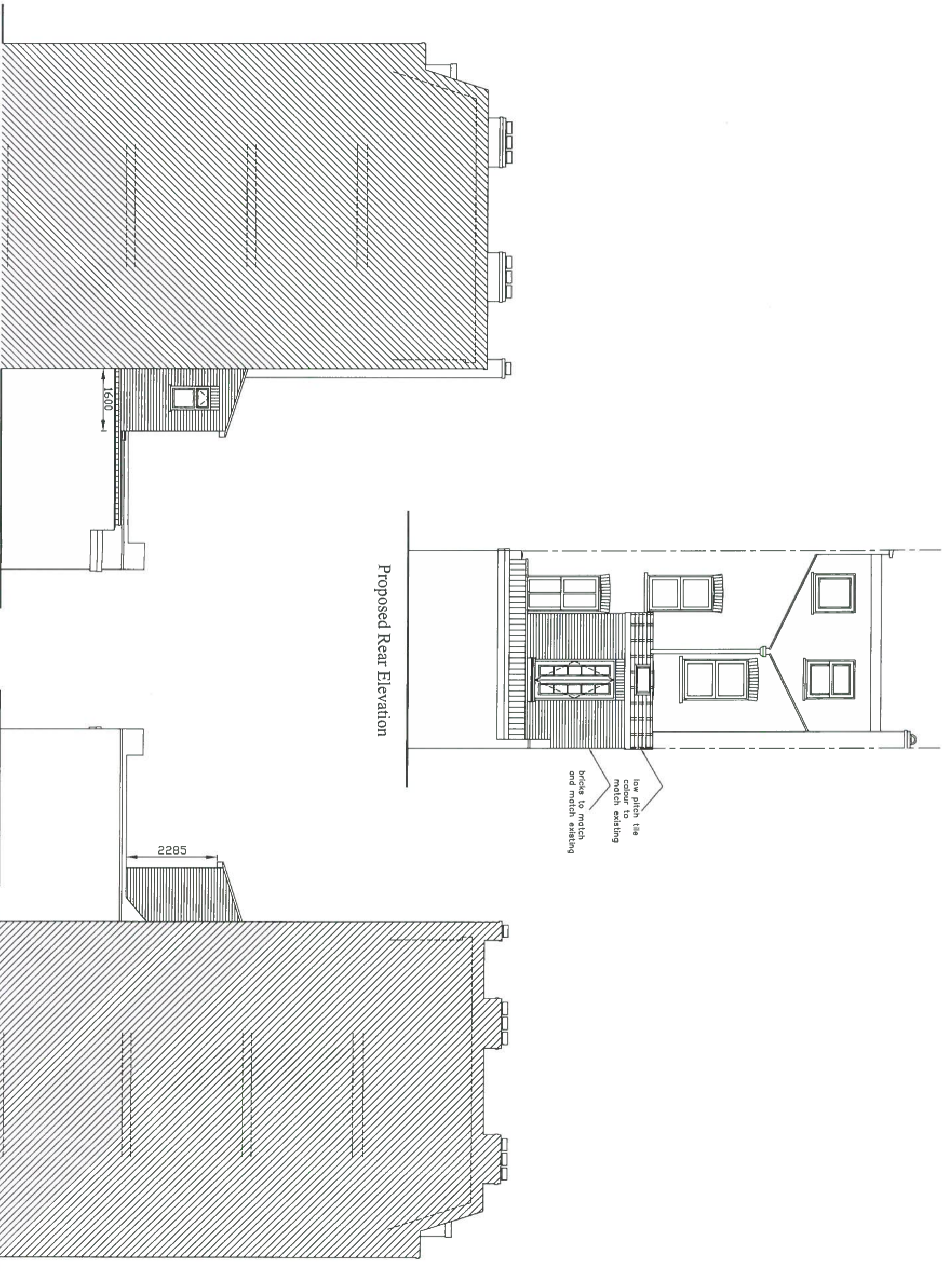
Email:
hemingtonstone@btinternet.com

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Proposed Side Elevation

Proposed Rear Elevation

Proposed Side Elevation

DRAWING NUMBER:
HD/NW5 4EB-C/EXT-FIRST

Hemingtonstone

DESIGN







Proposed
Conservatory

82A Queens Crescent
Kentish Town
London
NW5 4EB

for
Mr. R. Mullane
Tel No 0797 073 4383

Local Planning Authority:
London Borough of Camden

Legend

-  Tiled Roof
-  Stud Partition
-  Blockwork
-  Brickwork

Hemingtonstone
DESIGN

Unit 1
Claydon Business Park
Great Blakenham
Ipswich
Suffolk
IP6 0NL

Telephone:
0771 400 3663

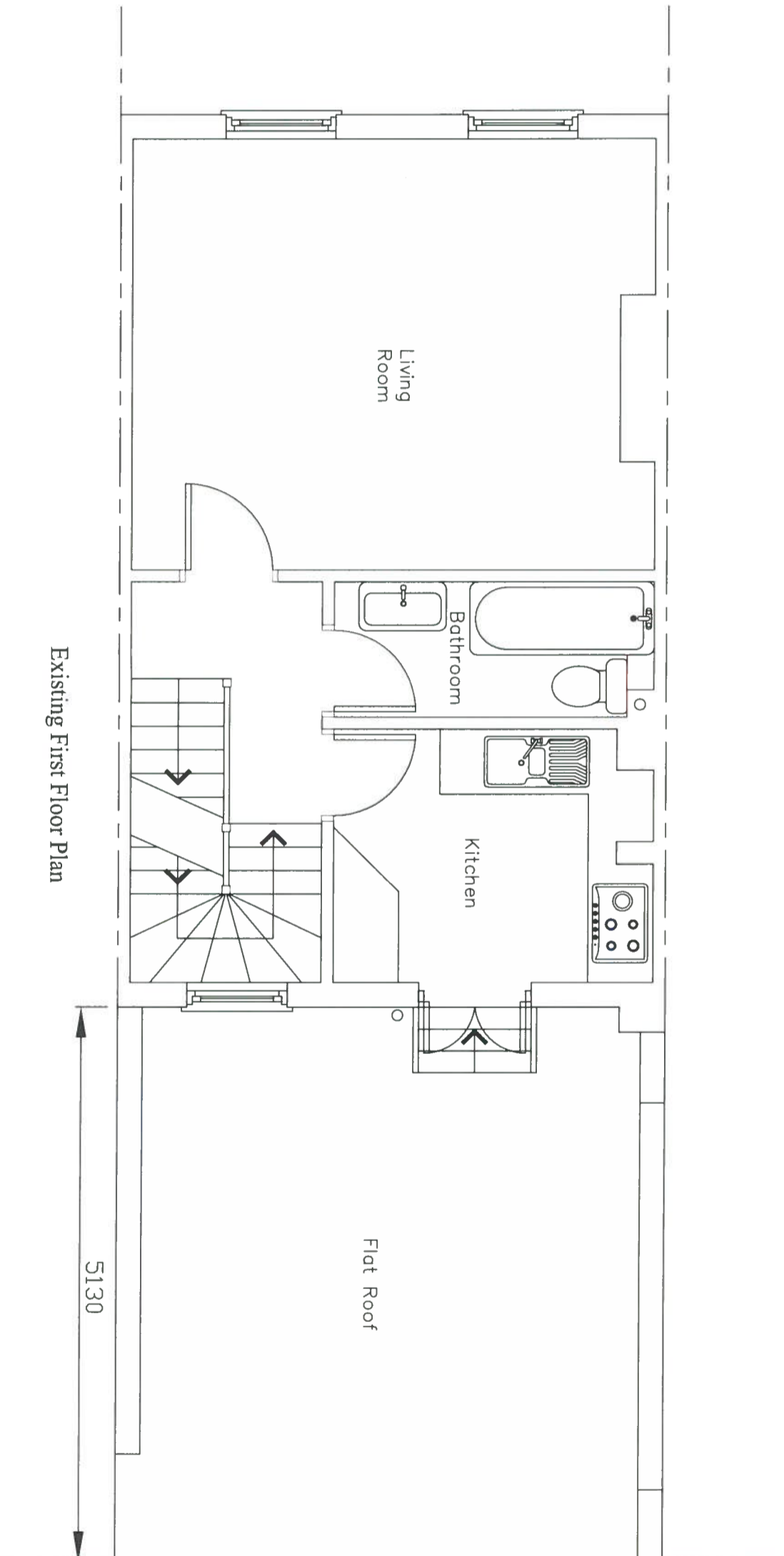
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Existing First Floor Plan

PREPARATIONS AND CHECKS

Contractors must verify all dimensions, levels and boundaries on site before commencing any work.
All existing inlets, beams, foundations etc. taking any new loads are to be exposed and re-assessed for the new load, and to be reinforced, or replaced as necessary at the discretion of the local Authority.

DRAWING NUMBER:
HD/NW5 4EB/EXT SECOND

Hemingstone

D E S I G N







Proposed
Loft Conversion

to
82A Queens Crescent
Kentish Town
London
NW5 4EB

for
Mr R. Mullane
Tel No 0797 073 4383

Local Planning Authority:
London Borough of Camden

Legend

-  Tiled Roof
-  Stud Partition
-  Blockwork
-  Brickwork

Hemingstone

D E S I G N

Unit 1
Claydon Business Park
Great Blakenham
Ipswich
Suffolk
IP6 0NL

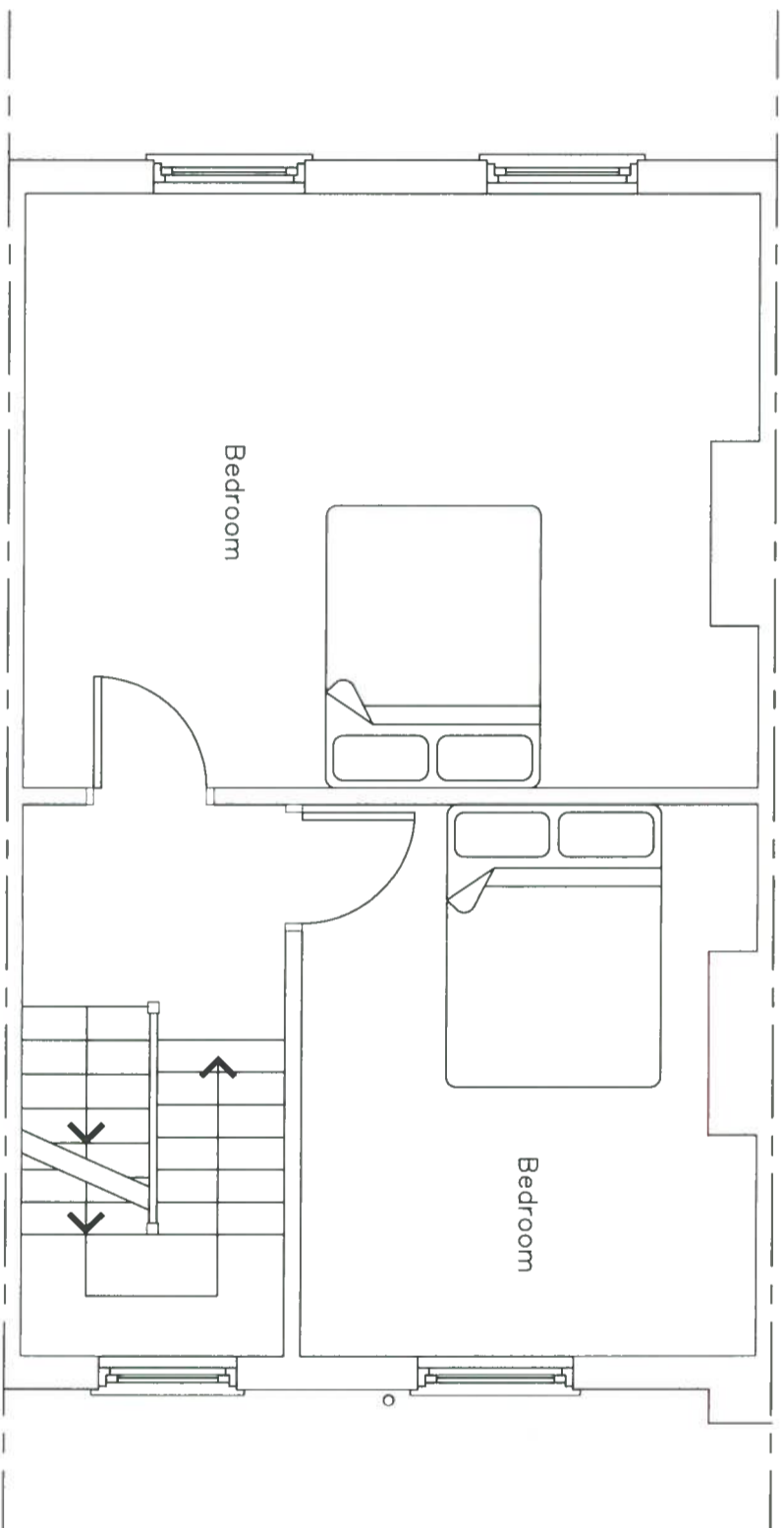
Telephone:
0771 400 3663

Email:
hemingstone@btinternet.com

Construction to be to current NHBC standards with all work complying to current Building Regulations. Client and contractor are to be aware of The Party Wall Act 1996. Please ensure there is agreement from adjoining owners before work commences. It is also the responsibility of the client to obtain planning permission where necessary, or to ensure that permitted development rights have not been restricted or removed and there are no restrictive covenants nor special conditions within the property deeds etc which may affect the proposal. Contractor to set out to ensure all work close to adjacent boundaries, including foundations, roof overhangs and gutters are within the curtilage of the site.

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Existing Second Floor Plan

PREPARATIONS AND CHECKS

Contractors must verify all dimensions, levels and boundaries on site before commencing any works. All existing bricks, beams, foundations etc, taking any new loads are to be exposed and re-assessed for the new load, and to be re-inforced, or replaced as necessary at the discretion of the local Authority.

DRAWING NUMBER:
 HD/NW5 4EB-C/PROP-FIRST

Hemingstone

D E S I G N



Proposed
 Conservatory
 to
 82A Queens Crescent
 Kenish Town
 London
 NW5 4EB

for
 Mr R. Mullane
 Tel No 0797 073 4383

Local Planning Authority:
 London Borough of Camden

- Legend
- Tiled Roof
 - Stud Partition
 - Blockwork
 - Brickwork

Hemingstone

D E S I G N

Unit 1
 Claydon Business Park
 Great Blakenham
 Ipswich
 Suffolk
 IP6 0NL

Telephone:
 0771 400 3663

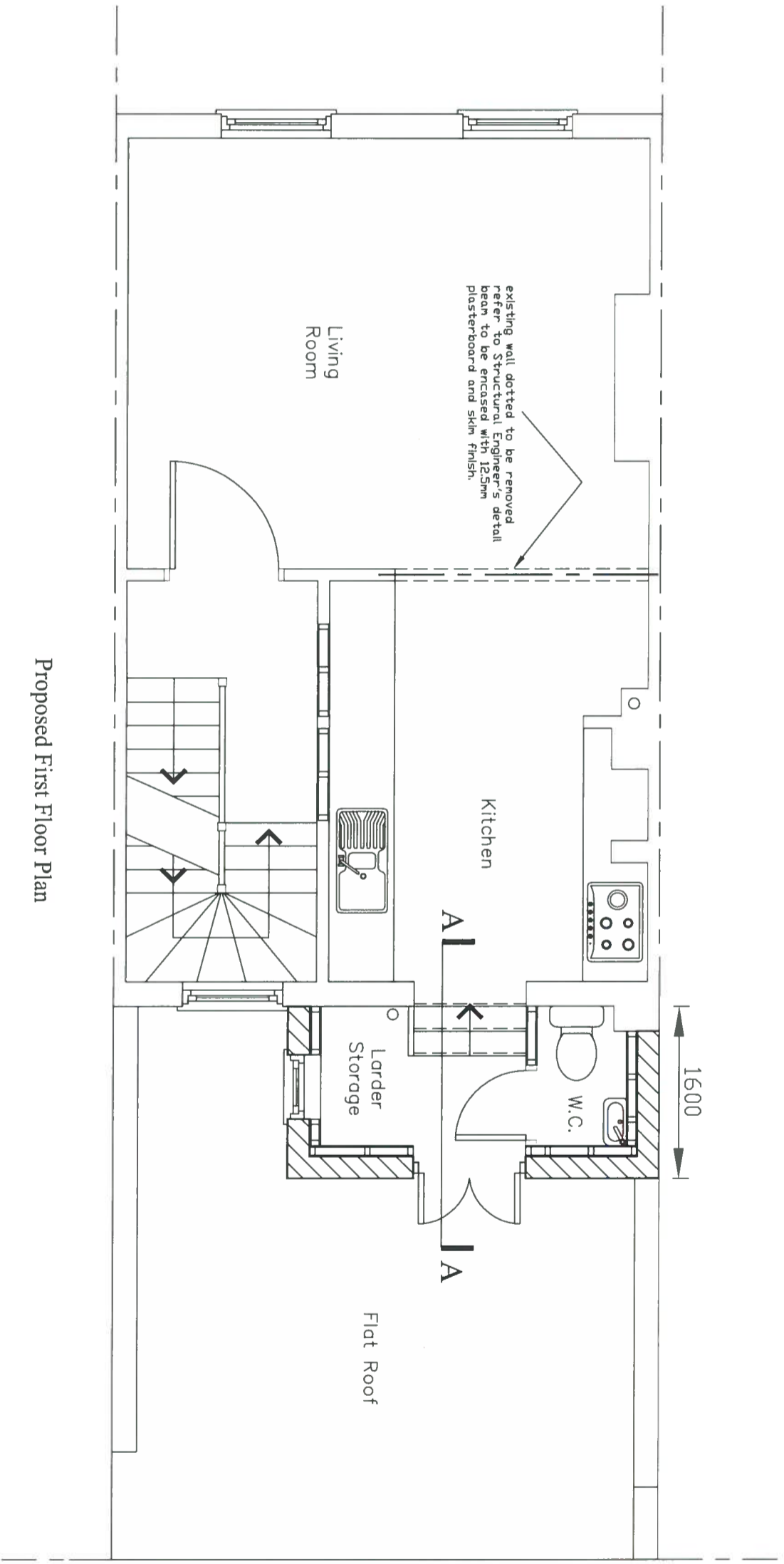
Email:
 hemingstone@btinternet.com

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Proposed First Floor Plan

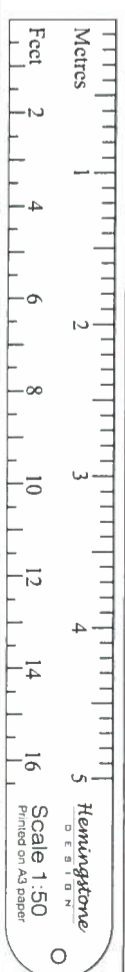
PREPARATIONS AND CHECKS

Contractors must verify all dimensions, levels and boundaries on site before commencing any works. All existing lintels, beams, foundations etc taking any new loads are to be exposed and re-assessed for the new load, and to be re-inforced, or replaced as necessary at the discretion of the local Authority.

DRAWING NUMBER:
HD/NW/5 4EB/PROP SECOND

Hemingstone

D E S I G N



Proposed
Loft Conversion

to
82A Queens Crescent
Kentish Town
London
NW5 4EB

for
Mr R. Mullane
Tel No 0797 073 4383

Local Planning Authority:
London Borough of Camden

Legend

- Tiled Roof
- Stud Partition
- Blockwork
- Brickwork

Hemingstone

D E S I G N

Unit 1
Claydon Business Park
Great Blakenham
Ipswich
Suffolk
IP6 0NL

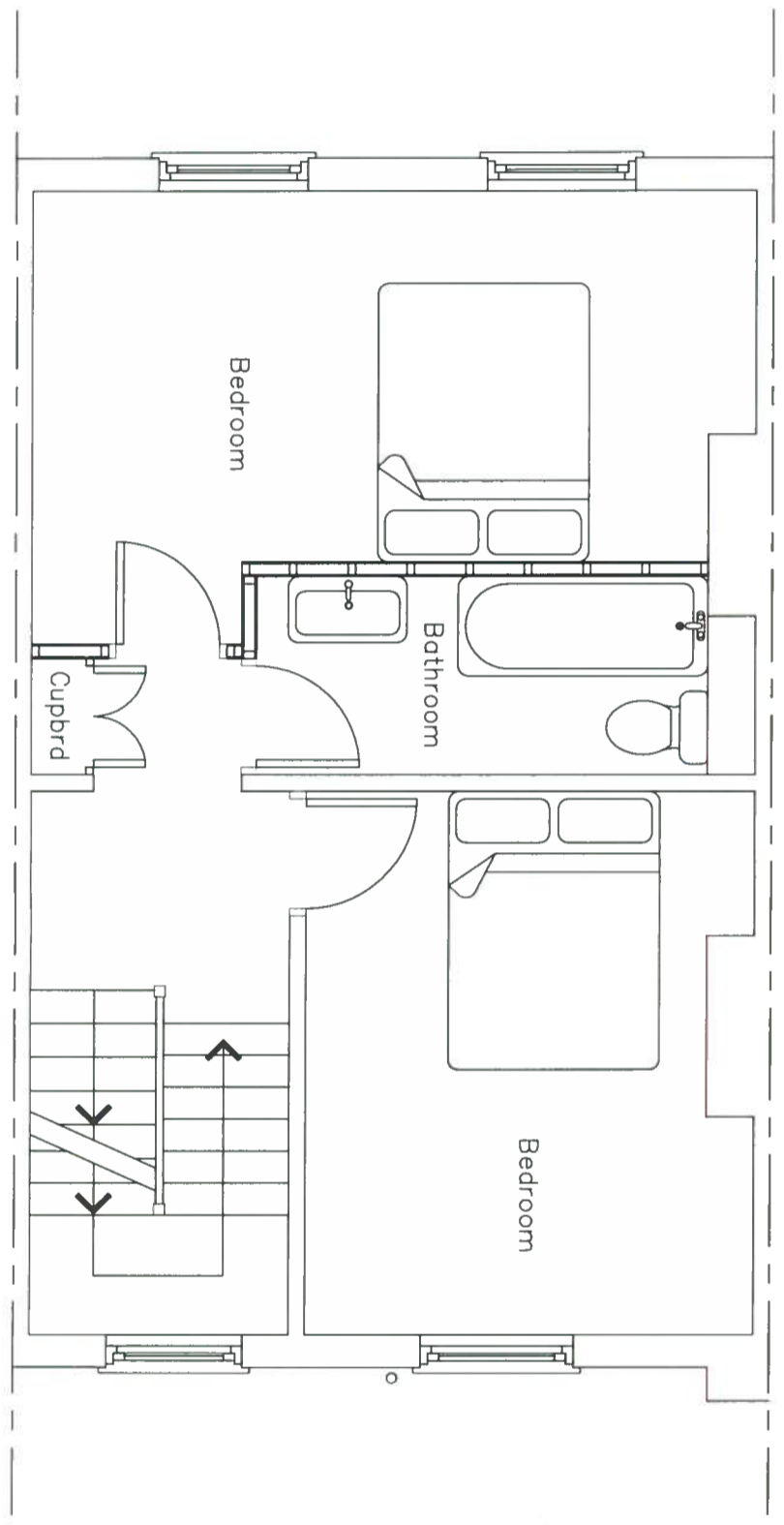
Telephone:
0771 400 3663

Email:
hemingstone@btinternet.com

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Proposed Second Floor Plan

PREPARATIONS AND CHECKS

Contractors must verify all dimensions, levels and boundaries on site before commencing any works. All existing inlets, beams, foundations etc taking only new loads are to be exposed and re-assessed for the new load, and to be re-inforced, or replaced as necessary at the discretion of the Local Authority.

DRAWING NUMBER:
HD/NW5 4EB-C/SECTION

Hemingstone

D E S I G N



Proposed
Conservatory

to





82A Queens Crescent
Kentish Town
London
NW5 4EB

for

Mr R. Mullane
Tel No 0797 073 4383

Local Planning Authority:
London Borough of Camden

Legend

-  Tiled Roof
-  Stud Partition
-  Blockwork
-  Brickwork

Hemingstone

D E S I G N

Unit 1
Claydon Business Park
Great Blakenham
Ipswich
Suffolk
IP6 0NL

Telephone:
0771 400 3663

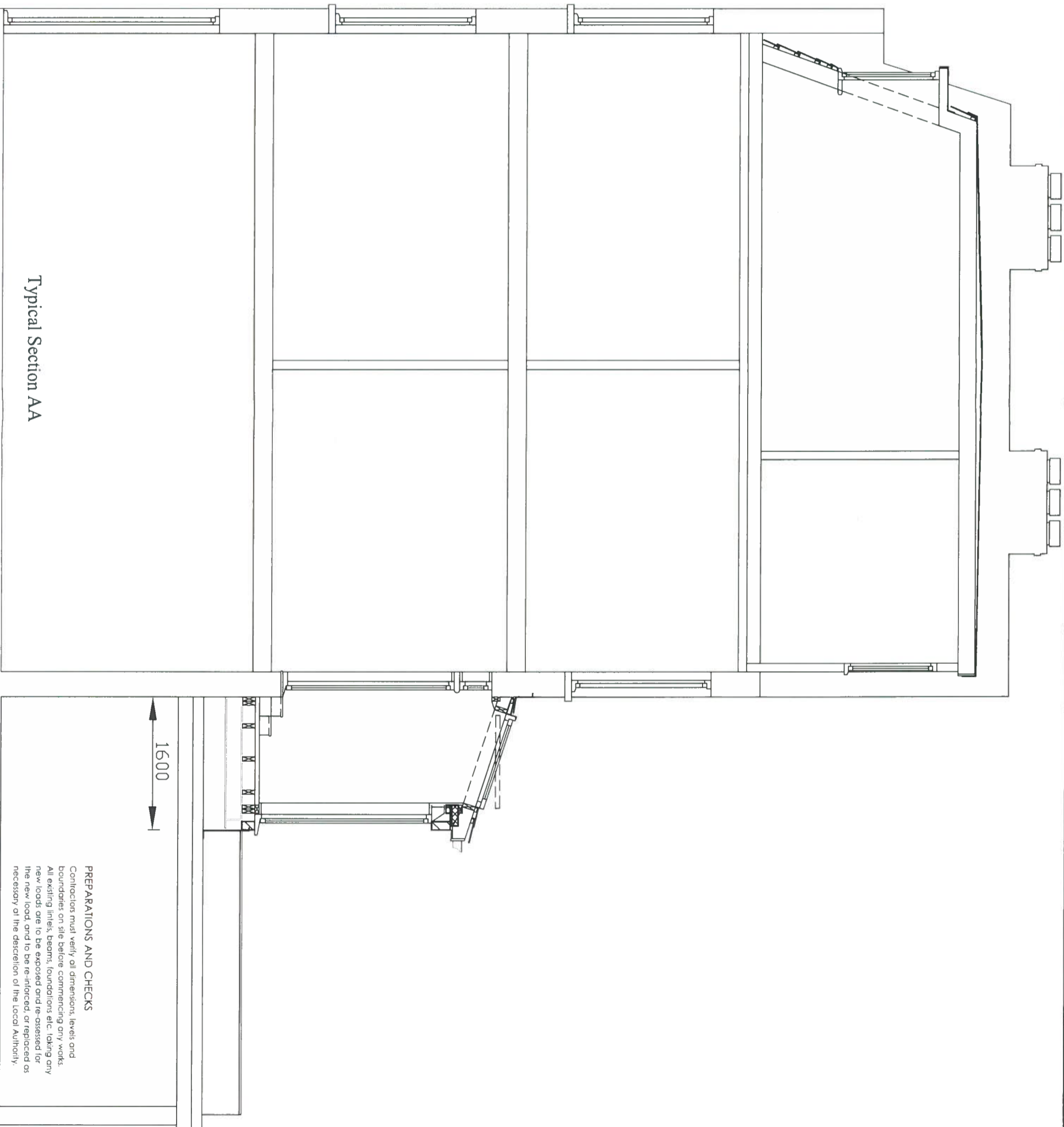
Email:
hemingstone@btinternet.com

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Typical Section AA

PREPARATIONS AND CHECKS

Contractors must verify all dimensions, levels and boundaries on site before commencing any work.
All existing lintels, beams, foundations etc, taking any new loads are to be exposed and re-assessed for the new load, and to be re-inforced, or replaced as necessary at the discretion of the Local Authority.

DRAWING NUMBER:
HD/NW5 4EB-C/EXT-ROOF

Hemingtonstone
DESIGN



Proposed
Conservatory

to





82A Queens Crescent
Kentish Town
London
NW5 4EB

for

Mr R. Mullane
Tel No 0797 073 4383

Local Planning Authority:
London Borough of Camden

Legend

-  Tiled Roof
-  Stud Partition
-  Blockwork
-  Brickwork

Hemingtonstone
DESIGN

Unit 1
Claydon Business Park
Great Blakenham
Ipswich
Suffolk
IP6 0NL

Telephone:
0771 400 3663

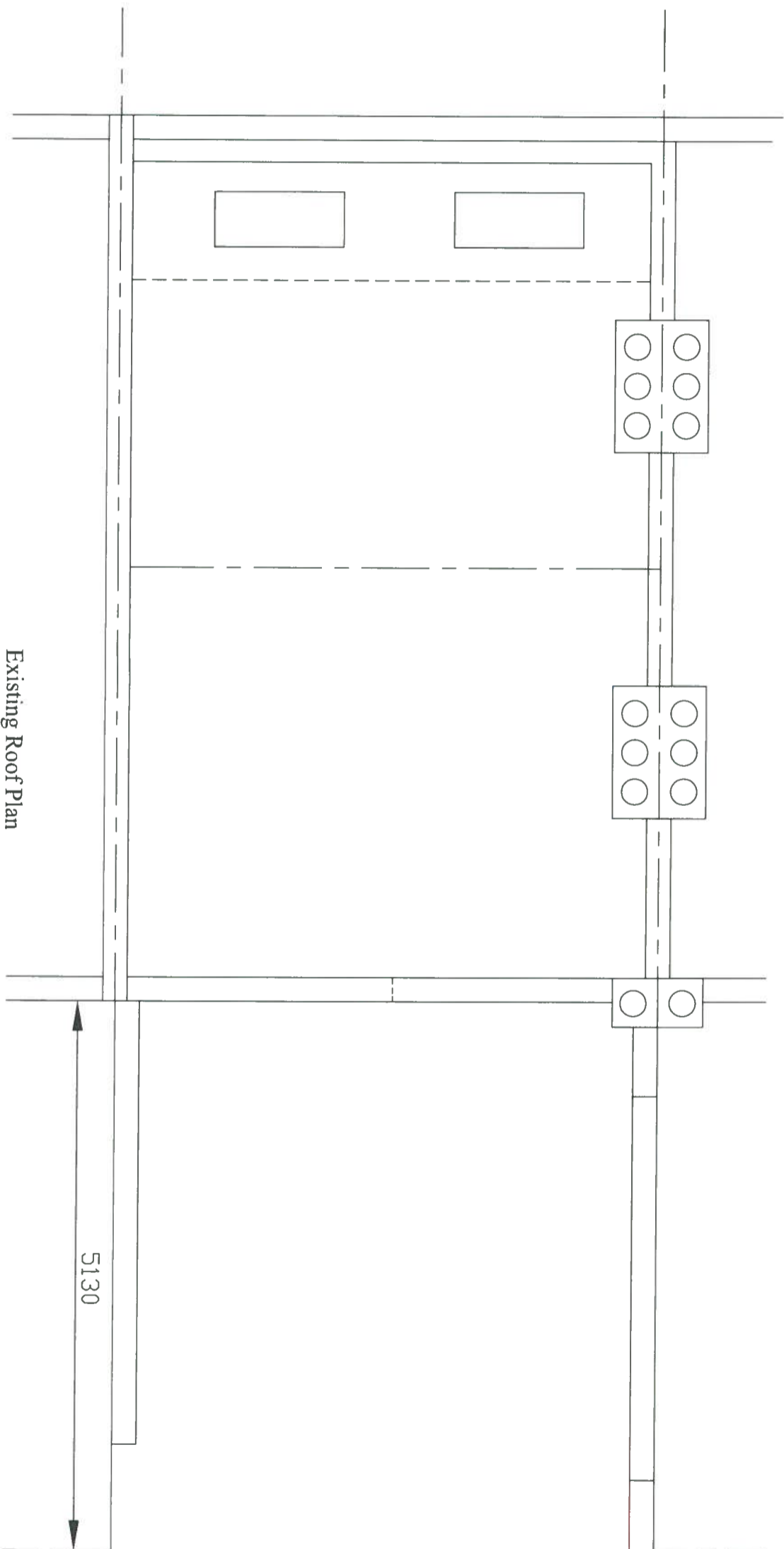
Email:
hemingtonstone@btinternet.com

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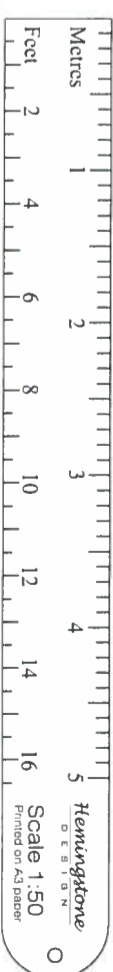
PREPARATIONS AND CHECKS

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DRAWING NUMBER:
HD/NW5 4EB-C/PROP-ROOF

Hemingtonstone

D E S I G N



Proposed
Conservatory

10
82A Queens Crescent
Kentish Town
London
NW5 4EB

for
Mr R. Mullane
Tel No 0797 073 4383

Local Planning Authority:
London Borough of Camden

- Legend
- Tiled Roof
 - Stud Partition
 - Blockwork
 - Brickwork

Hemingtonstone

D E S I G N

Unit 1
Claydon Business Park
Great Blakenham
Ipswich
Suffolk
IP6 0NL

Telephone:
0771 400 3663

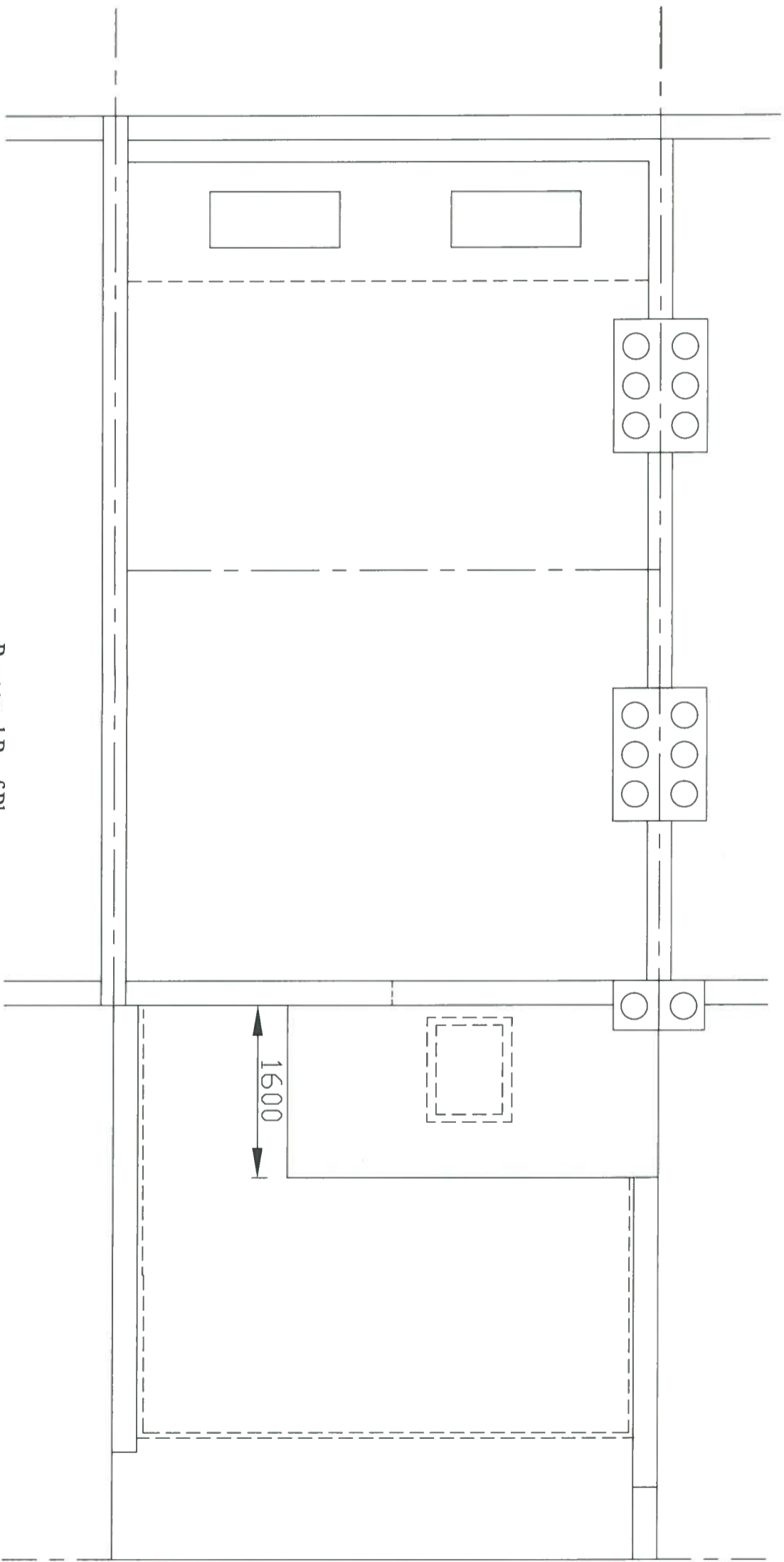
Email:
hemingtonstone@btinternet.com

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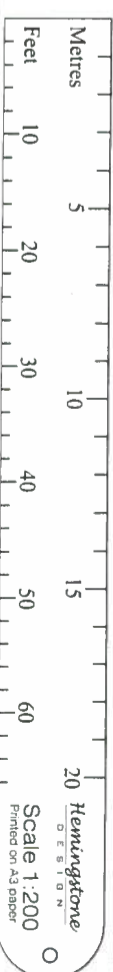
Proposed Roof Plan

PREPARATIONS AND CHECKS

Contractors must verify all dimensions, levels and boundaries on site before commencing any works. All existing inlets, beams, foundations etc. taking any new loads are to be exposed and re-assessed for the new load, and to be re-inforced, or replaced as necessary at the discretion of the Local Authority.

DRAWING NUMBER:
HD/NW5 4EB-C/SITE

Hemmingsstone
DESIGN







Proposed
Conservatory

to
82A Queens Crescent
Kentish Town
London
NW5 4EB

for
Mr R. Mullane
Tel No 0797 073 4383

Local Planning Authority:
London Borough of Camden

- Legend
-  Tiled Roof
 -  Stud Partition
 -  Blockwork
 -  Brickwork

Hemmingsstone
DESIGN

Unit 1
Claydon Business Park
Great Blakenham
Ipswich
Suffolk
IP6 0NL

Telephone:
0771 400 3663

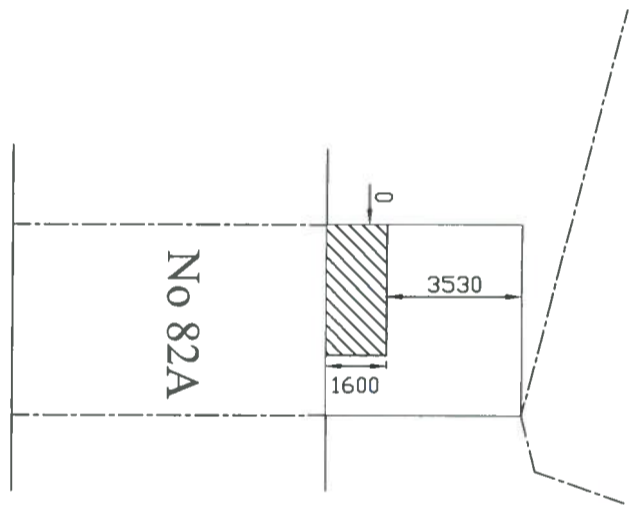
Email:
hemmingsstone@btinternet.com

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Queen's Crescent