

Mr. and Mrs. Stroud  
51 Platts Lane  
London  
NW3 7NL

11<sup>th</sup> October 2017

Dear Averil and Peter,

As I have previously discussed with Averil on a few occasions, we plan to construct a light well in the front garden of our house, 53 Platts Lane. The reason for the light well is to allow natural daylight into the family room on the lower ground floor.

The light well will be modest in its physical appearance, flush with the ground and with a grate on top. In fact, the proposed design has been based on the light well that has recently been built in the front garden of 45 Platts Lane, so as to ensure that it is in keeping with the look and feel of the street. A look at number 45's light well will give you an idea of what our proposed light well might look like.

Please find enclosed with this letter the Design and Access statement as well as the drawings that have been submitted to Camden Council. These may also prove useful in assisting you envisage the light well that we have in mind.

If you would like to discuss anything further in relation to this proposal, please do contact me on the phone number below and I would be happy to meet with you or discuss over the phone – whichever is more convenient for you.

Yours sincerely,

A handwritten signature in black ink, appearing to read 'Hasan Hameed', with a horizontal line underneath the name.

Hasan Hameed

Tel: 07974 788 336

**PROPOSED DEVELOPMENT AT:**

**53 PLATT'S LANE  
LONDON NW3 7NL**

**EXCAVATION OF FRONT BASEMENT LIGHTWELL**

**DESIGN AND ACCESS STATEMENT**

**JOB REF: 16020**

**ROH ARCHITECTS**

**JULY 2017**

### **Introduction & Context**

This Design and Access statement is written as required by the government circular '*Guidance on changes to the development control system, 1 Aug 2006*'.

The property is an existing mid Victorian terrace building comprising Lower ground, ground, first floor and attic accommodation.

The property is located in Platt's Lane and is in the Redington and Frogna Conservation Area.

### **Use**

The established use of the building is a single family dwelling house Class C3.

### **Scale, Layout & Planning**

The proposed alterations are a basement bay window and lightwell below the existing small front bay, enclosed by a black metal grille.

### **Design & Appearance**

There are no changes to the appearance of the building from the ground upwards.

The new lightwell is below ground and is enclosed by a black metal grille, identical to the one permitted at No. 45 Platt's Lane.

### **Landscaping**

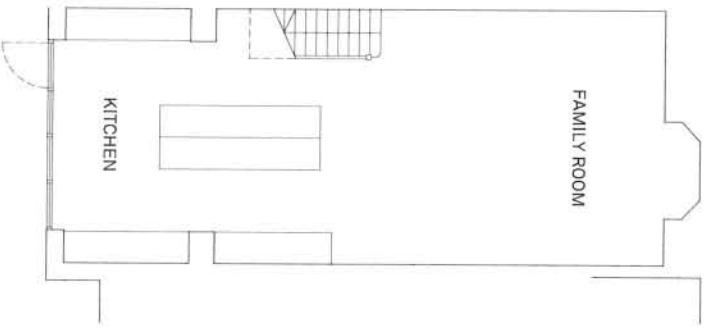
The existing front garden, hedges and plants are retained.

### **Access**

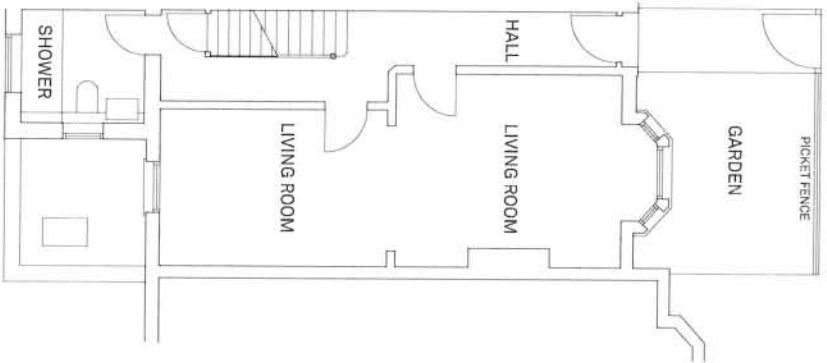
Pedestrian access to the property is unaffected by the proposed development.

### **Sunlight and Daylight**

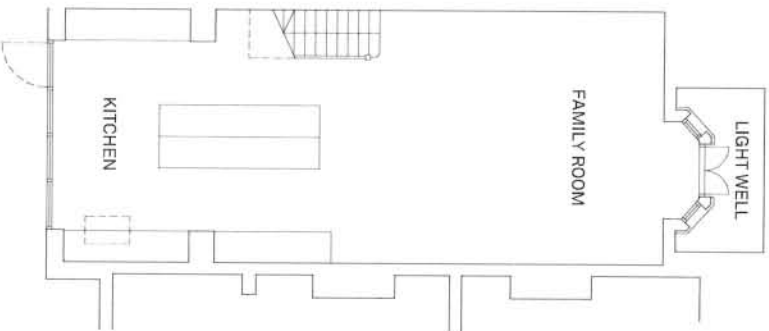
All rooms will continue to be naturally lit and ventilated, and the proposals will not have any detrimental effect on any other nearby windows. The new bay window and lightwell will provide light and ventilation to the front section of the basement.



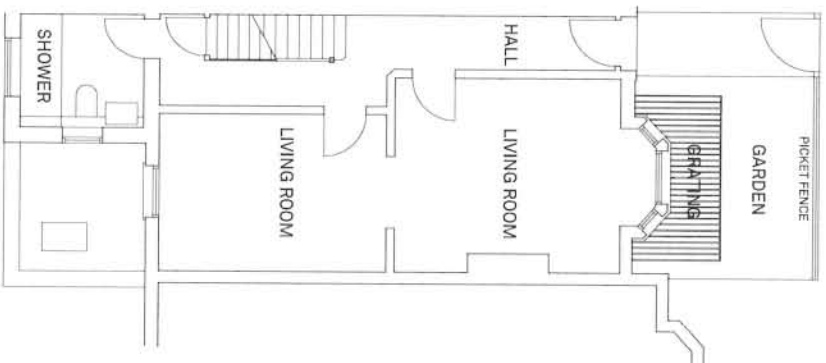
LOWER GROUND FLOOR PLAN  
AS EXISTS



GROUND FLOOR PLAN  
AS EXISTS



LOWER GROUND FLOOR PLAN  
AS PROPOSED



GROUND FLOOR PLAN  
AS PROPOSED



FOR CONSTRUCTION

**Notes:**  
1. This drawing to be read in conjunction with all other relevant architectural specifications.  
2. Any alterations to this drawing shall be the responsibility of the client and shall be agreed in writing with the architect.  
3. The architect shall not be responsible for the construction of the building.  
4. The architect shall not be responsible for the construction of the building.

Rev. Date Description

Client: **WILLIAM PEARSON**  
Project: **WILLIAM PEARSON**  
Location: **LONDON W1N 7UL**

Title: **Plans for Building and Proposed**

Job No: **16019**  
Date: **June 17**

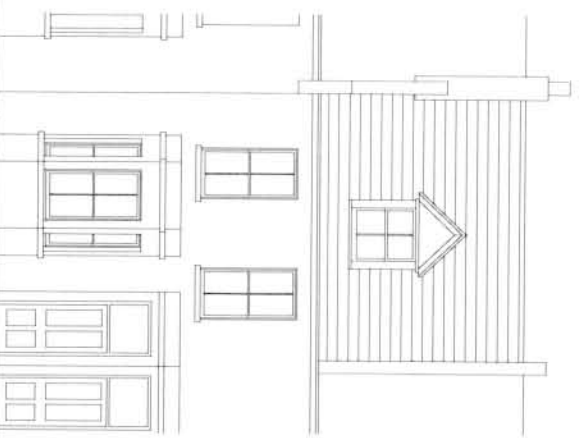
Draw No: **16019**  
Scale: **1:50**

Rev: **1**  
Stage: **CHD**

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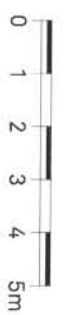


FRONT ELEVATION  
AS EXISTING



FRONT ELEVATION  
AS PROPOSED

- NEW BAY WINDOW
- NEW LIGHT WELL
- NEW WHITE PAINTED SW WINDOWS AND FRENCH DOORS



FOR CONSTRUCTION

**Notes:**

1. This drawing is to be read in conjunction with the other relevant architectural drawings and specifications. It is to be used for construction purposes only.
2. The drawing is the property of the architect and is not to be reproduced without the written permission of the architect.
3. The drawing is the property of the architect and is not to be reproduced without the written permission of the architect.

Rev	Date	Description

<b>Client</b>		<b>Title</b>	
<b>Project</b>		<b>Job No</b>	
<b>Drawn</b>		<b>Check</b>	
<b>Date</b>		<b>Scale</b>	
<b>Rev</b>		<b>Stage</b>	