

**29 NEW END
NW3 1JD**

**MINOR MATERIAL AMENDMENT APPLICATION
25 AUGUST 2017**

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CLIENT

THE LINTON GROUP

DESIGN TEAM

ARCHITECT
KSR ARCHITECTS
PLANNING CONSULTANT
SAVILLS

STRUCTURAL ENGINEER
ROSS & PARTNERS

MEP ENGINEER
HOARE LEA

1.1 THE PROJECT

This submission relates to a development proposal at 29 New End which received planning permission on 2nd February 2015 following a Planning Appeal. REF. NO: 14/04393/FULL.

The planning permission allows for the demolition of the existing building at 29 New End and creation of 17 residential (C3) units over the lower ground, ground, first, second, third, fourth and fifth floor levels, creation of new vehicular access and access to basement parking for 17 cars, works to boundary wall, and works of hard and soft landscaping and other works incidental to the application, following demolition of existing nurses hostel.

The project has begun construction and the team has been active in refining the design and incorporating structure, services and other elements required for construction detailing.

As part of the process, the internal arrangement of apartments and common areas etc have been developed and refined.

In developing these aspects, there have been minor implications for elements of the scheme both in regard to elevational treatment and plan forms.

Meetings have been held on the 18th May 2016, 21st September 2016 and 1st February 2017 with David Fowler and Charles Rose to review the changes to the approved drawings. Further submission of drawings was made on the 10th February following the pre - application meeting.

A pre - application advice response REF 2016/2588/PRE was received on the 29th June 2017.

This submission identifies the changes to the permitted scheme as a result of design development and in response to discussions at the pre - application meetings and the response letter.

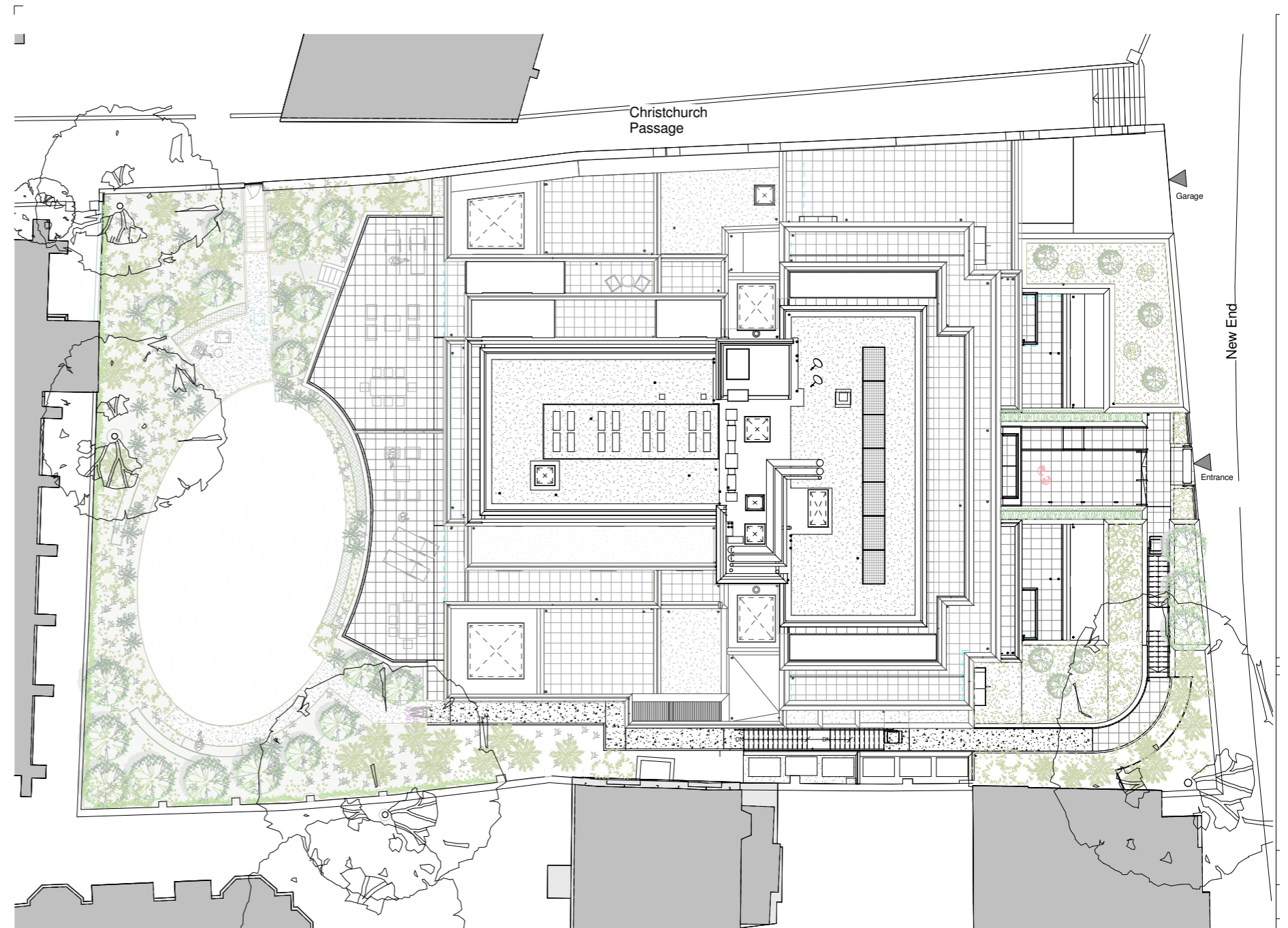
1.2 AMENDMENT SUMMARY

The principal elements of the approved scheme are retained within the current proposal, and the proposed minor amendments are as a result of design development and refinement of the elevational treatment and enhancement of the overall scheme.

The internal reconfiguring of the apartments have been the primary focus of the design team, and only minor, consequential amendment to the external appearance following structural and services coordination and detailing refinement.

The changes to the scheme are explained in detail within this report and are labelled on the drawings. The following identifies the principal amendments.

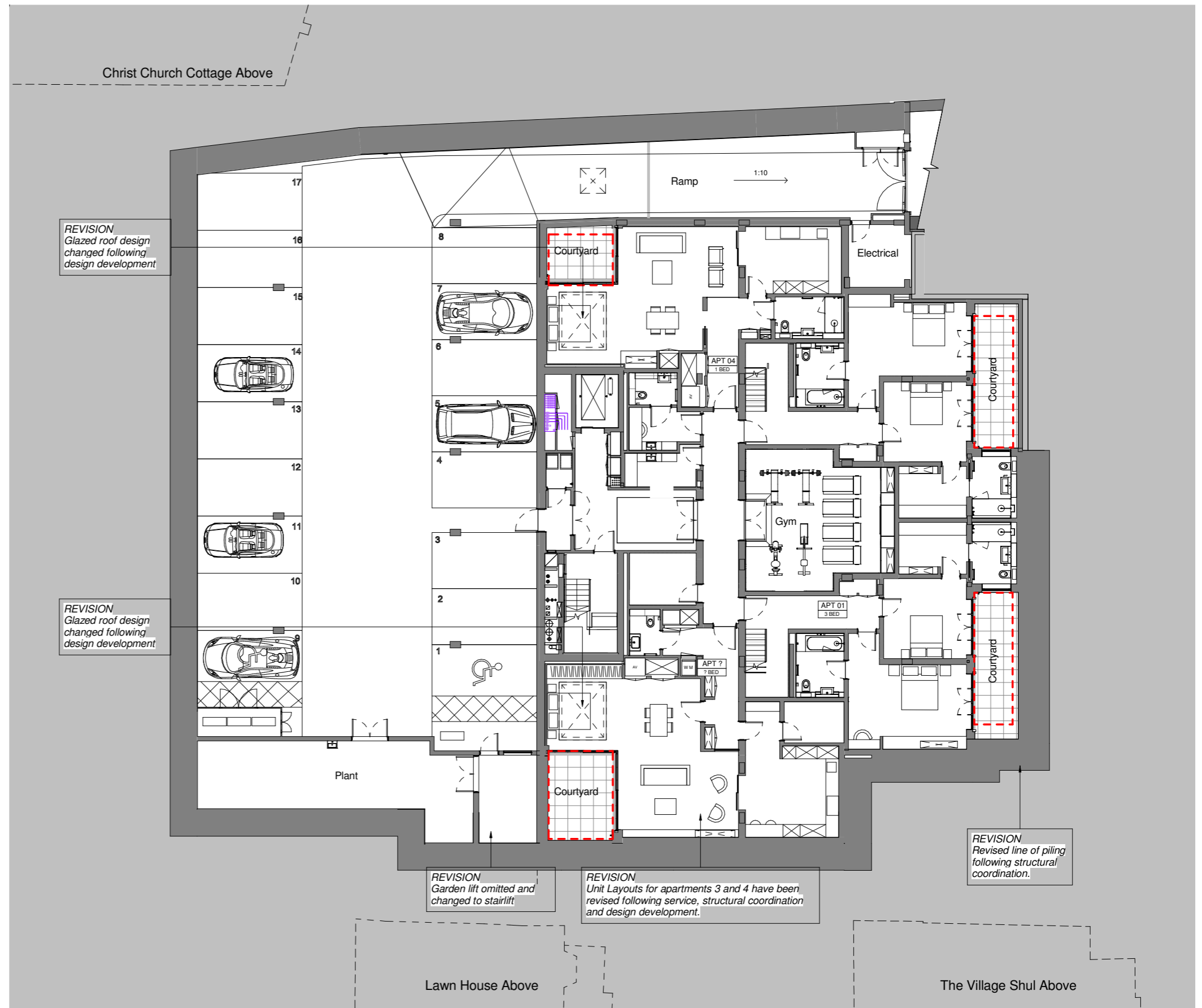
- Revision of garden lift to stairlifts.
- Revision to path to clear root protection area and revision of ramp.
- Adjustments to parapet details and roofline including increase in height of about 250mm.
- Perimeter footprint of penthouse.
- Minor elevational changes and additional windows in recesses.
- Lift overrun.
- Revision to recess lift into building and change high level to brickwork.
- Revision to make external wall of stair consistent for its whole height.
- Roof plant enclosure enlarged and relocated following services coordination.
- Change to balcony above entrance area and rationalisation of railings.
- Rooflights to Apt 1 and 2 bedrooms and extension to ground floor terraces above.
- Revisions of flat roofs to terraces from Bed 4 of Apts 8 and 9.
- Revision to glazed conservatory to apartments 3, 4, 5 and 6.



PROPOSED SITE PLAN

2.1 LOWER GROUND FLOOR PLAN AMENDMENTS

1. Services. Following services coordination there have been alterations to the plant enclosure, cycle store and refuse area. These do not impact on the external facade.
2. Revised line of piling.
3. Unit layouts for apartments 1, 2, 3 and 4 have been revised following service and structural coordination and design development. The changes do not alter the external reading of the facade.
4. Garden lift omitted and changed to stairlift.
5. Changes to glazed extension to apartments 3 and 4.



PROPOSED LOWER GROUND FLOOR PLAN

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2.2 GROUND FLOOR PLAN AMENDMENTS

1. Additional window added into recess.
2. Revised line of piling.
3. Garden lift omitted and changed to stairlift.
4. Path to clear root protection area and revision of ramp and stair, location changed.
5. Extension of terrace, to Apartments 1 & 2.
6. Unit layouts for apartments 1, 2, 5 and 6 have been revised following service and structural coordination and design development.
7. Changes to glazed extension for units 5 & 6.



PROPOSED GROUND FLOOR PLAN

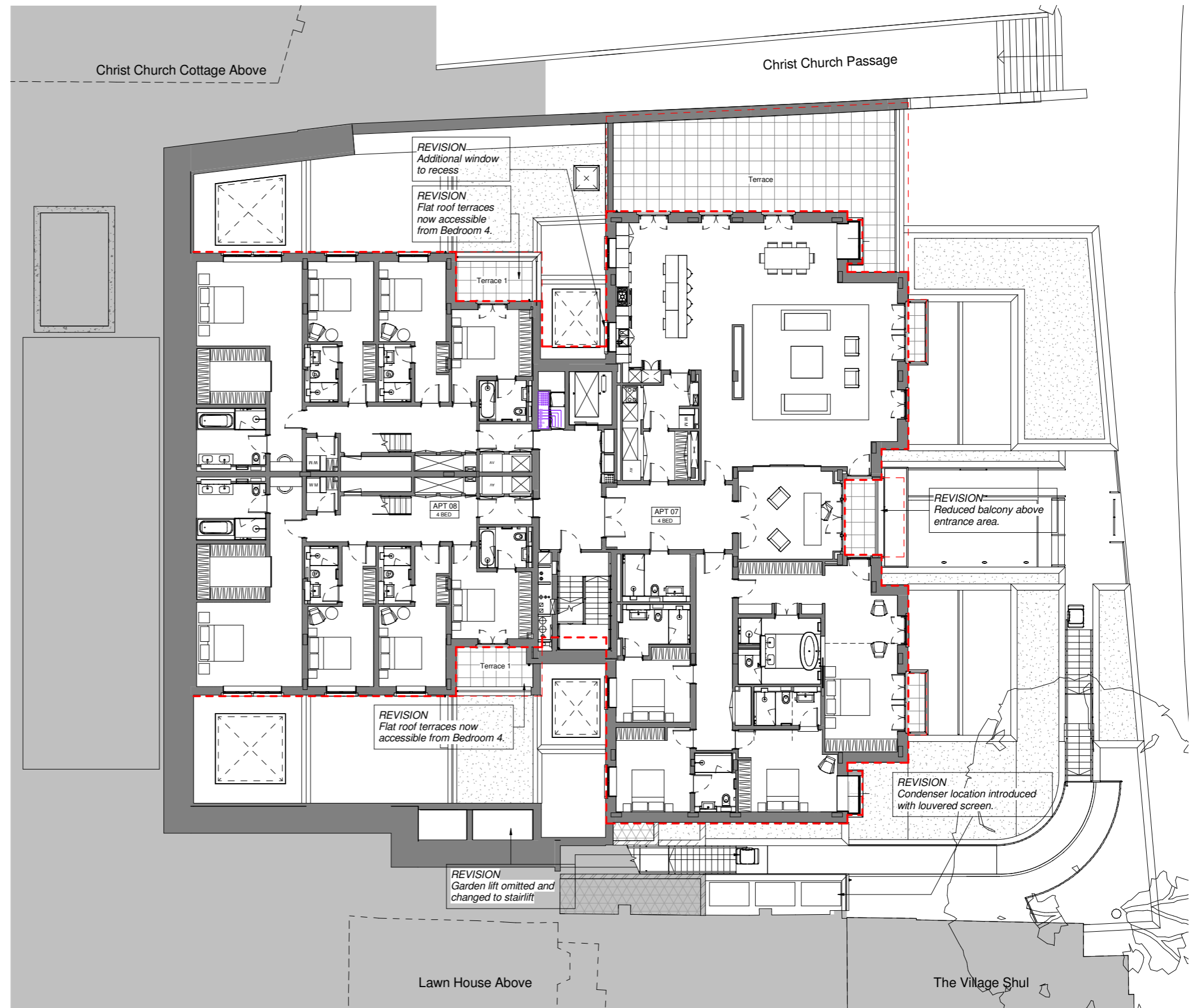
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2.3 FIRST FLOOR PLAN AMENDMENTS

1. Additional window added into recess.
2. Flat roof terraces now accessible from Bedroom 4 in apartment 8 and 9.
3. Garden lift omitted and changed to stairlift
4. Revision to balcony above entrance area.
5. Unit layouts for apartments 7, 8 and 9 have been revised following service and structural coordination and design development. The changes do not alter the external reading of the facade.
6. Addition of condenser units (air conditioning) along Garden Path behind a louvred screen.



PROPOSED FIRST FLOOR PLAN

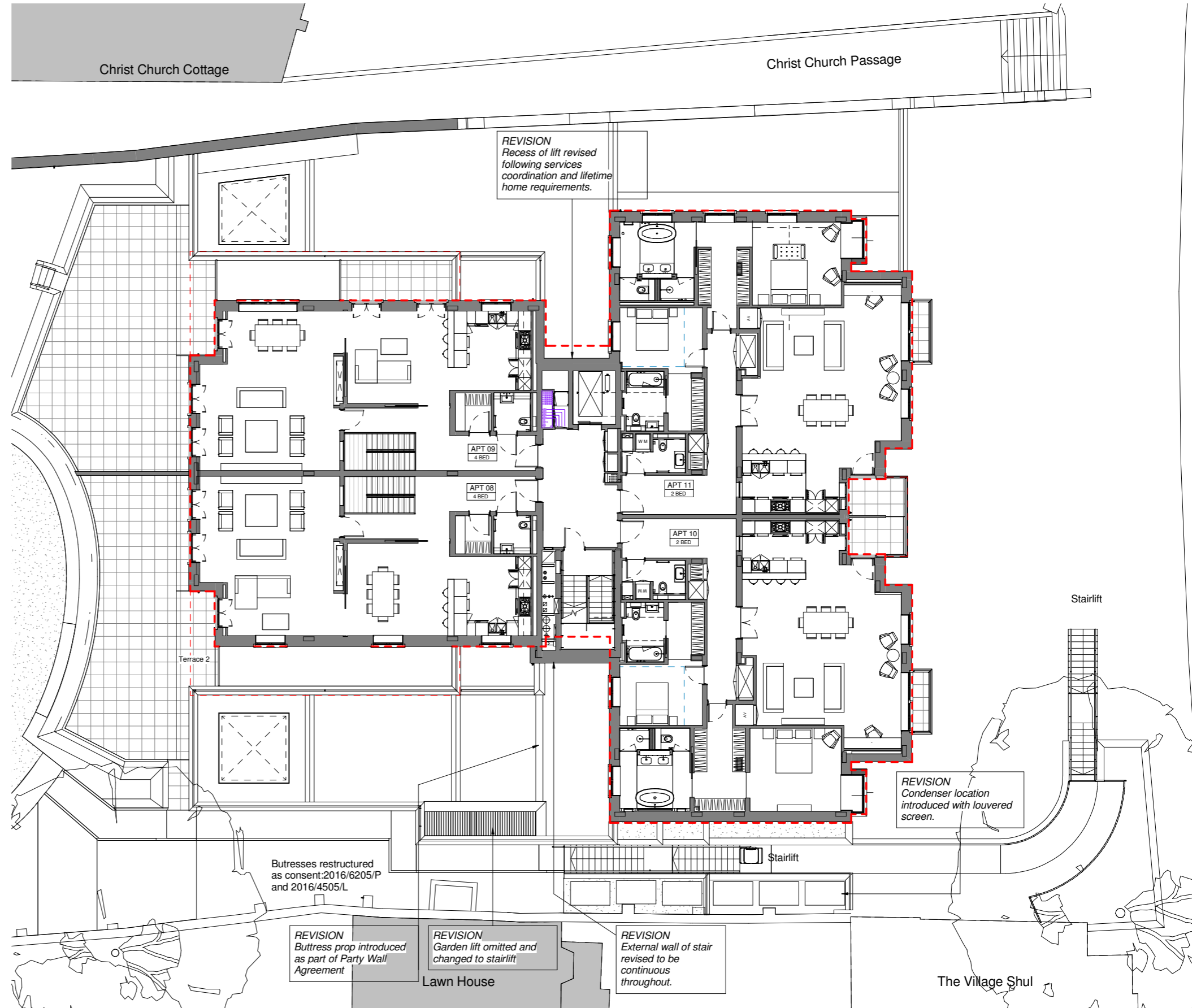
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2.4 SECOND FLOOR PLAN AMENDMENTS

1. Recess of lift revised.
2. External wall of stair revised.
3. Garden lift omitted and changed to stairlift.
4. Unit layouts for apartments 8, 9, 10 and 11 have been revised following service and structural coordination and design development. Minor alterations to window locations to coordinate plan changes.
5. Addition of condenser units (air conditioning) along Garden Path behind a louvred screen.
6. Buttress prop introduced as part of Party Wall Agreement.



PROPOSED SECOND FLOOR PLAN

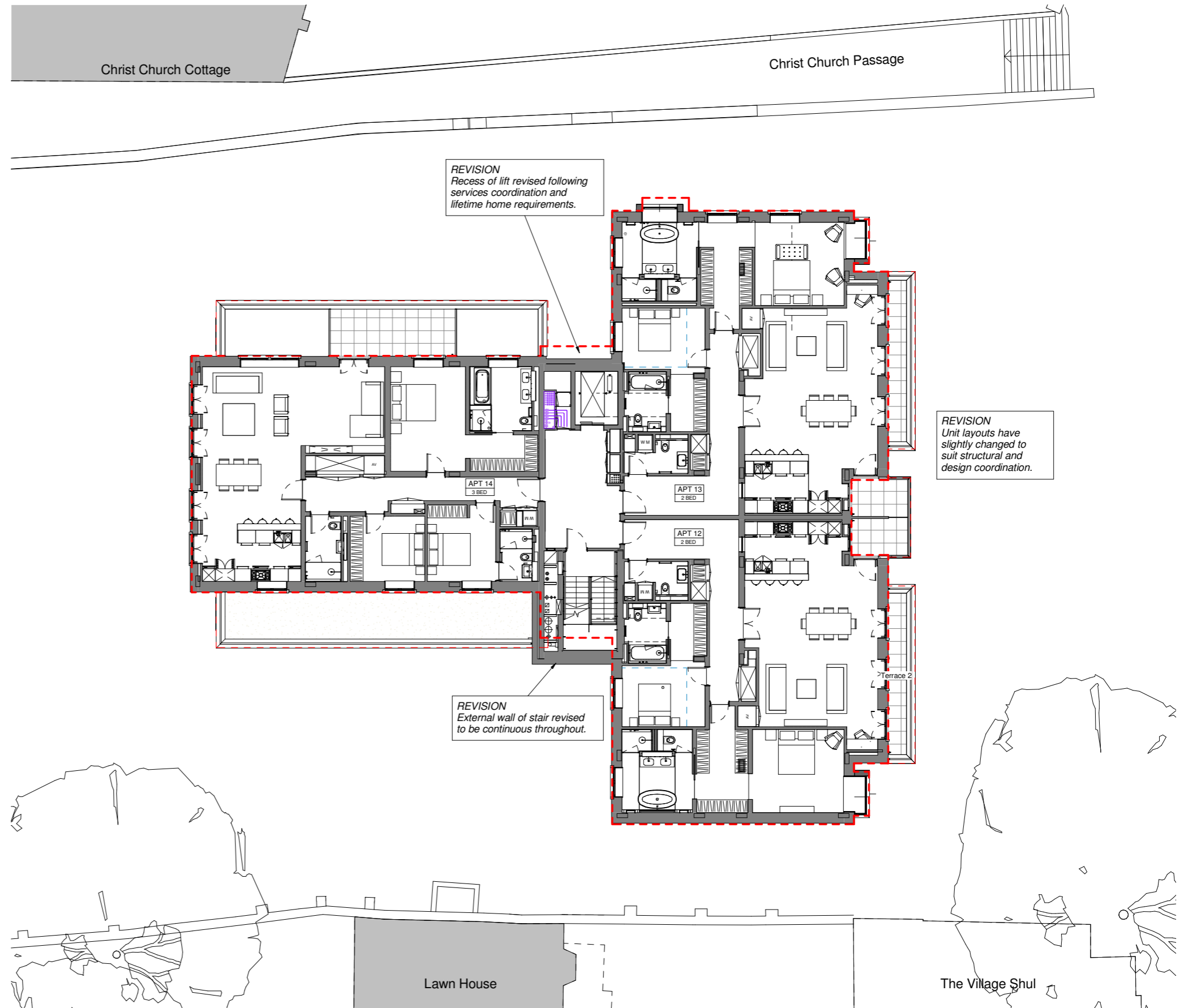
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2.5 THIRD FLOOR PLAN AMENDMENTS

1. Unit layouts for apartments 12, 13 and 14 have been revised following service and structural coordination and design development. Minor alterations to window locations to coordinate plan changes.
2. Recess of lift revised.
3. External wall of stair revised.



PROPOSED THIRD FLOOR PLAN

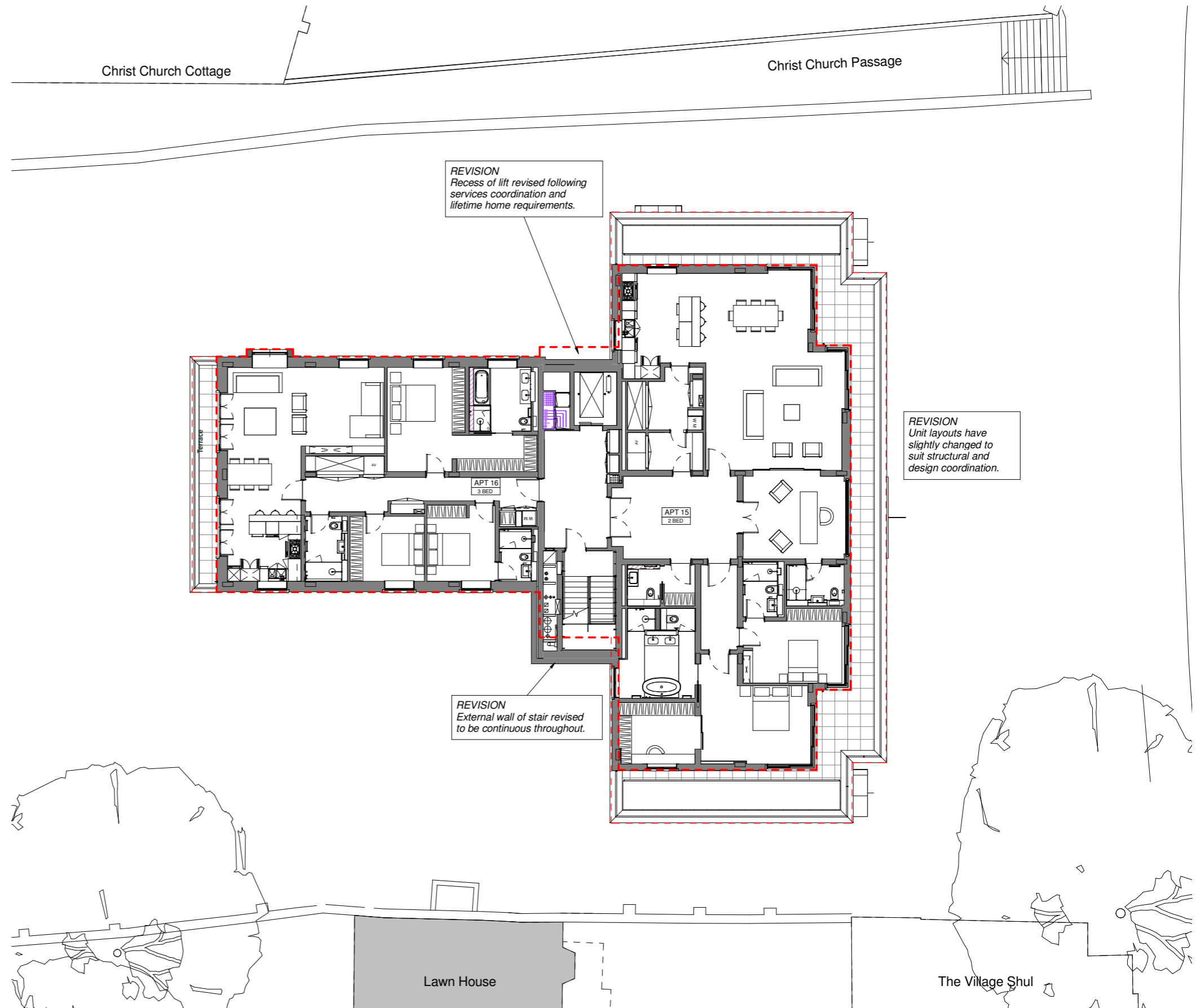
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2.6 FOURTH FLOOR PLAN AMENDMENTS

1. Unit layouts for apartments 15 and 16 have been revised following service and structural coordination and design development. Minor alterations to window locations to coordinate plan changes.
2. Recess of lift revised.
3. External wall of stair revised.



PROPOSED FOURTH FLOOR PLAN

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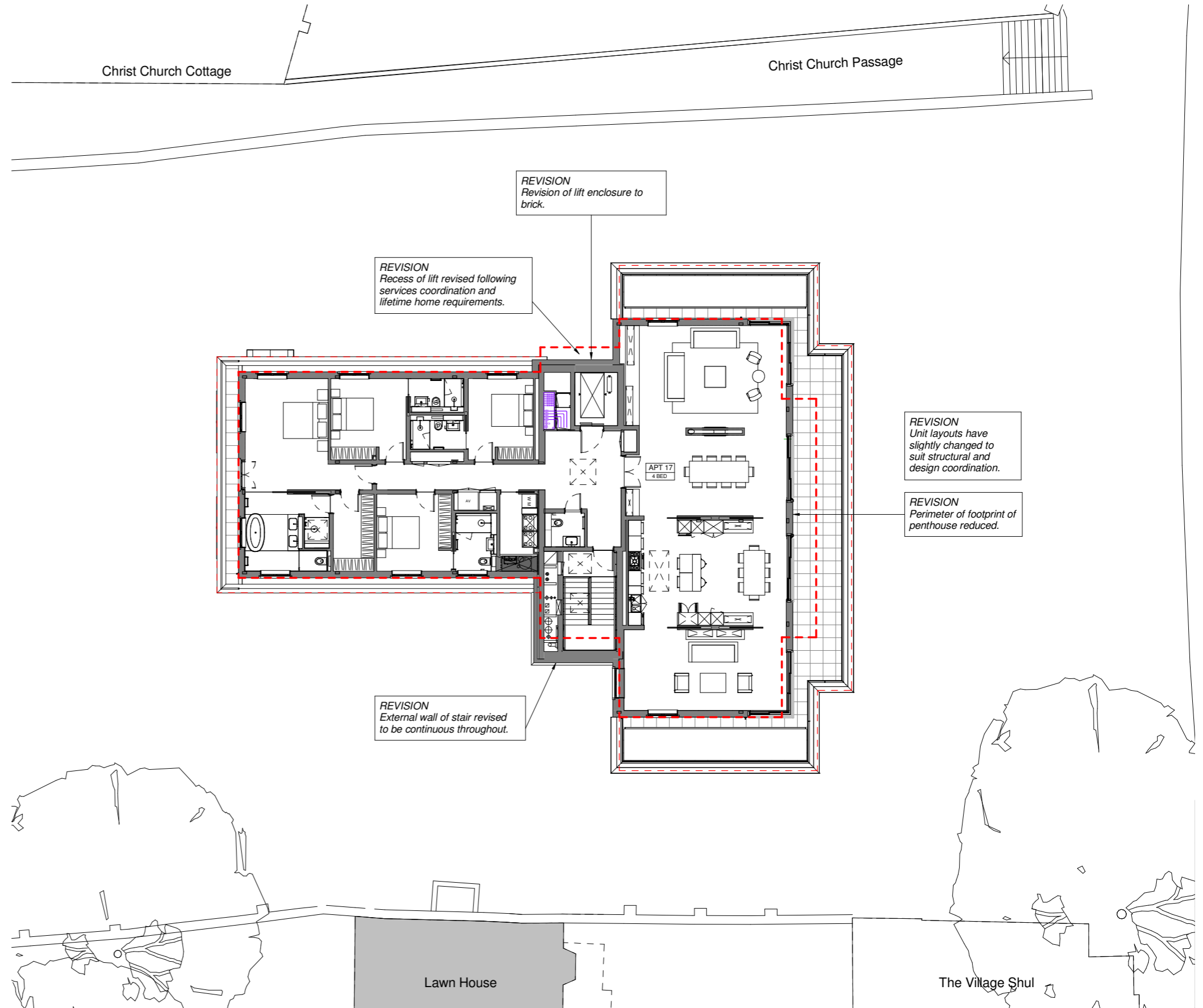
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2.7 FIFTH FLOOR PLAN AMENDMENTS

1. Unit layouts for apartment 17 have been revised following service and structural coordination and design development. Minor alterations to window locations to coordinate plan changes.

1. Recess of lift revised.
2. External wall of stair revised.
3. Front facade recessed to increase terrace area.
4. Minor Revision of lift enclosure to brick.



PROPOSED FIFTH FLOOR PLAN

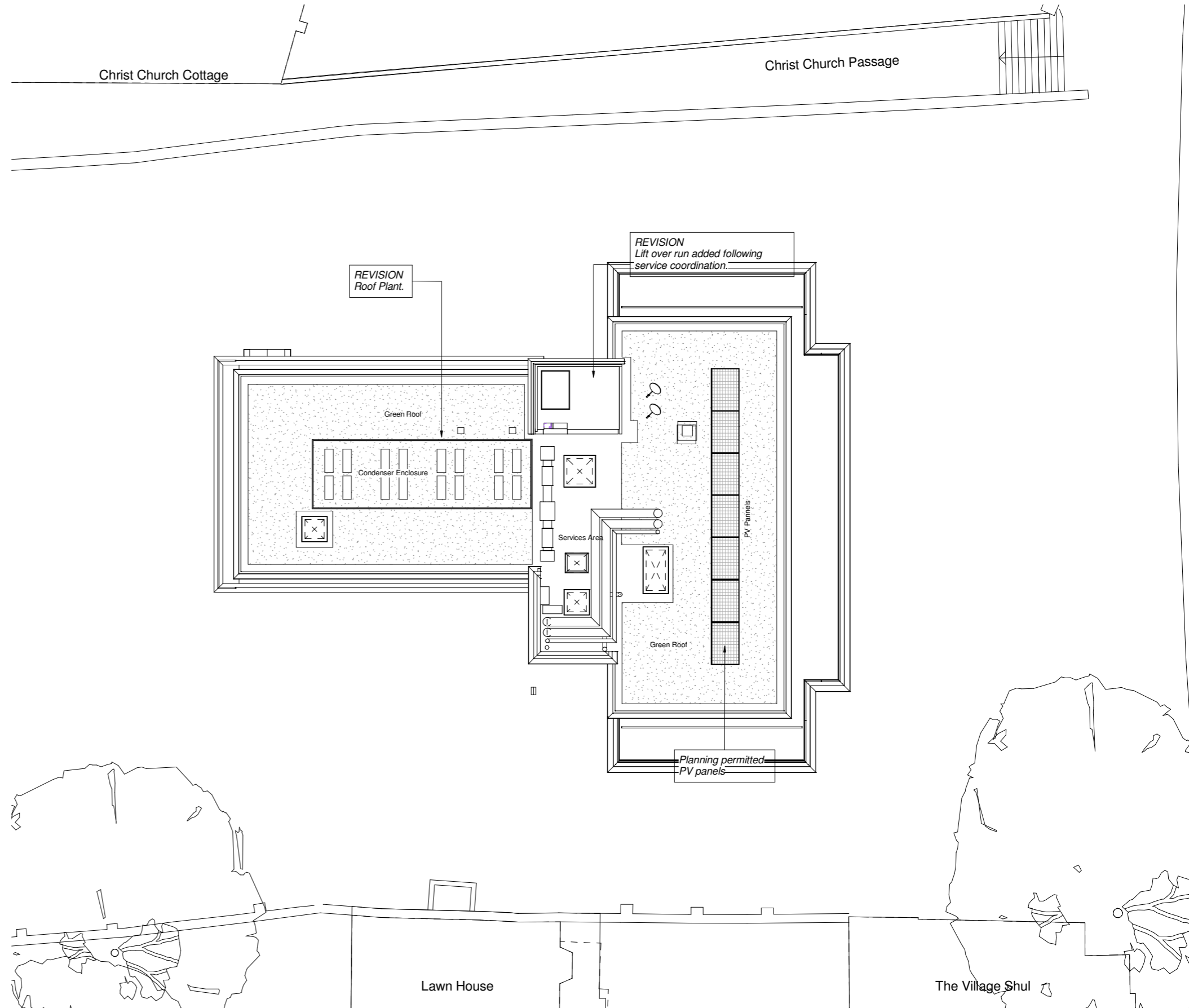
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2.8 ROOF PLAN AMENDMENTS

1. Lift over run added.
2. Roof plant enclosure enlarged and relocated following services coordination.
3. Roof plants added due to services development.



PROPOSED ROOF PLAN

--- Planning permitted footprint

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