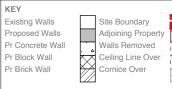
1:50 @ A3

#### **LOCATION PLAN** 1 1:1250



#### **BLOCK PLAN** 2 1:500







GENERAL NOTE

Refer to 000's for existing drawings Refer to 100's for proposed plans Refer to 200's for proposed elevations Refer to 300's for proposed sections Refer to 400's for room elevations Refer to 500's for details Refer to 600's for schedules

**PLANNING** 

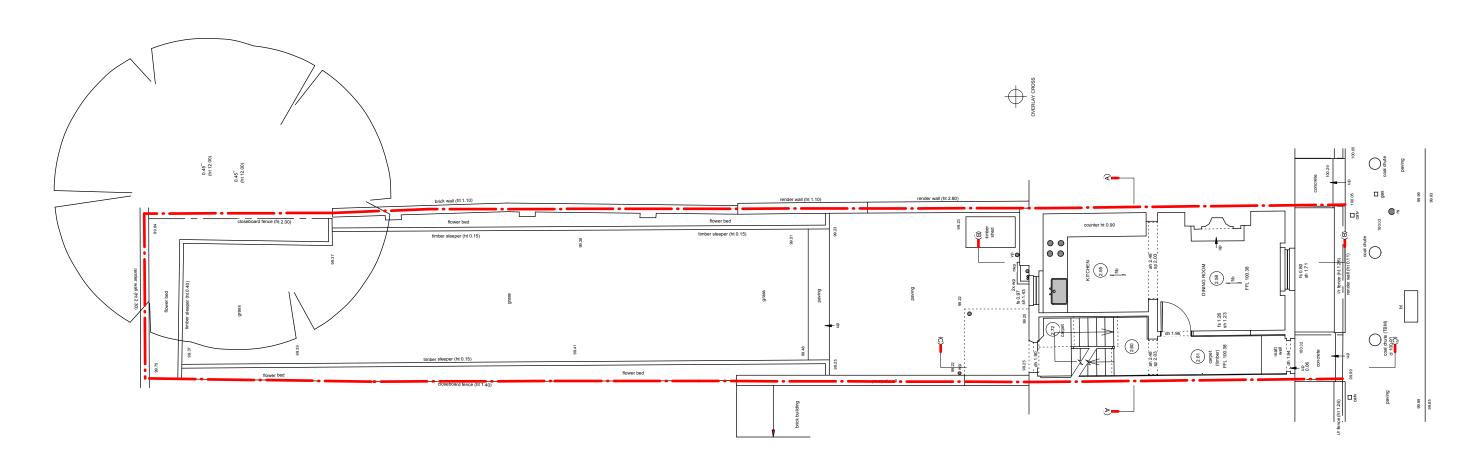
STATUS

NO. REVISION DATE A Planning Application 21.08.17 DO NOT SCALE FROM THIS DRAWING

Project Stage Date Project No. Drawn By Title Scale JEFFREYS STREET PLANNING SEPT 2017 VT Title Scale OS PLAN 1:500/1:1250
Drawing No. / Rev 000

APP 1 - A

1:20 @ A3 1m 2m 3m 4m 1:100 1m 2m 3m 4m 1:200 2m 3m 4m 5m 6m 7m 8m 9m 1:500 10m 20m 1:1250 20m 30m 40m 50



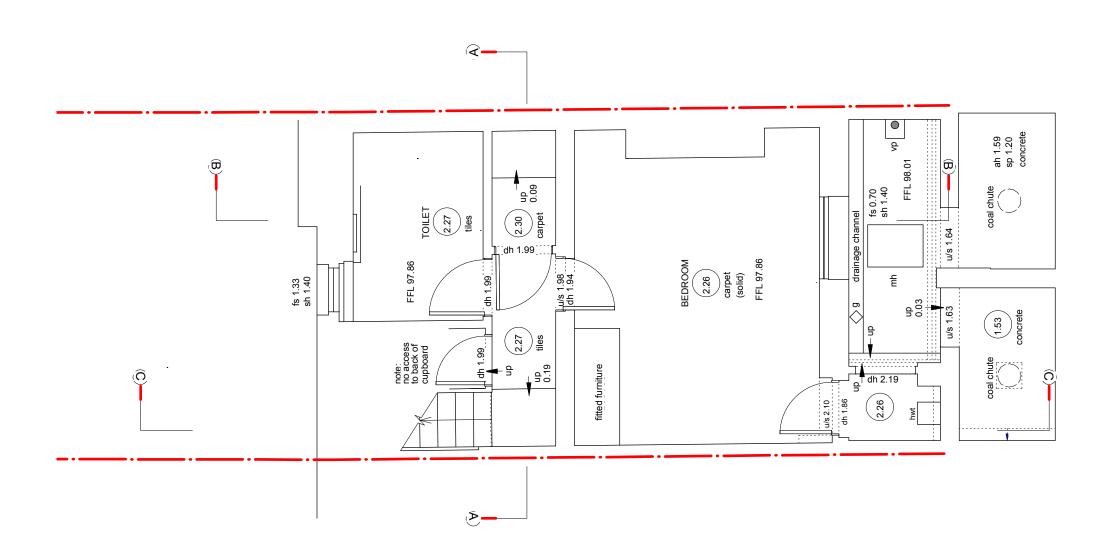


Project Stage Date Project No. Drawn By Title Scale **JEFFREYS STREET** PLANNING SEPT 2017

APP 1 - A

VT

Title Scale SITE PLAN 1:100
Drawing No. / Rev 001



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Existing Walls Proposed Walls Pr Concrete Wall Pr Block Wall Pr Brick Wall

Site Boundary
Adjoining Property
Walls Removed
Ceiling Line Over
Cornice Over



GENERAL NOTE

Refer to 000's for existing drawings Refer to 100's for proposed plans Refer to 200's for proposed elevations Refer to 300's for proposed sections Refer to 400's for room elevations Refer to 500's for details Refer to 600's for schedules

STATUS

**PLANNING** 

NO. REVISION DATE

A Planning Application 21.08.17

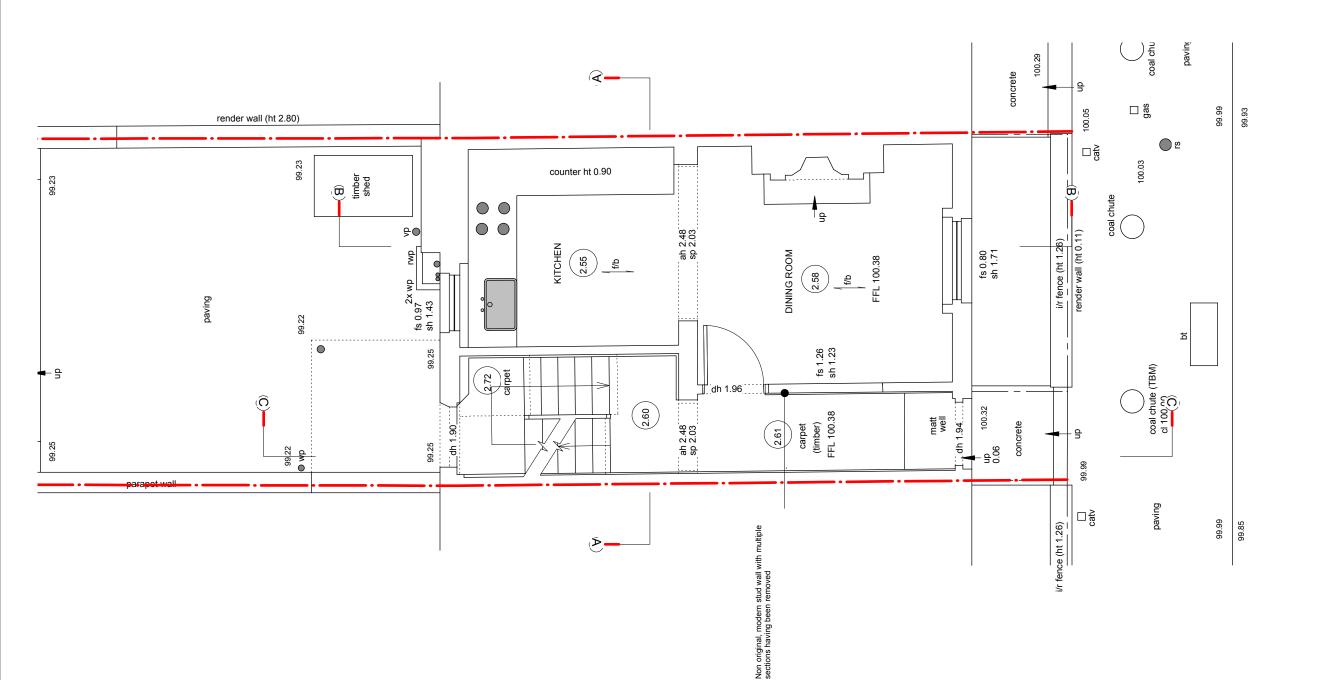
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Project Stage Date Project No. Drawn By Title Scale

**JEFFREYS STREET** PLANNING SEPT 2017 VT EXISTING PLANS 1:50

APP 1 - A Drawing No. / Rev 002

1:20 @ A3 1m 1:50 @ A3 1m 2m 3m 4m 1:100 1m 2m 3m 4m 1:200 2m 3m 4m 5m 6m 7m 8m 9m 1:500 10m 20m 1:1250 20m 30m 40m



# JEFFREYS STREET GROUND FLOOR PLAN

KEY
Existing Walls
Proposed Walls
Pr Concrete Wall
Pr Block Wall
Pr Brick Wall
Pr Brick Wall



GENERAL NOTE

Refer to 000's for existing drawings Refer to 100's for proposed plans Refer to 200's for proposed elevations Refer to 300's for proposed sections Refer to 400's for room elevations Refer to 400's for come elevations Refer to 600's for schedules

**PLANNING** 

NO. REVISION DATE
A Planning Application 21.08.17

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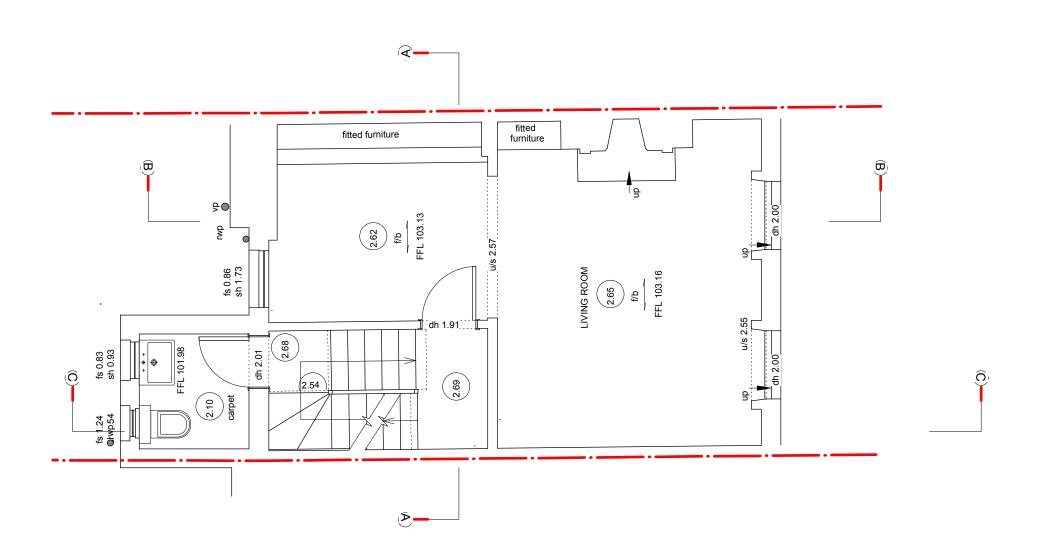
Project Stage PLANNING SEPT 2017
Project No. Drawn By Title Scale PLANNING SEPT 2017

SEPT 2017

VT

TITLE STING PLANS 1:50

Drawing No. / Rev 003 APP 1 - A



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Existing Walls Proposed Walls Pr Concrete Wall Pr Block Wall Pr Brick Wall

Site Boundary
Adjoining Property
Walls Removed
Ceiling Line Over
Cornice Over



GENERAL NOTE

Refer to 000's for existing drawings Refer to 100's for proposed plans Refer to 200's for proposed elevations Refer to 300's for proposed sections Refer to 400's for room elevations Refer to 500's for details Refer to 600's for schedules

STATUS

**PLANNING** 

NO. REVISION DATE

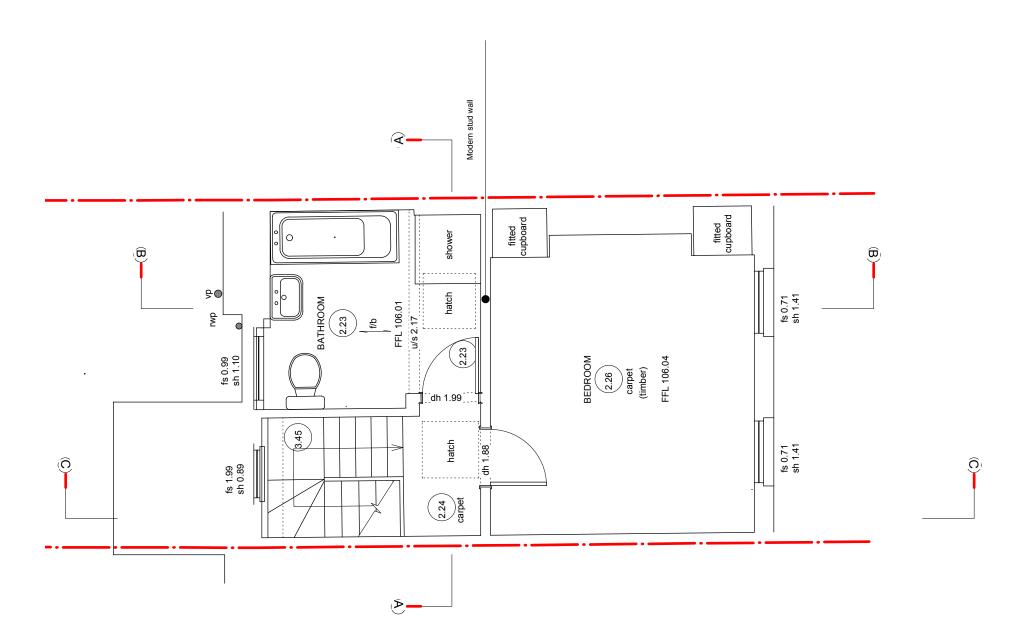
A Planning Application 21.08.17

DO NOT SCALE FROM THIS DRAWING

Project Stage Date Project No. Drawn By Title Scale JEFFREYS STREET PLANNING SEPT 2017 VT

EXISTING PLANS 1:50

Drawing No. / Rev 004 APP 1 - A



#### PLAN $\mathcal{L}$ 00 \_ Ц 0 N O $\circ$ Ш S

Existing Walls Proposed Walls Pr Concrete Wall Pr Block Wall Pr Brick Wall

Site Boundary
Adjoining Property
Walls Removed
Ceiling Line Over
Cornice Over



GENERAL NOTE

Refer to 000's for existing drawings Refer to 100's for proposed plans Refer to 200's for proposed elevations Refer to 300's for proposed sections Refer to 400's for room elevations Refer to 500's for details Refer to 600's for schedules

STATUS

**PLANNING** 

NO. REVISION DATE

A Planning Application 21.08.17

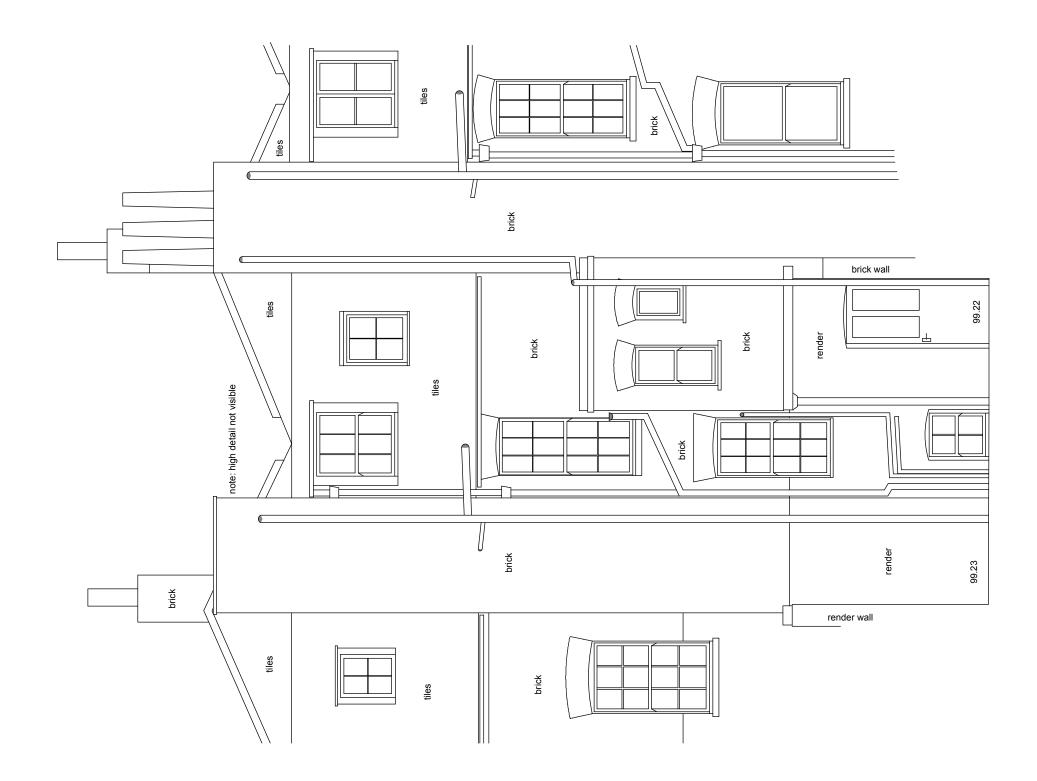
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Project Stage Date Project No. Drawn By Title Scale

**JEFFREYS STREET** PLANNING SEPT 2017 VT

EXISTING PLANS 1:50 Drawing No. / Rev 005 APP 1 - A

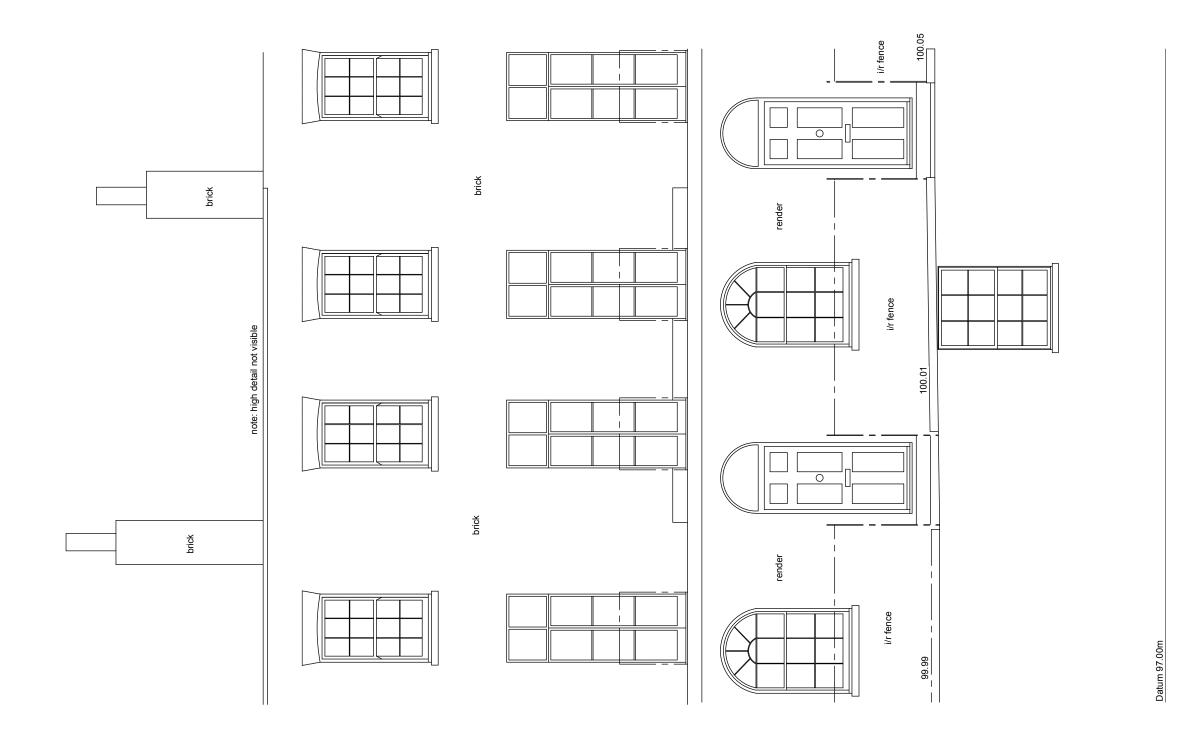
1:20 @ A3 1m 2m 3m 4m 1:100 1m 2m 3m 4m 1:200 2m 3m 4m 5m 6m 7m 8m 9m 1:500 10m 20m 1:1250 20m 30m 40m



Project Stage Date Project No. Drawn By Title Scale **JEFFREYS STREET** PLANNING SEPT 2017 GENERAL NOTE STATUS DO NOT SCALE FROM THIS DRAWING NO. REVISION DATE Site Boundary
Adjoining Property
Walls Removed
Ceiling Line Over
Cornice Over Refer to 000's for existing drawings Refer to 100's for proposed plans Refer to 200's for proposed elevations Refer to 300's for proposed sections Refer to 400's for room elevations Refer to 500's for details Refer to 600's for schedules Existing Walls A Planning Application 21.08.17 Proposed Walls **PLANNING** VT Pr Concrete Wall EXISTING ELEVATIONS 1:50 Pr Block Wall Pr Brick Wall Drawing No. / Rev 010 APP 1 - A

REAR ELEVATION

1:20 @ A3 1m 2m 3m 4m 1:100 1m 2m 3m 4m 1:200 2m 3m 4m 5m 6m 7m 8m 9m 1:500 10m 20m 1:1250 20m 30m 40m 5







KITCHEN

HALLWAY

STATUS

100.38

100.38

note: no access to loft space detail assumed LOFT SPACE 108.36 106.01 LOFT SPACE 108.36 106.01

98 97.86 98.05

SECTION A-A

Datum 97.00m

note: no access to loft space detail assumed

Site Boundary
Adjoining Property
Walls Removed
Ceiling Line Over
Cornice Over Existing Walls Proposed Walls Pr Concrete Wall Pr Block Wall Pr Brick Wall

GENERAL NOTE

Refer to 000's for existing drawings Refer to 100's for proposed plans Refer to 200's for proposed elevations Refer to 300's for proposed sections Refer to 400's for room elevations Refer to 500's for details Refer to 600's for schedules

unit

103.13

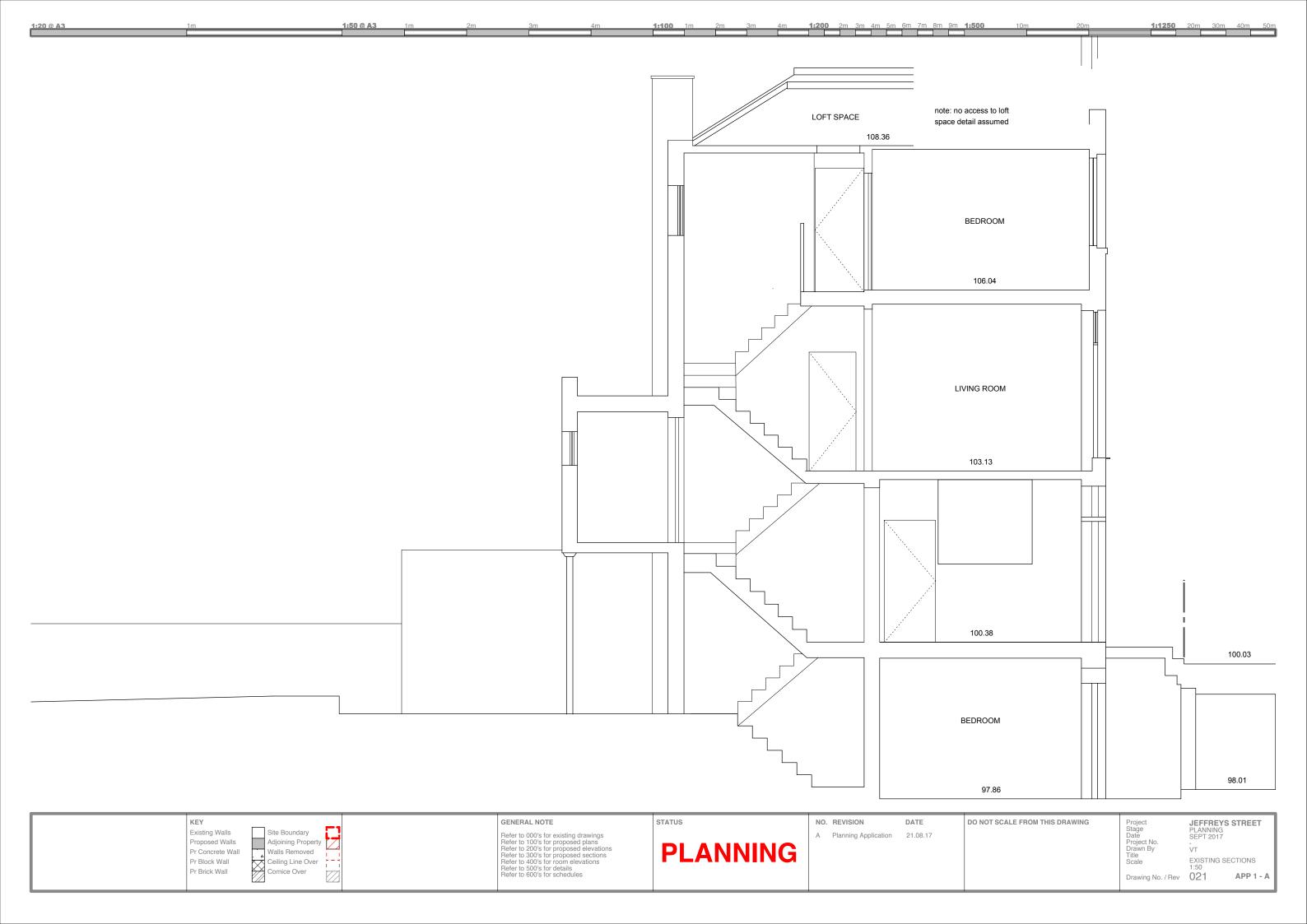
103.13

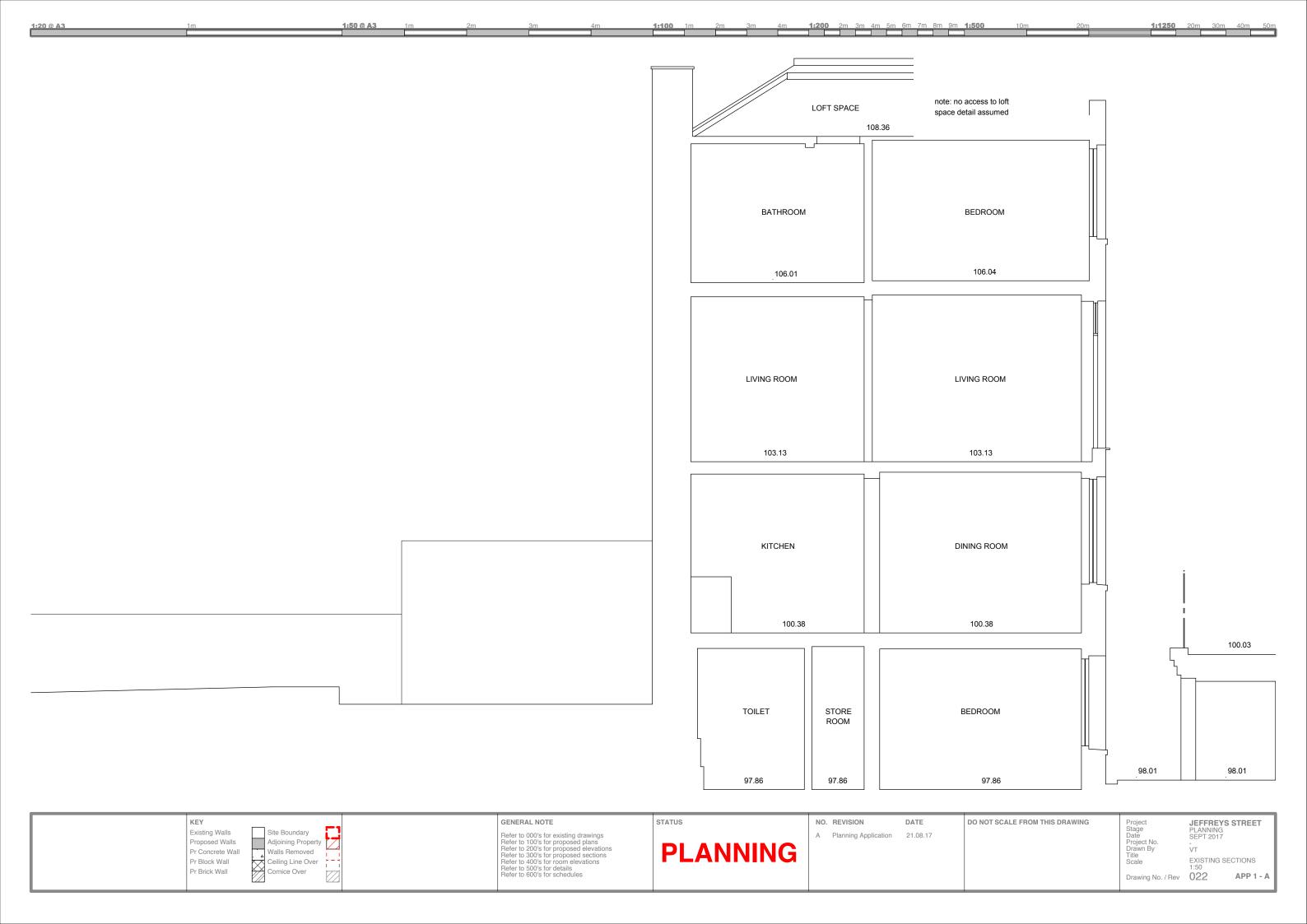
**PLANNING** 

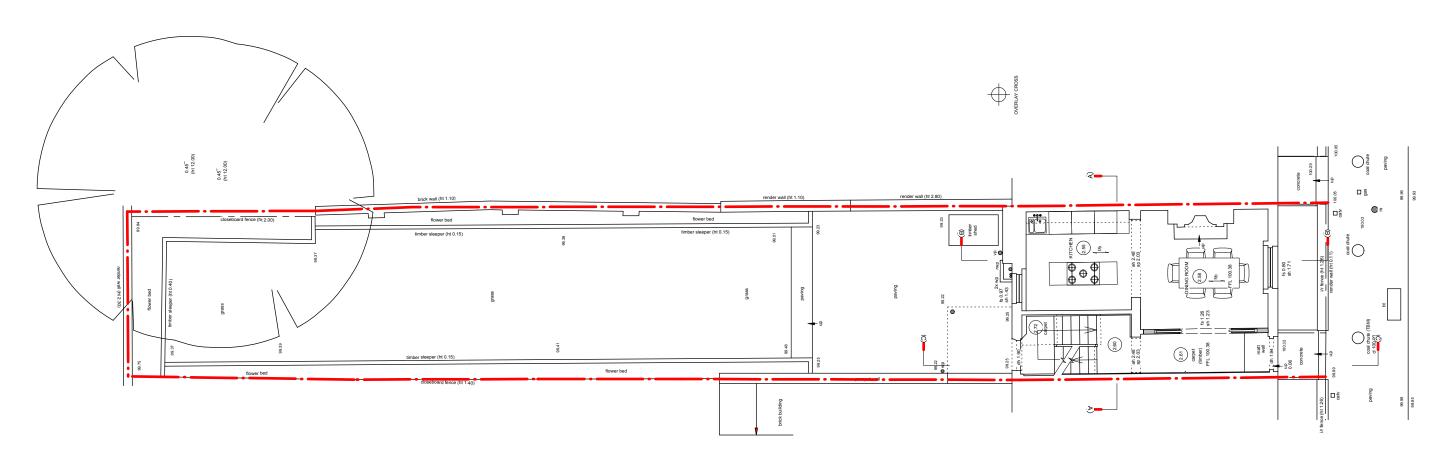
NO. REVISION DATE A Planning Application 21.08.17 DO NOT SCALE FROM THIS DRAWING

Project Stage Date Project No. Drawn By Title Scale **JEFFREYS STREET** PLANNING SEPT 2017 VT

EXISTING SECTIONS 1:50 Drawing No. / Rev 020 APP 1 - A







JEFFREYS STREET GROUND FLOOR PLAN

GENERAL NOTE

Refer to 000's for existing drawings Refer to 100's for proposed plans Refer to 200's for proposed elevations Refer to 300's for proposed sections Refer to 400's for room elevations Refer to 500's for details Refer to 600's for schedules

**PLANNING** 

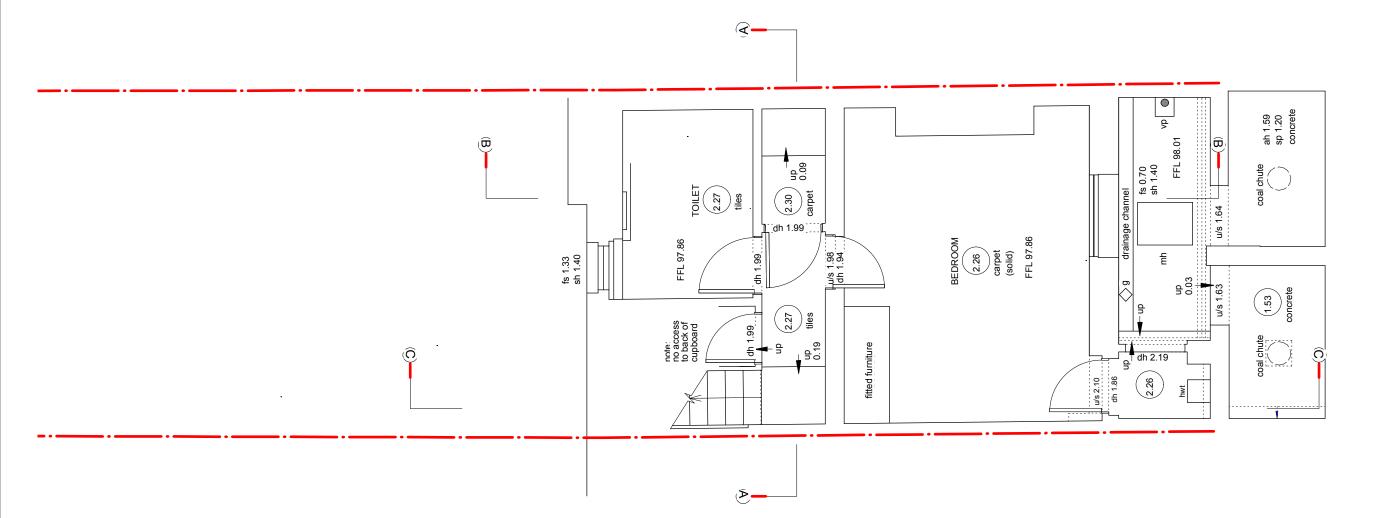
STATUS

NO. REVISION DATE A Planning Application 21.08.17 DO NOT SCALE FROM THIS DRAWING

Project Stage Date Project No. Drawn By Title Scale **JEFFREYS STREET** PLANNING SEPT 2017 VT

APP 1 - A

Title Scale SITE PLAN 1:100
Drawing No. / Rev 101



Existing Walls Proposed Walls Pr Concrete Wall Pr Block Wall Pr Brick Wall

Site Boundary
Adjoining Property
Walls Removed
Ceiling Line Over
Cornice Over



GENERAL NOTE

Refer to 000's for existing drawings Refer to 100's for proposed plans Refer to 200's for proposed elevations Refer to 300's for proposed sections Refer to 400's for room elevations Refer to 500's for details Refer to 600's for schedules

STATUS

**PLANNING** 

NO. REVISION DATE

A Planning Application 21.08.17

DO NOT SCALE FROM THIS DRAWING

Project Stage Date Project No. Drawn By Title Scale **JEFFREYS STREET** PLANNING SEPT 2017 VT

PROPOSED PLANS 1:50 APP 1 - A

Drawing No. / Rev 102

ah 2.48 sp 2.03

ah 2.48 sp 2.03

(2.58

fs 1.26 sh 1.23

carpet (timber)

#### PLAN 0 R ROUND FLO G

# STREE

### ഗ EFFREY



Reinstatement of interior wall in place of non original, modern stud wall with multiple sections having been removed.

Project Stage Date Project No. Drawn By Title Scale JEFFREYS STREET PLANNING SEPT 2017 DO NOT SCALE FROM THIS DRAWING VT PROPOSED PLANS 1:50 Drawing No. / Rev 103 APP 1 - A

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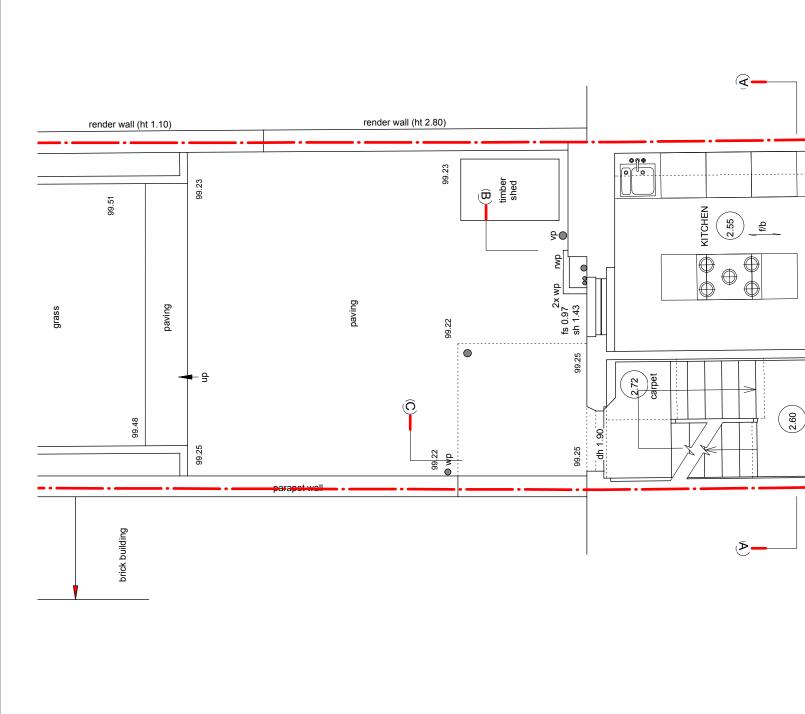
fs 0.80 sh 1.71

matt well

99.99

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99.99



Existing Walls

Pr Block Wall Pr Brick Wall

Proposed Walls

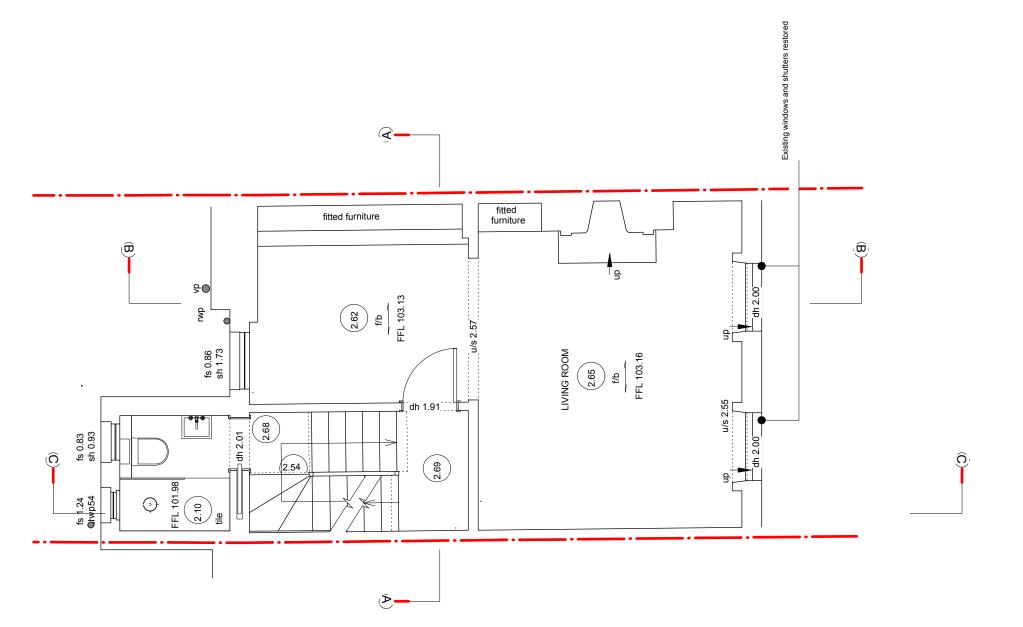
Pr Concrete Wall

Site Boundary

Adjoining Property

Ø,

Adjoining Property
Walls Removed
Ceiling Line Over
Cornice Over





Existing Walls Proposed Walls Pr Concrete Wall Pr Block Wall Pr Brick Wall

Site Boundary
Adjoining Property
Walls Removed
Ceiling Line Over
Cornice Over



GENERAL NOTE

Refer to 000's for existing drawings Refer to 100's for proposed plans Refer to 200's for proposed elevations Refer to 300's for proposed sections Refer to 400's for room elevations Refer to 500's for details Refer to 600's for schedules

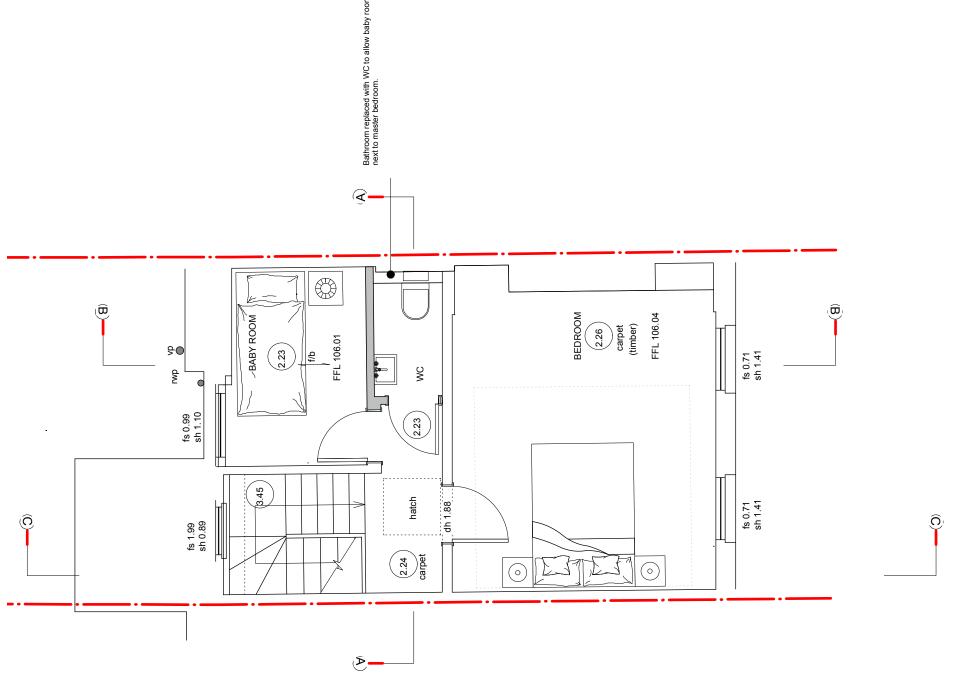
**PLANNING** 

NO. REVISION DATE A Planning Application 21.08.17 DO NOT SCALE FROM THIS DRAWING

Project Stage Date Project No. Drawn By Title Scale **JEFFREYS STREET** PLANNING SEPT 2017 VT

PROPOSED PLANS 1:50 APP 1 - A

## ECOND FLOOR PLAN ഗ



Existing Walls Proposed Walls Pr Concrete Wall Pr Block Wall Pr Brick Wall

Site Boundary
Adjoining Property
Walls Removed
Ceiling Line Over
Cornice Over



GENERAL NOTE

Refer to 000's for existing drawings Refer to 100's for proposed plans Refer to 200's for proposed elevations Refer to 300's for proposed sections Refer to 400's for room elevations Refer to 500's for details Refer to 600's for schedules

STATUS

**PLANNING** 

NO. REVISION

A Planning Application 21.08.17

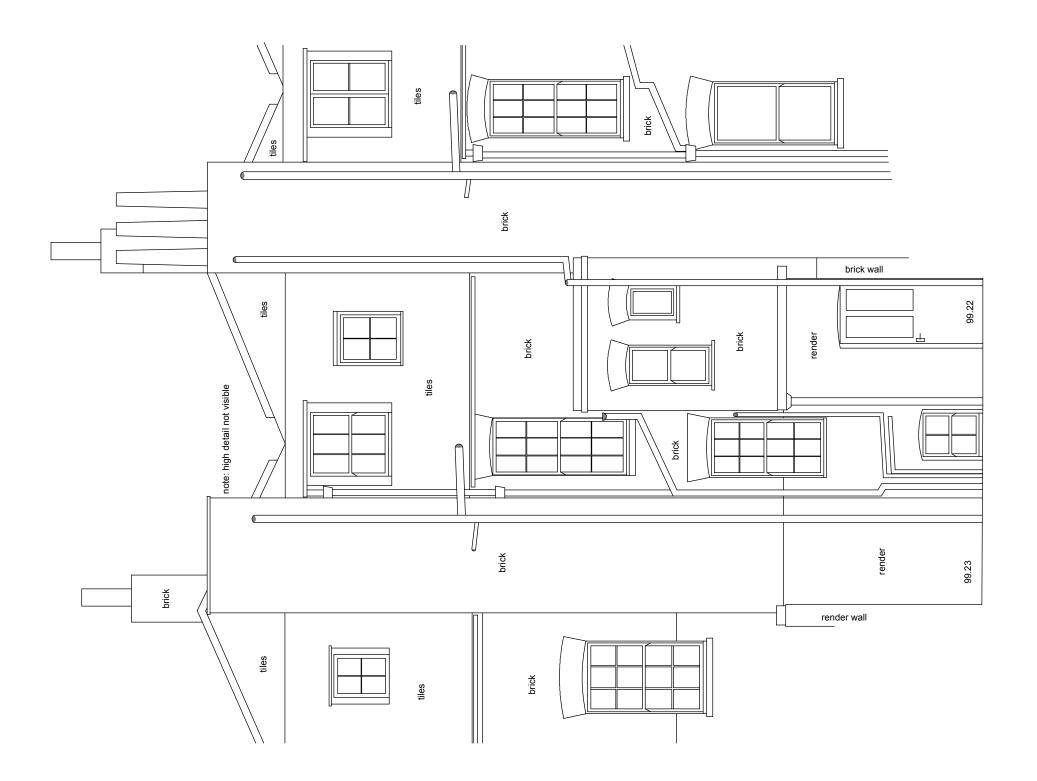
DATE

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Project Stage Date Project No. Drawn By Title Scale

**JEFFREYS STREET** PLANNING SEPT 2017 VT

PROPOSED PLANS 1:50 APP 1 - A



REAR ELEVATION



GENERAL NOTE

Refer to 000's for existing drawings Refer to 100's for proposed plans Refer to 200's for proposed elevations Refer to 300's for proposed sections Refer to 400's for room elevations Refer to 500's for details Refer to 600's for schedules

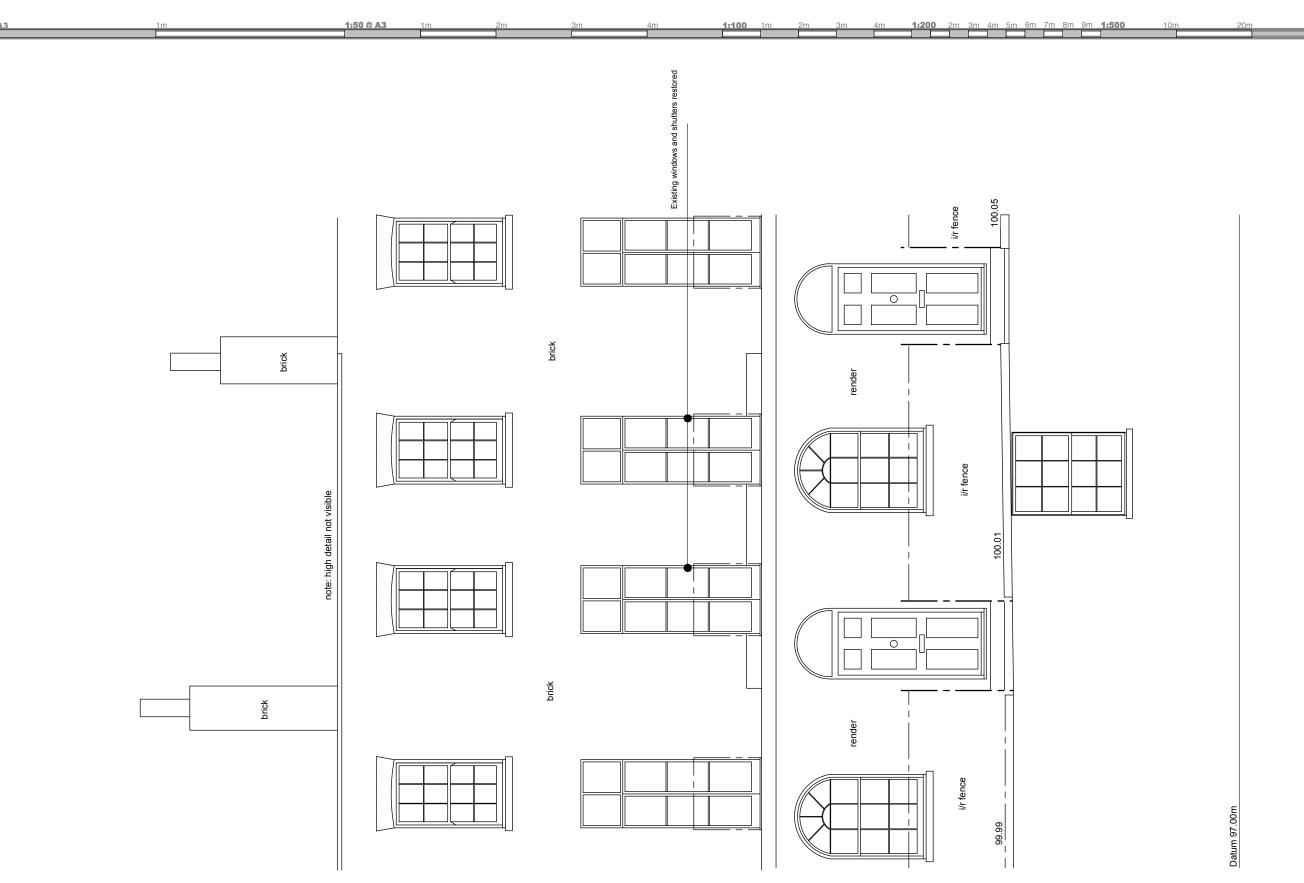
**PLANNING** 

STATUS

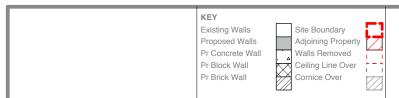
NO. REVISION DATE A Planning Application 21.08.17 DO NOT SCALE FROM THIS DRAWING

Project Stage Date Project No. Drawn By Title Scale **JEFFREYS STREET** PLANNING SEPT 2017 VT

PROPOSED ELEVATIONS 1:50 Drawing No. / Rev 110 APP 1 - A



FRONT ELEVATION



GENERAL NOTE

Refer to 000's for existing drawings Refer to 100's for proposed plans Refer to 200's for proposed elevations Refer to 300's for proposed sections Refer to 400's for room elevations Refer to 500's for details Refer to 600's for schedules

**PLANNING** 

NO. REVISION DATE A Planning Application 21.08.17 DO NOT SCALE FROM THIS DRAWING

Project Stage Date Project No. Drawn By Title Scale JEFFREYS STREET PLANNING SEPT 2017 VT

PROPOSED ELEVATIONS 1:50 APP 1 - A Drawing No. / Rev 111

unit

103.13

103.13

LIVING ROOM

Datum 97.00m

SECTION A-A

counter KITCHEN 100.38 HALLWAY 100.38

98.

note: no access to loft space detail assumed

LOFT SPACE 108.36

LOFT SPACE 108.36

Site Boundary
Adjoining Property
Walls Removed
Ceiling Line Over
Cornice Over Existing Walls Proposed Walls Pr Concrete Wall Pr Block Wall Pr Brick Wall

GENERAL NOTE

Refer to 000's for existing drawings Refer to 100's for proposed plans Refer to 200's for proposed elevations Refer to 300's for proposed sections Refer to 400's for room elevations Refer to 500's for details Refer to 600's for schedules

STATUS

NO. REVISION DATE A Planning Application 21.08.17 DO NOT SCALE FROM THIS DRAWING

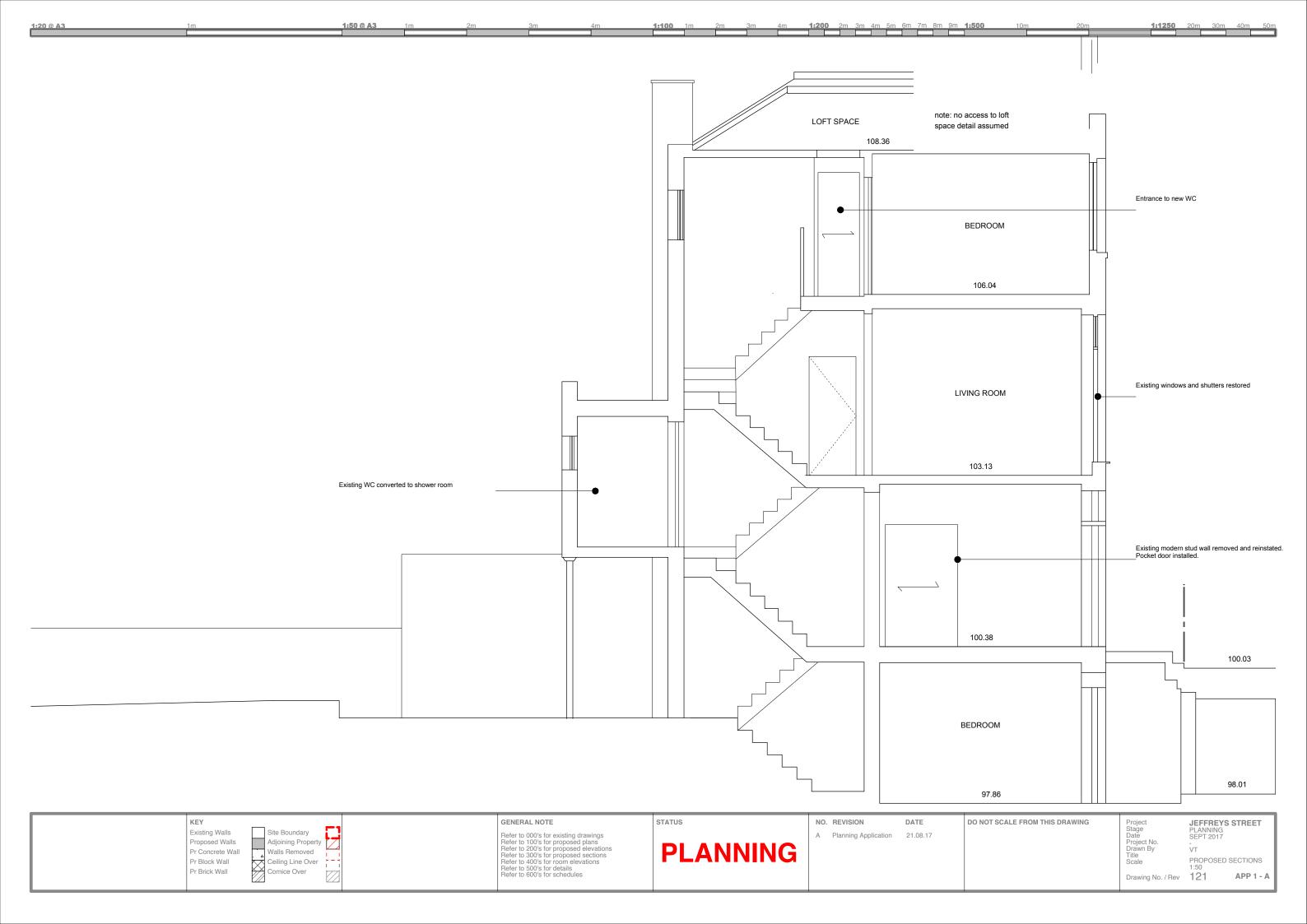
Project Stage Date Project No. Drawn By Title Scale **JEFFREYS STREET** PLANNING SEPT 2017 VT

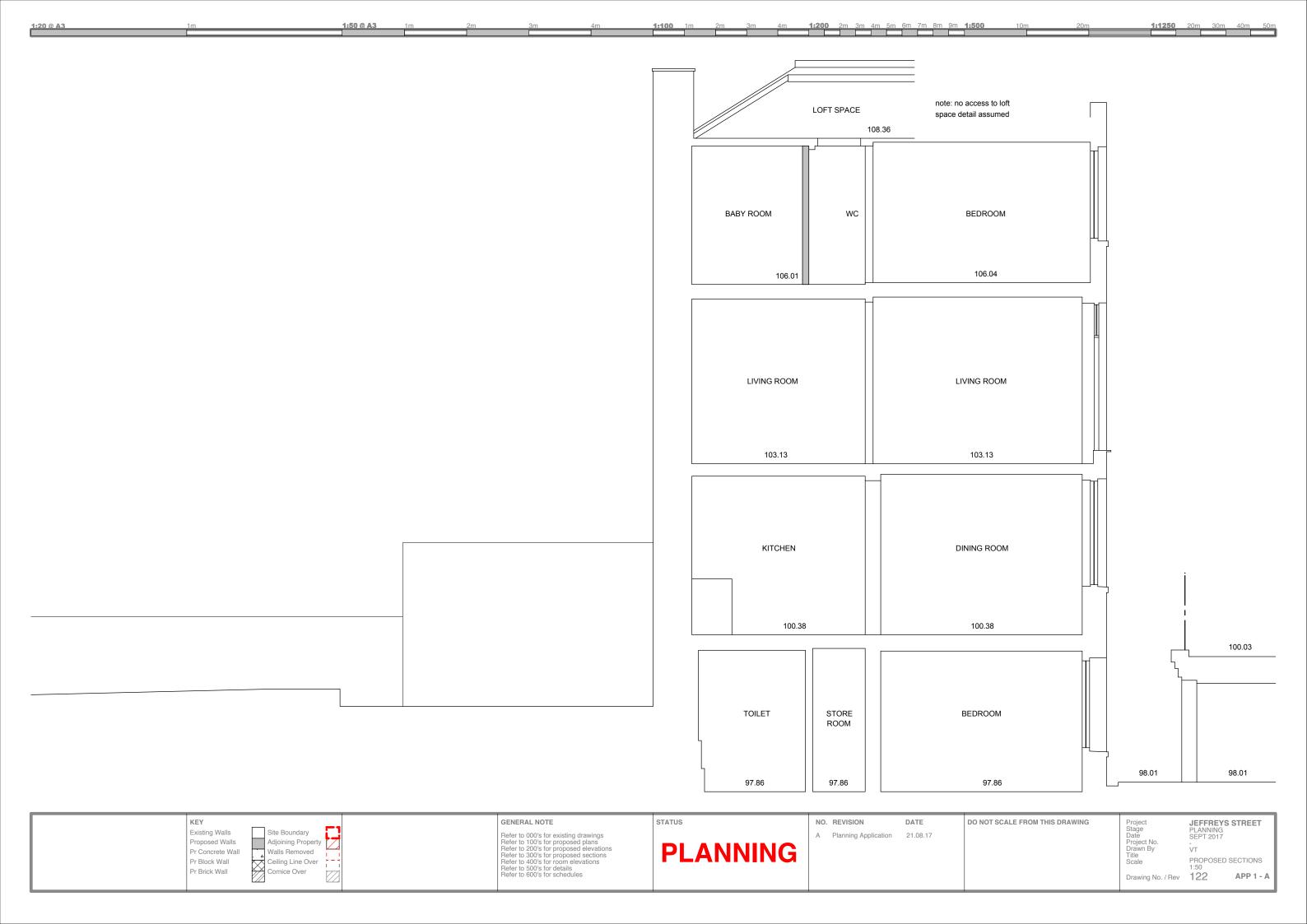
PROPOSED SECTIONS 1:50 Drawing No. / Rev 120 APP 1 - A

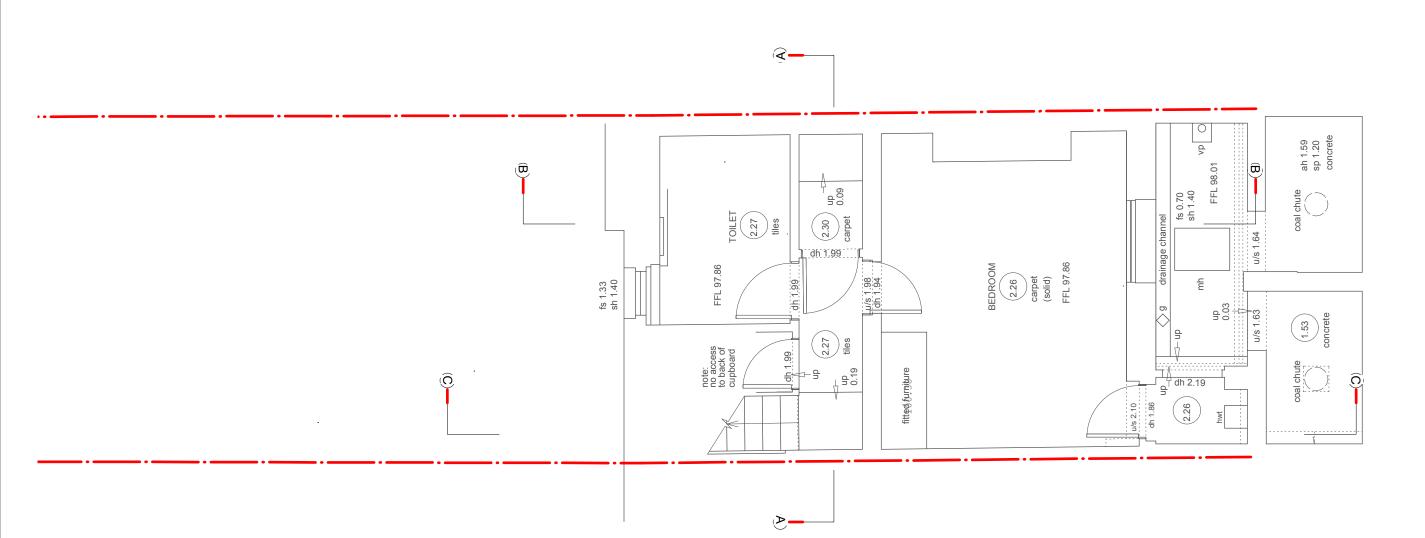
106.01

106.01

**PLANNING** 







GROUND FLOOR PLAN OWER

Existing Walls Proposed Walls Pr Concrete Wall Pr Block Wall

Pr Brick Wall

Site Boundary
Adjoining Property
Walls Removed
Ceiling Line Over
Cornice Over



GENERAL NOTE

Refer to 000's for existing drawings Refer to 100's for proposed plans Refer to 200's for proposed elevations Refer to 300's for proposed sections Refer to 400's for room elevations Refer to 500's for details Refer to 600's for schedules

STATUS

**PLANNING** 

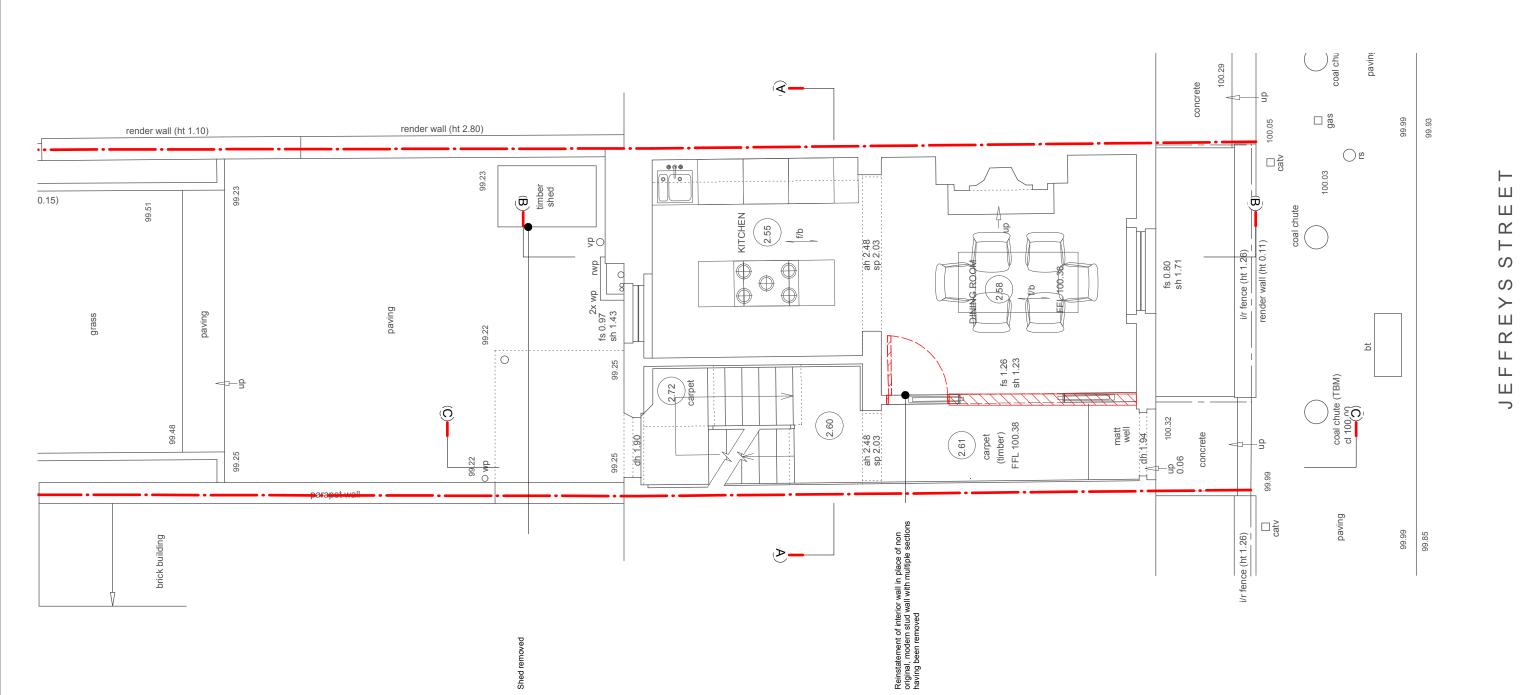
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A Planning Application 21.08.17

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Project Stage Date Project No. Drawn By Title Scale JEFFREYS STREET PLANNING SEPT 2017 VT INTERVENTION PLANS 1:50

Drawing No. / Rev 130 APP 1 - A



NO. REVISION

**PLANNING** 

A Planning Application 21.08.17

DATE

DO NOT SCALE FROM THIS DRAWING

GENERAL NOTE

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Existing Walls

Pr Block Wall Pr Brick Wall

Proposed Walls

Pr Concrete Wall

Site Boundary

Adjoining Property
Walls Removed
Ceiling Line Over
Cornice Over

Refer to 000's for existing drawings Refer to 100's for proposed plans Refer to 200's for proposed elevations Refer to 300's for proposed sections Refer to 400's for room elevations Refer to 400's for come elevations Refer to 600's for schedules

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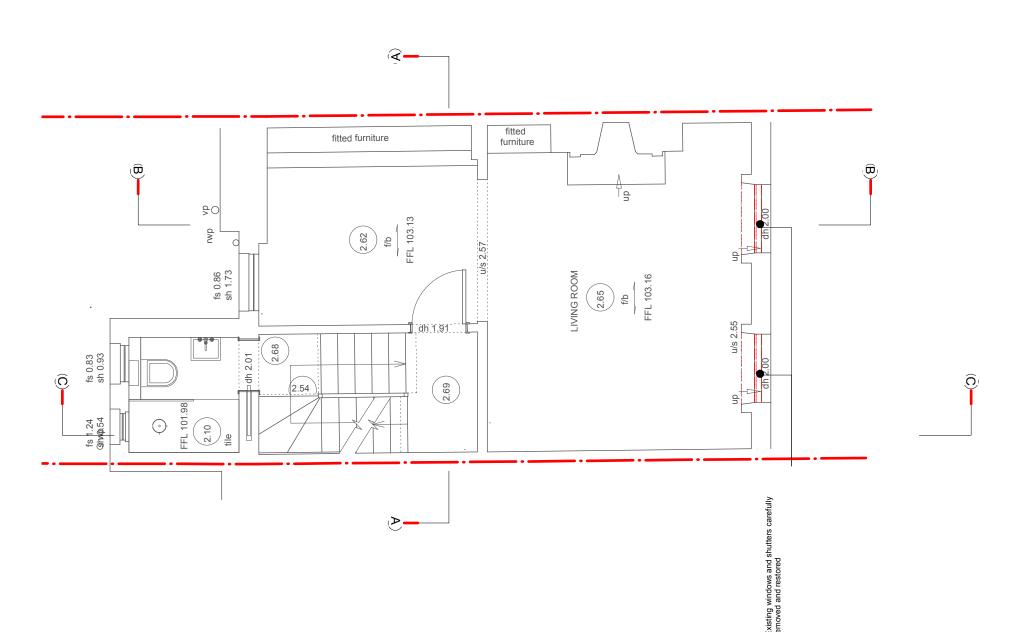
Project Stage Date Project No. Drawn By Title Scale

Drawing No. / Rev 131

JEFFREYS STREET PLANNING SEPT 2017

INTERVENTION PLANS 1:50

APP 1 - A





Existing Walls Proposed Walls Pr Concrete Wall Pr Block Wall Pr Brick Wall

Site Boundary
Adjoining Property
Walls Removed
Ceiling Line Over
Cornice Over



GENERAL NOTE

Refer to 000's for existing drawings Refer to 100's for proposed plans Refer to 200's for proposed elevations Refer to 300's for proposed sections Refer to 400's for room elevations Refer to 500's for details Refer to 600's for schedules

STATUS

NO. REVISION DATE A Planning Application 21.08.17 DO NOT SCALE FROM THIS DRAWING

Project Stage Date Project No. Drawn By Title Scale **JEFFREYS STREET** PLANNING SEPT 2017 VT

INTERVENTION PLANS 1:50 Drawing No. / Rev 132 APP 1 - A

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Site Boundary
Adjoining Property
Walls Removed
Ceiling Line Over
Cornice Over



GENERAL NOTE

Refer to 000's for existing drawings Refer to 100's for proposed plans Refer to 200's for proposed elevations Refer to 300's for proposed sections Refer to 400's for room elevations Refer to 500's for details Refer to 600's for schedules

STATUS

**PLANNING** 

NO. REVISION

A Planning Application 21.08.17

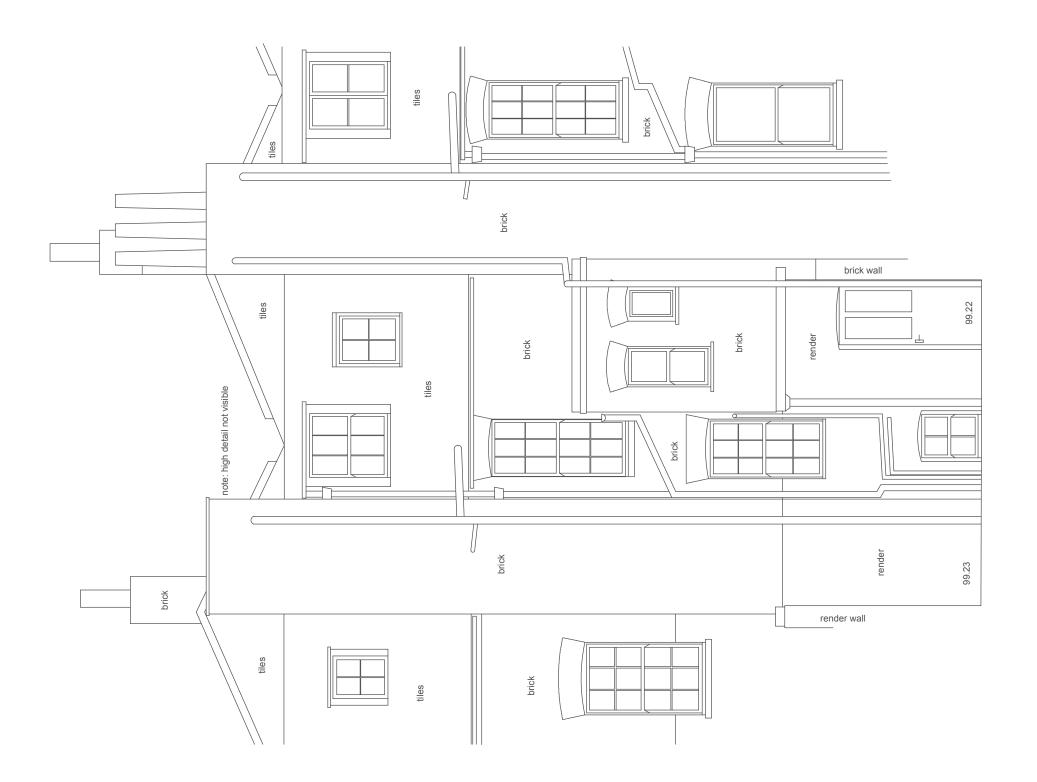
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DO NOT SCALE FROM THIS DRAWING

Project Stage Date Project No. Drawn By Title Scale **JEFFREYS STREET** PLANNING SEPT 2017

VT INTERVENTION PLANS 1:50

Drawing No. / Rev 133 APP 1 - A



REAR ELEVATION

Site Boundary
Adjoining Property
Walls Removed
Ceiling Line Over
Cornice Over Existing Walls Proposed Walls Pr Concrete Wall Pr Block Wall Pr Brick Wall

GENERAL NOTE

Refer to 000's for existing drawings Refer to 100's for proposed plans Refer to 200's for proposed elevations Refer to 300's for proposed sections Refer to 400's for room elevations Refer to 500's for details Refer to 600's for schedules

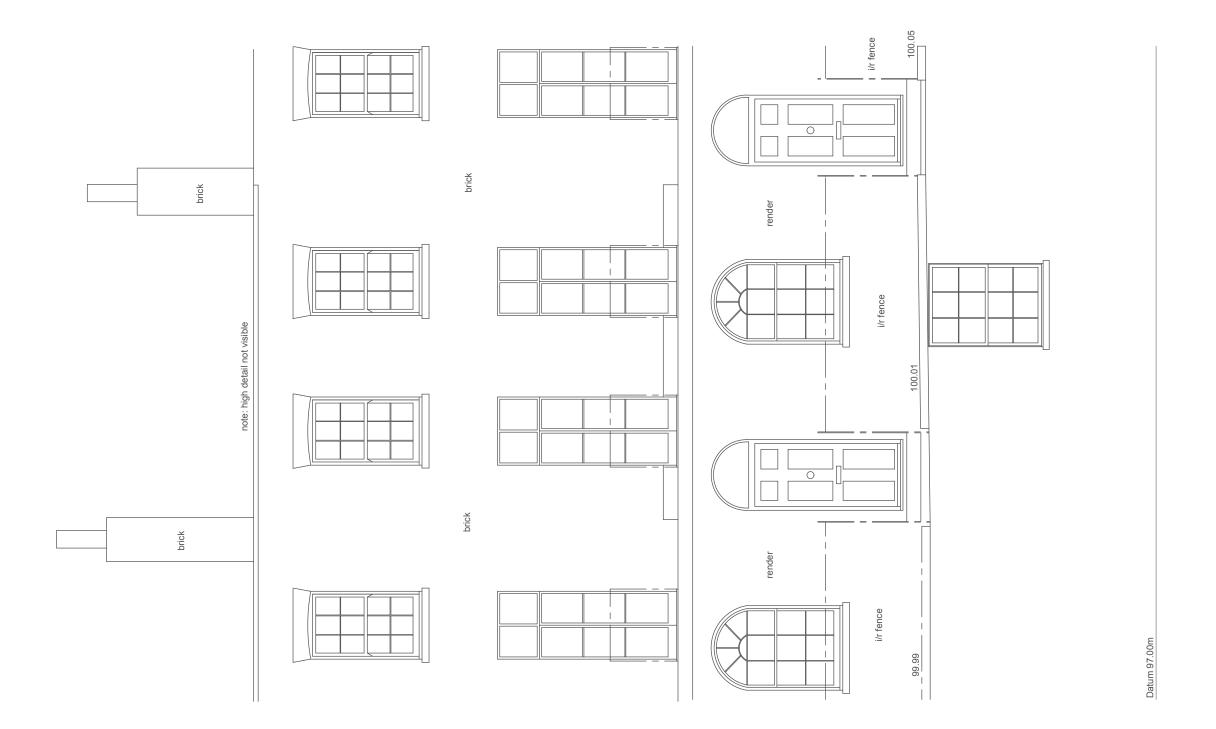
**PLANNING** 

STATUS

NO. REVISION DATE A Planning Application 21.08.17 DO NOT SCALE FROM THIS DRAWING

Project Stage Date Project No. Drawn By Title Scale **JEFFREYS STREET** PLANNING SEPT 2017 VT

INTERVENTION ELEVATIONS 1:50 APP 1 - A Drawing No. / Rev 134



FRONT ELEVATION



GENERAL NOTE

Refer to 000's for existing drawings Refer to 100's for proposed plans Refer to 200's for proposed elevations Refer to 300's for proposed sections Refer to 400's for room elevations Refer to 400's for oom elevations Refer to 600's for details Refer to 600's for schedules

**PLANNING** 

NO. REVISION DATE A Planning Application 21.08.17 DO NOT SCALE FROM THIS DRAWING

Project Stage Date Project No. Drawn By Title Scale **JEFFREYS STREET** PLANNING SEPT 2017 VT

INTERVENTION ELEVATIONS 1:50 APP 1 - A Drawing No. / Rev 135



SECTION A-A

Datum 97.00m

Existing Walls Proposed Walls Pr Concrete Wall Pr Block Wall Pr Brick Wall

Site Boundary
Adjoining Property
Walls Removed
Ceiling Line Over
Cornice Over

note: no access to loft space detail assumed

GENERAL NOTE

Refer to 000's for existing drawings Refer to 100's for proposed plans Refer to 200's for proposed elevations Refer to 300's for proposed sections Refer to 400's for room elevations Refer to 500's for details Refer to 600's for schedules

STATUS

**PLANNING** 

NO. REVISION DATE

A Planning Application 21.08.17

DO NOT SCALE FROM THIS DRAWING

Project Stage Date Project No. Drawn By Title Scale **JEFFREYS STREET** PLANNING SEPT 2017 VT

Drawing No. / Rev 137

INTERVENTION SECTIONS 1:50 APP 1 - A

