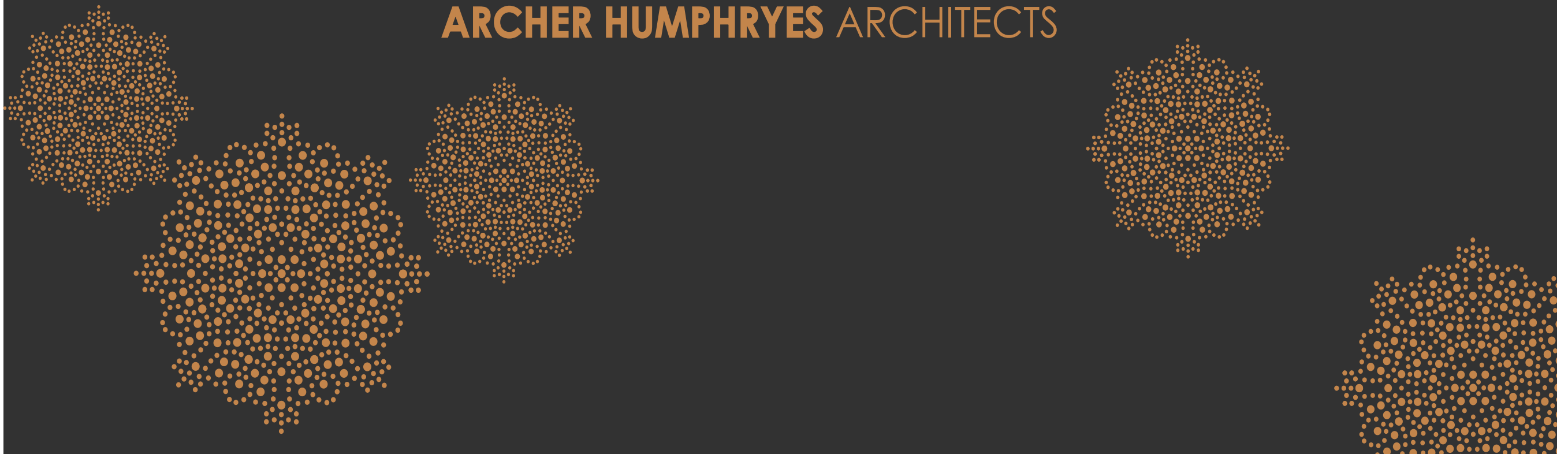


# Koko + Hope & Anchor, 1 Bayham St and 65 Bayham Place

Planning Submission – Design & Access Statement  
October 2017

“ a great space is performance in progress.”

**ARCHER HUMPHRYES** ARCHITECTS

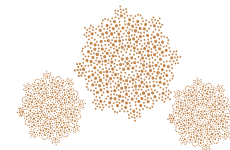


## Contents

---

Design & Access Statement  
Archer Humphries Architects

**ARCHER HUMPHRYES** ARCHITECTS



Archer Humphryes Architects Ltd  
142 Central St  
London  
EC1V 8AR

PH: 0207 251 8555  
MOB: 07899 990 4948

---

## DESIGN & ACCESS STATEMENT

Job No: KKC  
Job: Koko + Hope & Anchor, 1 Bayham St and 65 Bayham Place  
Date : October 2017  
Revision: D



Image 1: Indicative Proposed View 1 from Camden High Street

## Executive Summary

*The proposed development comprises the sensitive refurbishment and extension to the block bounded by Camden High Street, Crowndale Road, Bayham Place and Bayham Street containing the Grade II Listed venue known as Koko, the Hope and Anchor Public House and a dilapidated corner building comprising of 1 Bayham Street and 65 Bayham Place.*

*The proposal will deliver part new and refurbished high quality Private Members club, food and beverage spaces, rehearsal room and enhanced live music venue and performance space. These symbiotic uses will ensure the longevity of the live music venue and allow for the grade II listed building's refurbishment and maintenance.*

*The new building works along Bayham Street and Bayham Place are of exceptional design quality and will result in a significant enhancement of the buildings relationship and contribution to the character of the surrounding streetscape.*

*The original proposals for the site were submitted to the council in December 2016 and recommended for approval under application references 2016/6959/P and 2016/6960/L.*

*The proposals have been revised to provide a more modest proposal requiring less direct physical intervention within the building, the omission of works in filling the fly tower which will be retained as a complete historic volume and a revised programme of uses omitting the overnight hotel room accommodation and introducing more compatible ancillary use to the existing venue.*

## **Contents**

- 1.0 Introduction
- 2.0 Site and Context
- 3.0 Existing building
- 4.0 Design Process
- 5.0 Design Proposal
- 6.0 Access
- 7.0 Crime Prevention
- 8.0 Sustainability and Energy
- 9.0 Materiality
- 10.0 Conclusion
- 11.0 Appendices



Image 2: Indicative Proposed View 2 from Camden High Street looking down Crowndale Road



Image 3: Site location plan

## 1.0 Introduction

The site is located within Camden Town Centre and the Camden Town Conservation Area. It is made up of a cluster of buildings, which are located to the rear of Grade II Listed KOKO, formerly known as Camden Palace. These include, Hope & Anchor Pub, 65 Bayham Place and 1 Bayham Street.

### Background, Context and History:

The building is Grade II Listed and was completed in 1900 by WGR Sprague who was a prominent theatre architect in London at the time. It has had a colourful history and has been a live music venue since the beginning of the 1970's. The building fabric has not been well maintained and the building is now in dire need of a refurbishment. Similarly the buildings surrounding KOKO have been recently occupied by squatters and have fallen into disrepair. Furthermore KOKO has also been threatened through various development proposals seeking residential use on the site. In these circumstances the conflicting use would directly threaten the operational hours and uses within KOKO.

### The Brief:

The proposal for the development of the "KOKO block " including the Hope & Anchor, 1 Bayham Street and 65 Bayham Place has been put forward as a positive response to solve a number of social and physical difficulties that have blighted the site in recent years. Following its closure the Hope & Anchor has fallen into disrepair and dereliction and was until recently occupied by squatters misusing the building and preventing any possible positive connection with the neighbourhood. 1 Bayham St and 65 Bayham Place have suffered similarly and the site has only recently been relinquished from squatters, while the building remains in a derelict condition. In addition to these problems KOKO has also been threatened through various development proposals seeking residential use on the site. In these circumstances the conflicting use would directly threaten the operational hours and uses within KOKO. Seeking to address these issues KOKO and its owners have purchased both sites and have brought forward the enclosed proposals as a viable and long-term solution and means to secure a long and stable future for the KOKO building. The property is large, old and delicate requiring a significant level of investment to maintain it as an important music venue as well as the upkeep to the fabric of the listed building.

### The Private Members Club:

The proposed private members club is conceived as a separate building and business from KOKO, which both abut the club and in certain areas penetrate its public areas. The proposed entertainment uses are both sympathetic and symbiotic to the KOKO venue. The private members accommodation is located on the 1<sup>st</sup> to 3<sup>rd</sup> floors and provides dining, lounge, functions rooms and suite for members, guests, artists and crew.

### The Hope & Anchor:

At ground floor the reinstated public house provides bar and dining accommodation with an open kitchen in addition to a retail space.

### The Dome:

The new wing will find its unique quality through the physical relationship of the public areas located on the upper floors. The first of these is the connection and opening up of the KOKO dome. This currently contains the original water tanks, but will be provided with entrances both from the theatre's second circle and the new rooftop Lobby. The dome will provide a new bar and function room available to KOKO, private members and guests.

### The Rooftop Lobby:

The second new area open to private members and guests is the proposed roof top lobby. This sits directly above the KOKO auditorium in a space created between the existing dome and the flytower and is currently used to houseplant equipment. The roof top lobby is reached by two public lifts that lead directly off the ground floor reception. The lobby is contained by a glazed pavilion that provides

dramatic views of the KOKO dome and re-instated cupola as well as south over the west end and east across the city. The roof top lobby will be central to the Koko private members unique character, experience and the revenue projections under pinning the project's viability.

#### The Flytower:

The third unique space contributing to the development is the interior of the flytower; which can be viewed from below. This view shows the original sceneographic lattice, open queen post truss roof structure and the theatre's gigantic flywheel all of which are to be retained and displayed to visitors. Members will be able to appreciate the space and structure from the gallery bar, which occupies the historic gallery running around 3 sides of the open fly tower at the theatre's second floor level. The flytower will also be accessible from the Hope and Anchor and will be used to host events and booked diners services from the main kitchen and supporting accommodation. This will provide one of London's most distinctive and atmospheric theatrical spaces and is indispensable within the projects overall programme and inventory.

Other areas of connectivity between the theatre and venue are the second floor gallery, which leads directly to the boxes on the second circle and the rear staircase from the green room linking the green room with the Hope and Anchor and the theatre stage.

While the proposal to re-use an existing 19thC entertainment and leisure building has much in common with other intelligent, recent conservation projects, the brilliance of the KOKO project is that it sets itself apart by also maintaining the actual original use of the building, as an entertainment venue, as well as retaining and enhancing the physical fabric of the structure. Beyond the building's use and physical extension replacing derelict and redundant parts of the local street scape the development further enhances the overall character and quality of the conservation area, including the re-instatement of the dome's crowning cupola, retention of the Hope & Anchor and re-modelling of the Bayham St / Bayham Place corner building.



Image 4: Historical photograph of the Camden Palace facade



Image 5: Historical photograph of the Camden Palace facade



Image 6: Proposed section AA through the dome, rooftop lobby, flytower and the Hope & Anchor.

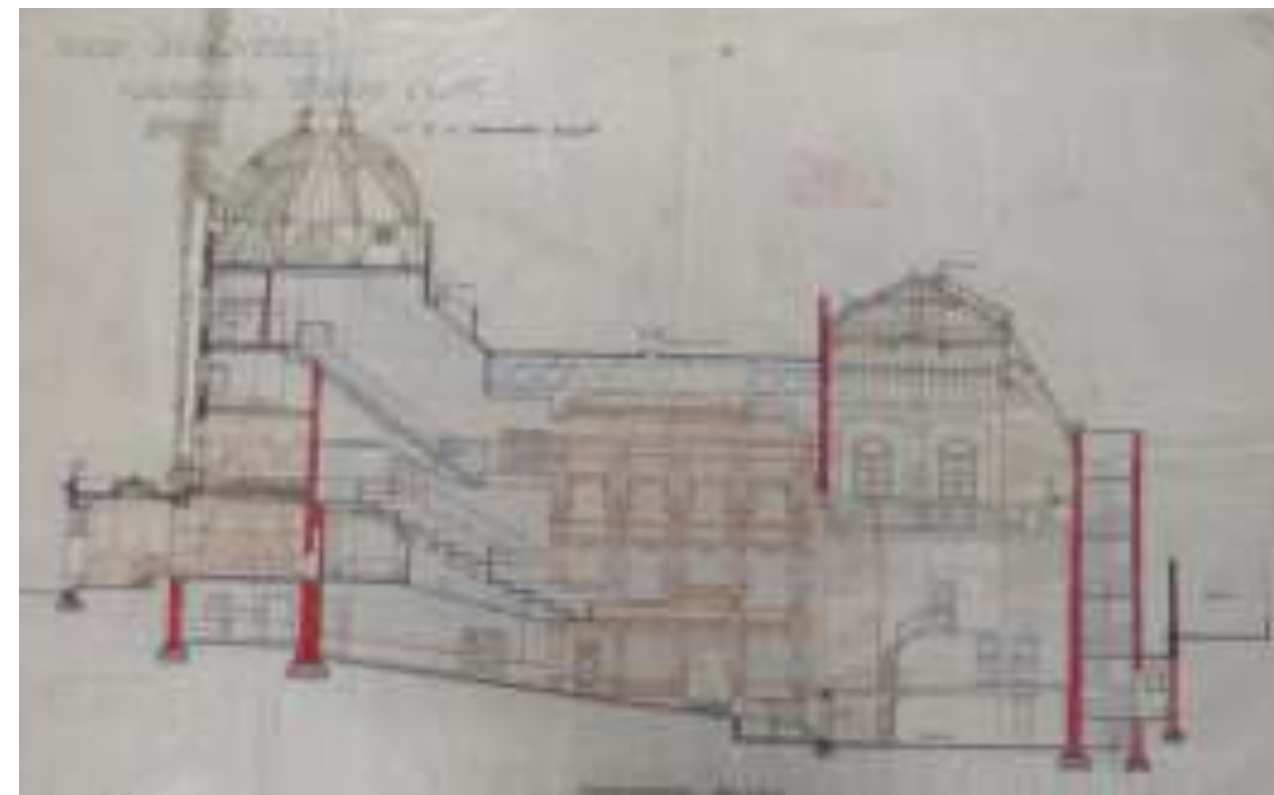


Image 7: Historical section AA through the dome, rooftop and flytower.

## 2.0 Site & Context

The KOKO venue and nightclub sits at the foot of Camden High St and marks the entrance to Camden Town when approaching from South along Hampstead Rd. The building is emblematic of Camden's character and place in London as a home to theatre events, music, artists and alternative culture and political thought.

The application site covers a range of buildings; the original Camden Palace now KOKO night club and music venue, the Hope & Anchor public house, 1 Bayham Street and 65 Bayham Place. Four roads, three of which are thoroughfares, surround the site; Camden High Street, Crowndale Road, Bayham Street and Bayham Place. Bayham Place defines the Northern edge of the site and provides access to the rear of the commercial buildings that sit to the north of KOKO on Camden High St and to the residential building opposite KOKO's north elevation.

The site has excellent transport links and is located opposite Mornington Crescent Underground Station, which serves the Northern Line (Charing Cross branch) as well as sitting in close proximity to a number of bus routes. The Site is PTAL 6b, which is the highest rating for proximity to public transport.

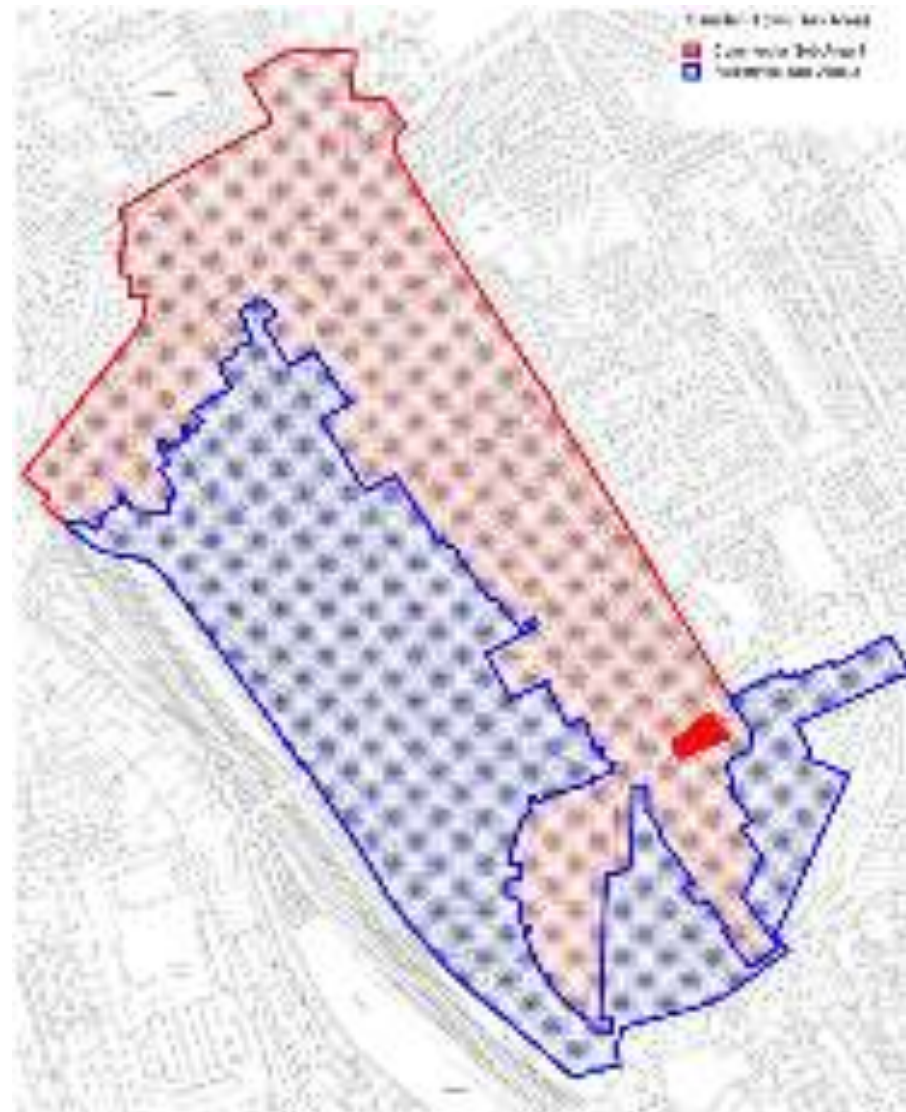


Image 8: Map of the Camden Town Conservation Area with the subject site highlighted red



Image 9: Site context including Mornington Crescent and Camden Town tube stations, Camden High Street leading to the Camden Market



Image 10: PTAL map



### 3.0 Existing building

The building is Grade II Listed and was completed in 1900 by WGR Sprague who was a prominent theatre architect in London at the time. The building is a local landmark and focal point within the conservation area. The building's history as a venue is equally rich; closing as a theatre and opening as a cinema in 1928 before closing in 1940. The BBC took over in 1945 and recorded shows there including the "Goons" and "Rhythm & Blues". The building became a music venue in 1970 from when it fell into an increasing state of disrepair. It opened as KOKO in 2004 from when it has remained central to London's live music and entertainment life. Today it acts as host to global music acts as well as continually supporting local and emerging talent in London and Camden in particular.

- 1900  
The building was built by WGR Sprague as a theatre building.
- 1928  
The building was converted into a cinema and named the Grand Theatre.
- 1940  
The building was closed and remained empty for several years.
- 1945  
The building was taken over by the BBC and used as a recording studio.
- 1970  
The building was converted into a music venue and named the Grand Theatre.
- 1980  
The building was converted into a music venue and named the Grand Theatre.
- 1982  
The building was converted into a music venue and named the Grand Theatre.
- 1984  
The building was converted into a music venue and named the Grand Theatre.
- 2004  
The building was converted into a music venue and named the Grand Theatre.
- Present Day  
A proposal is brought forward for the refurbishment of the existing KOKO venue and redevelopment of buildings to the rear. The development will be integrated with a pub, restaurant, dining facilities, function rooms and private member amenities to create a unique symbiotic scheme in order to ensure the venues' uses are protected for future generations.

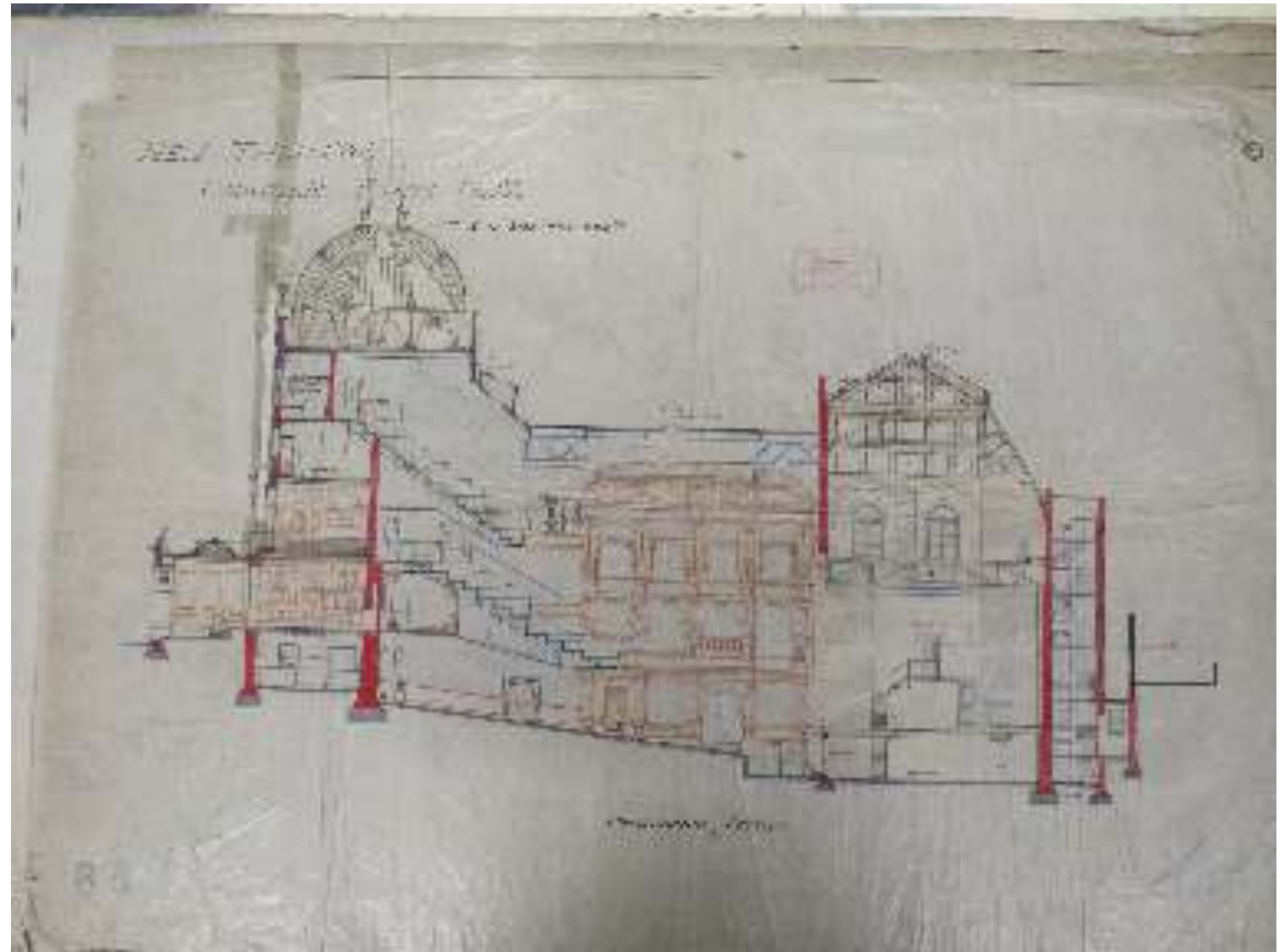


Image 11: Original drawing of section AA

## 4.0 Design Process



Image 12: Original massing studies 1



Image 13: Original massing studies 2



Image 14: Massing Study of Crowndale Road Elevation

### 4.01 The Brief:

The brief demanded the design of a holistic development with a complementary use that would support the KOKO club and live music venue. The applicant has owned KOKO for 13 years and recently purchased the Hope and Anchor and 1 Bayham Street in order to prevent their development for residential use following recent successful applications by other developers. 65 Bayham Place and 1 Bayham Street are located on the sites northeast corner. The buildings are currently vacant but previously were used as B1 office space, consent was granted via prior approval for three residential units in 2015. The landlord's successful purchase of these sites ensured that residential use would not jeopardise the future of KOKO and its associated entertainment uses.

The Hope and Anchor is derelict, 65 Bayham Place and 1 Bayham Street are both uninhabitable and KOKO requires a significant financial investment to restore and refurbish the Grade II Listed building fabric. As well as the replacement of its associated supporting mechanical and electrical services.

The applicant is ambitious to create a high-quality development that secures the long-term future of KOKO as a world-leading, independent music venue. The development seeks to achieve this with limited alteration to the listed building's structure or fabric.

### 4.02 The Concept:

The concept is to secure the future of KOKO as a global music and media venue. Two avenues were originally explored to fulfil this brief. The first was hotel use combined with a series of food and beverage spaces open to the public. The second was to develop the site including a portion of Private Members Club and co-working. The co-working proposal has proved unviable and the option for hotel, bar and restaurant alongside KOKO's existing uses was submitted and consented in May 2017 (ref: 2016/6959/P and 2016/6960/L). The current proposals have been revised to provide a more modest proposal requiring less direct physical intervention within the building, omitting the overnight hotel room accommodation and introducing more compatible ancillary use to the existing venue. The content of this proposal was put forward to the council at the initial pre-application stages and within the submitted proposals.

### 4.03 Pre Application Proposal:

A pre-application proposal was submitted and discussed with the LB Camden's Planning and Conservation officers. The proposals conveyed a more modest approach, which included less direct physical intervention with the historic fabric where possible, opening up of the flytower with views from stage level celebrating its historical feature and the introduction of more compatible ancillary use to KOKO. Please refer to the letter ref: 2017/4506/PRE, received on 5<sup>th</sup> October 2017.



Image 15: Early massing and volumetric studies



Image 16: Early massing and volumetric studies

#### 4.04 Design development:

Feedback from the council stressed greater consideration to bulk and mass and a conscious effort to maintain views of the iconic dome from areas surrounding the site. Seven key views were selected as being crucial to the character of the conservation area as listed within the document. As a result the scheme was significantly reduced and an effort was made to decrease the bulk and mass; where possible un-used internal spaces within KOKO such as the flytower were considered in order to move a portion of the building inside the existing building fabric. Through this process access to the upper fly tower was gained and it was discovered that a substantial portion of the existing scenographic equipment was still in tact. Bearing this in mind the scheme has been developed to utilise this space allowing the Private Members and artists spectacular views of the this unique area from the stage below and at galleries on the first and second floors. These considerations have resulted in a scheme proposing sensitive restoration of KOKO and its façade including the reinstatement of the cupola, while providing high quality food and beverage spaces, rehearsal room, roof-top terrace bar and distinctive and captivating views of the Flytower.

#### 4.05 Community Consultation:

The revised scheme sits within the building envelope of the consented application. The subsequent modifications pursuant to the current application have been addressed with special interest groups by letters and invitation for comment via Comm Comm the public relations consultant and Stephen Levrant Heritage Architecture (SLHA) the heritage consultant on the project. The special interest groups include Historic England, Theatres trust and The Victorian Society.

Detailed items brought forward influencing the final proposal include;

- A refurbishment and re-decoration of the KOKO façade.
- Reinstating the dropped parapets on the KOKO façade.
- The adjustment of the colour scheme to the Hope & Anchor
- Detailed analysis and development of the infill façade to Bayham Street
- The extension of the modern attic story from Bayham Place to the Bayham Street façade.
- Introduction of the ribbed glass panels on the Bayham Street and Bayham Place façade providing rhythm and texture.
- The carefully scaled window dimensions and selection of materials and details informing the positive contributor on the corner of Bayham Place and Bayham Street.
- The new infill façade recessed 200mm behind existing building line to maintain the memory of the original void.
- The increased set back of all glass balustrades from the façade of the building.
- The opening up of the Flytower celebrating KOKO's theatrical past and providing unique and fascinating views from below.

The result is a scheme that respects, enhances and secures the long-term future use of the historical building as a world leading music venue and leading cultural attraction.

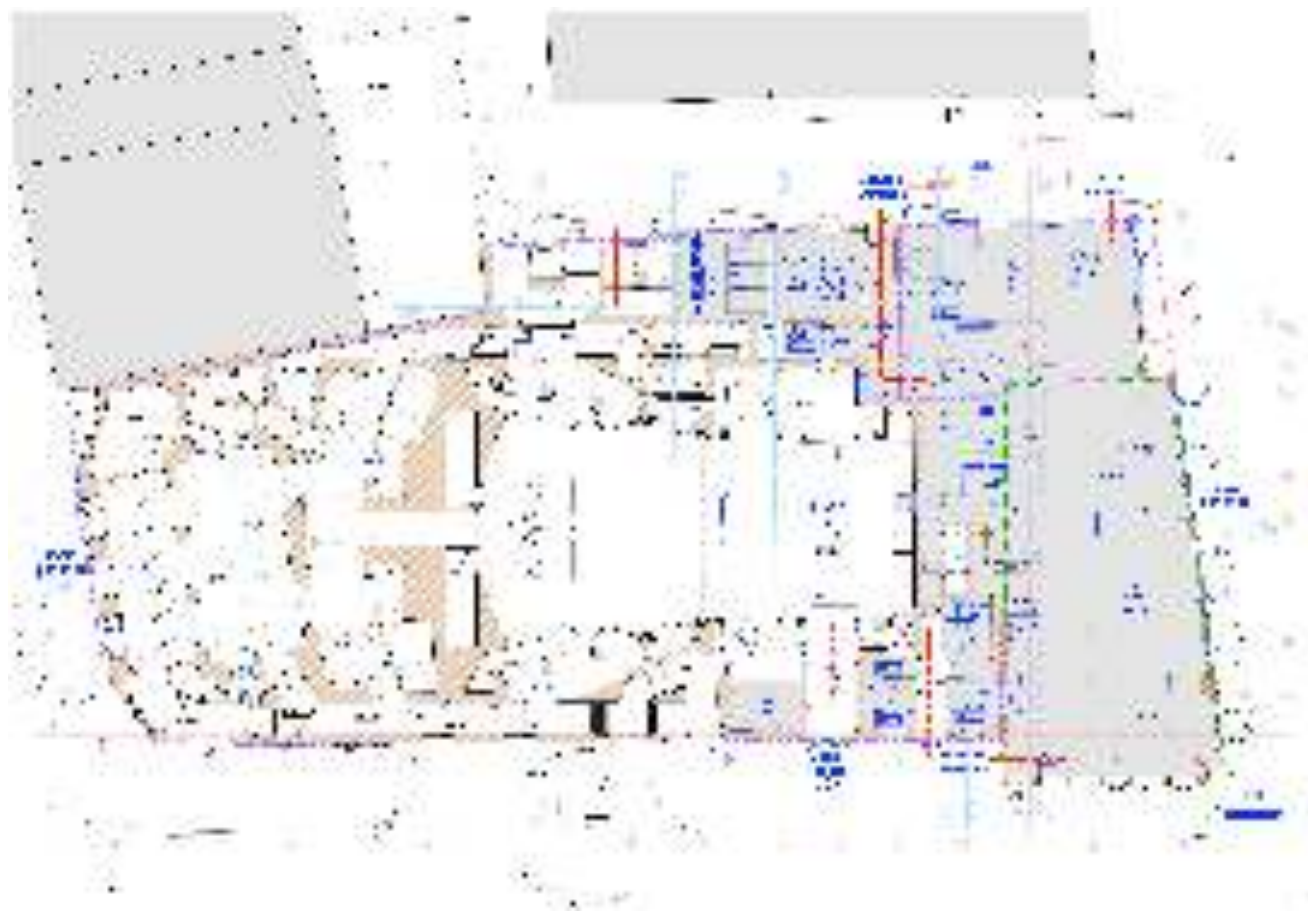


Image 17: Proposed ground floor plan

- Class 1000
- Class 1000
- Class 1000
- Class 1000

## 5. Design Proposal

The following is to be read in conjunction with the drawings referred to in the heading and schedule of works.

### 5.01 AHA/KKC/GA/099 Proposed Basement Floor AHA/KKC/GA/098 Proposed Sub Basement Floor

- The external walls of the existing basements will be retained where possible and will be insulated and lined to make them water tight.
- The existing basement to the Hope & Anchor is to be excavated down to utilise existing footings and provide clear ceiling heights of 2120mm.
- The existing lightwell to the rear of Bayham St is to be excavated to receive the new concrete lift and stair core.
- The existing basement below the KOKO storage is to be retained including its existing staircase. The new core will also partially penetrate this area and provide access via the service lift and staircase.

### 5.02 AHA/KKC/GA/100 - Proposed Ground Floor

- The front entrance, staff entrance and means of egress to KOKO are to be retained as existing. The ground floor perimeter walls to the Hope & Anchor and 1 Bayham St are to be retained. The green glazed brick façade to the Hope & Anchor is to be protected, made good, repointed and cleaned. New fixed glazed canopies are fitted to the Camden High St and Crowndale Rd elevations of Koko to protect people when arriving and leaving the venue.
- The Hope & Anchor and Bayham St will be fitted with new joinery and entrance doors
- The existing internal walls and partitions will be removed to form the new cooking, retail and ancillary spaces and Hope & Anchor public areas. The new core incorporating the 2no. lifts, escape stair and risers will be formed adjacent to the KOKO party wall at grid line 10 and between E+G.  
Ref. AHA/KKC/GA/100
- The existing 3 storeys building on the corner of Bayham Street and Bayham Place is to be removed. It is of little architectural merit and is currently derelict. While its architectural detail and condition are poor it is important in respect of its visibility when descending south down Bayham St. Its prominence as the corner building of the "KOKO" block means it is significant in regards to Bayham St as well as its overall contribution to the general townscape. A new 3-storey brick building will replace the existing. This will reflect the scale and detail of the buildings to the east on the continuation of Bayham Place, which are former 19thC Piano workshops. Large casement windows are set within a punctured brick façade. The brick lintels are sprung and the brick coursing is Flemish bond. The upper part of the new building will be built in reclaimed London stock bricks to match the adjacent building 1 Bayham Place and the existing ground floor walls of KOKO to be retained to the west along Bayham Place.



Image 18: Indicative Proposed view 6



Image 19: Existing view 6

- The ground floor will be finished in black/blue engineering bricks forming a plinth. Both materials agree with the expression of the side elevation of the theatre and corner public house and so provide a clear distinction from the surrounding architecture of the domestic residential terraces. Ref. AHA/KKC/GA/100, AHA/KKC/GA/101, AHA/KKC/GA/102 + AHA/KKC/GA/103
- The corner building provides the venues second entrance and food + beverage area. The corner entrance door is clearly expressed within the block with a glazed double height door. The door is visible as you move down Bayham Street due to the projection of the block from the neighbouring buildings.
- The remainder of the ground floor along the Bayham Place appears as the retained façade of the KOKO building, this elevation is in fact comprised of the original walls of the Bayham Place piano workshops predating the KOKO's original construction. This provides support areas for the new wing including the service entrance, the required bin store, associated accessing arrangements and the exit doors from the various escape stairs that discharge into Bayham Place from the KOKO auditorium. Ref. AHA/KKC/GA/100 + AHA/KKC/PR/203.

#### 5.03 AHA/KKC/GA/101 - Proposed 1st Floor

- The upper floors and interior partitions to the Hope & Anchor, Bayham St and Bayham Place buildings will be removed. The external roof at the corner of Crowndale Rd and Bayham St will be removed and replaced with a new blue roof with pavers. Ref. AHA/KKC/GA/101 + AHA/KKC/PR/203
- The existing windows and external façade of the Hope & Anchor at first floor will be retained and made good. The building's first floor will provide dining accommodation.
- The Hope & Anchor extends north along Bayham St at ground floor level. This leaves a "tooth gap" within the upper façade between the public house and 1 Bayham St. This elevation will be completed with a new construction above the ground floor, recessed to sit behind the building line established by 1 Bayham St and 65 Bayham Place. It will separate itself from the Hope and Anchor building using this 200mm set back and by replicating the size of the Hope & Anchor windows but treating them as a more modern double hung window. The façade will be new London stock brick. These elements together will create the effect of a set back infill ghost of a building referencing those adjacent, yet remaining markedly modern. Ref. AHA/KKC/GA/101, AHA/KKC/GA/102 + AHA/KKC/PR/202.



Image 20: Indicative Proposed View 5 from Bayham Street



Image 21: Existing View 5 from Bayham Street

- The façade of 1 Bayham St is retained, brickwork will be made good and modified as required to agree with the surrounding new build structures. The Bayham St building and 65 Bayham Place, contains the dining room and function rooms above.
- The kitchen and back of house accommodation extends at 1<sup>st</sup> floor along Bayham Place within new construction which completes the upper floors of the Bayham Place elevation between the western domed mass of KOKO and the new Bayham Place corner building. The elevations are markedly modern providing a clear identity to the new wing and in contrast to the existing 19<sup>th</sup> Century buildings, which form the block's external facades. The building is formed within a grid of expressed steel beams and columns forming a rhythmic elevation. The grid is filled with industrial steel glazing, ribbed in sections for privacy and green glazed brick spandrel panels, which match the ground floor of the Hope & Anchor while indicating the consecutive storey heights. The building steps back at its 3<sup>rd</sup> and 4<sup>th</sup> floors which at once allows it to read as agreeing in scale with the building opposite and while providing the opening view of the sky with KOKO's re-instated cupola when looking down Bayham Place.  
Ref. AHA/KKC/GA/101 + AHA/KKC/GA/102 + AHA/KKC/GA/103 + AHA/KKC/GA/104 + AHA/KKC/GA/203 + AHA/KKC/GA/204
- A new opening will be formed at the end of the internal corridor leading to the north balcony of KOKO's stage giving private members direct access for KOKO events. The function room at the 1<sup>st</sup> floor corner of Crowndale and Bayham also provides direct access to the KOKO's southern artists gallery.  
Ref. AHA/KKC/GA/101

#### 5.04 AHA/KKC/GA/102 - Proposed 2nd Floor

- Works to the Hope & Anchor, Bayham St and Bayham Place at second floor level are similar to those proposed at 1<sup>st</sup> floor including the bathroom accommodation for floors 1 to 4.
- The existing flytower will be carefully retained. The two modern dropped ceilings sitting within the flytower will be removed and its original spatial importance and character will be reinstated. Guests will be able to use the flytower for dining and events when the stage is not in use by means of a new door linking the Hope and Anchor to the stage area. Visitors will then be able to appreciate the volume, scenographic equipment and dramatic roof light above. This will significantly enhance the use of the building as the venue can be used either for music or entertainment through out the week.  
Ref. AHA/KKC/GA/300 + AHA/KKC/GA/303
- The existing exposed brickwork within the flytower will be retained on all 4 internal walls. The retention of the north and south timber galleries and scenographic equipment currently lining the walls will be appreciated from the gallery bar at 2nd floor level, which will in turn give private members and artists access to the Royal box and artist's gallery respectively.



Image 22: View within the flytower looking up through scenographic equipment, lattice and mansard roof.



Image 23: View within flytower showing scenographic equipment

#### 5.05 AHA/KKC/GA/103 - Proposed 3rd Floor

- The dramatic impact of inhabiting the flytower is fully realised at 3<sup>rd</sup> floor level. Here the single volume is laid out below the scenographic lattice, 3no open queen post trusses support the flytower roof and the original giant fly wheel required to operate the various sets and safety curtains are all retained as are the various pegs and props that adorn the tower's perimeter walls, which all remain on show. Added drama is provided via the restored glazed roof lights allowing natural light to filter through the lattice to illuminate the room below. In order to better effect the passage of light and the appreciation of the equipment and roof structure above, every second plank of the lattice below the skylight will be removed and set aside for later reinstatement if required.
- The fly towers slate roof cladding will be repaired re-using existing slate where possible and using reclaimed slate to match where required.
- Beyond the confines of the flytower the 3<sup>rd</sup> floor of the Hope & Anchor is formed by the creation of a new mansard roof clad in welsh slate. This accommodates a rehearsal room and is subject to a previous consent granted in 2014 ref 2014/2621/P. The mansard roof will be a constructed and insulated "box within a box" required to protect the space acoustically as well as prevent noise spillage.
- The Private Members suite is also located at 3<sup>rd</sup> floor level carefully placed within the new construction. In addition, the KOKO dressing rooms are located at 3<sup>rd</sup> floor level and link both directly to the artist gallery below and the green room and stage via the existing staircases.
- The new build northern elevation of the 2<sup>nd</sup> floor provides both bathroom accommodation and a screened plant enclosure incorporated within the building's envelope. This allows the roof to be aside of the rooftop lobby & flytower and essentially retain the existing roof scape and silhouette of the flytower's mansard form.  
Ref Image 24 (view 3).

#### 5.06 AHA/KKC/GA/104 - Proposed 4<sup>th</sup> Floor

- The entirety of the new 4<sup>th</sup> floor roof extension is given over to the venues private members and their ancillary requirements. The lobby is located at roof level in the form of a carefully scaled glazed conservatory. It is located between the dome and the fly tower. It is subordinate in size to the dome and is proportionate to the KOKO auditorium elevation sitting above the adjacent flytower. This creates a roof silhouette of separately conceived diminishing objects descending consecutively from the dome, the pavilion and the flytower to the roof terrace located on the corner near the Hope & Anchor. This in turn steps down to agree with the domestic terraces running east along Crowndale Rd.  
Ref. AHA/KKC/GA/201
- The new pavilion is set 5m back from the existing roof parapet, which further diminishes its impact when viewed from Camden High St and looking east along Crowndale Rd.  
Ref. Image 1 (view 1) + Image 2 (view 2).



Image 24: Indicative Proposed View 3: from Crowndale road



Image 25 : Existing View 3: from Crowndale Road

- The pavilion is visible when looking west along Crowndale Rd where it acts to fill the existing gap in the roof scape between the dome and the flytower. Its scale and proportion mean that it never interrupts the long views of the dome, which is itself enhanced, with the re-installment of its original timber and lead cupola. The pavilion is formed with an exposed steel frame clad with a patent glazed roof and Crittal doors and windows. These agree in both detail and materiality with the host building. While viewed from the street the pavilion enhances the roof top composition, while viewed from within it offers the drama of both close up views of the dome and flytower and long views looking south to the west end and to the city skyline to the east.
- The interest and atmosphere of the 4<sup>th</sup> floor is further enhanced by the staircase connection which leads from the roof top pavilion to the KOKO dome, approximately one storey above. Within the dome the existing water tanks will be removed and the existing structure revealed to the public who will gain access from both a new staircase connecting to the KOKO auditorium as well as the staircase link to the pavilion lobby area. Both staircases are required by building code to provide safe means of egress both from the dome and from the 4<sup>th</sup> floor public areas.

#### 5.07 AHA/KKC/GA/105 - Proposed Roof Plan

- The revised roof plan forms a linear composition of each of the proposed new areas, diminishing in height from the existing KOKO dome to the pavilion, the flytower and the rooftop terrace with its accompanying lifts and ancillary structure.
- The copper work to the dome will be made good and repaired as required. The original cupola illustrated on the original architect's drawings and early photographs will be reinstated completing the theatre's architectural composition and roofline.
- The Rooftop lobby, one storey below the dome rests on a plinth set above the existing roof of the KOKO auditorium. The pavilion has a hipped pitched roof and the roof is entirely glazed. The structure is supported by 2no. 2 meter deep vierendeel trusses from which the new floor and roof joists span.
- The trusses are supported on 4no. new columns threaded through the existing structure. The 2no columns supporting the eastern truss descend through the building sitting behind the reveals of the proscenium arch.  
Ref. AHA/KKC/GA/100
- The columns supporting the western truss are located along grid line 3 and are chased within the depth of the wall where possible enclosing the auditorium perimeter. They sit on the external face of the existing wall to avoid any disturbance to the internal auditorium decoration and finishes.  
Ref. to engineer's detailed report
- The flytower retains its original form and profile and its ridge sits a further 2m below the ridgeline of the pavilion building.
- The roof scape above the Hope & Anchor is set 5m back from the parapet of the mansard roof addressing its Bayham St elevation. The staircase enclosure providing roof access raises 1100mm above roof level forming a surrounding balustrade and minimises its impact when viewed looking west.  
Ref. Image 24 (view 3).





Image 26: Original architect's drawing of the front façade

- The lift core reaches roof level at the north east corner of the building and is similarly set back 5m from the roof parapet addressing Bayham St. Access from the lift core to the roof top lobby is via a glazed gallery set back 4.2 meters from the 4<sup>th</sup> floor parapet which in turn is set back a further 3 meters from the building line. This arrangement provides views of the re-instated cupola when looking into the mews from Bayham St and also respects the roofline of the residential building opposite on the north side of Bayham Place.  
Ref. Image 20 (view 5) + Image 18(view 6)

#### 5.08 AHA/KKC/PR/200 - Proposed Camden High St Elevation

- The ground floor of KOKO will be painted off white making good a black plinth along the lower portion of the façade.
- At first floor level the existing fanlights will be retained and made good and doors replaced to match the architect's original drawings.  
Ref. Image 1 (view 1).
- Modern casement windows will be replaced in line with the architect's original drawings.
- The copper dome will be refurbished and damaged panels replaced where required with pre-patented copper to match the patina. The Dome will be crowned with the re-instatement of the original timber and lead cupola.
- The façade will be redecorated between the ground and the attic storey above the pediments.

#### 5.09 AHA/KKC/PR/201 - Proposed Crowndale Rd. Elevation

- Parapets and cornices will be made good, the superfluous SVPs and RWP's will be removed and the walls made good and the ground floor will be re-decorated.
- A clear frameless glass balustrade will be added, set back behind the parapet at roof level. It will be fixed behind the existing parapet set back 300mm from the inside face of the parapet so as to appear less prominent when viewed from below. Planters with foliage will be set in front of the balustrade providing additional visual and acoustic screening.  
Ref. Image 2 (view 2), Image 24 (view 3) and Image 18 (view 4).
- The new glass pavilion at 4<sup>th</sup> floor level is set 5m back from the existing parapet. The pavilion rises 2.4 meters above 4<sup>th</sup> floor level to the eaves line and the new ridge level is 4890m above FFL.
- The pavilion is placed symmetrically within the confines of the Crowndale Rd auditorium elevation
- The dark green glazed brickwork of the ground floor of the Hope + Anchor will be retained and refurbished including the integral signage and advertising within the fascia on both the Crowndale Rd and Bayham St elevation. The upper floors will receive a painted finish and the joinery sash windows will be retained and ease & adjusted.
- The new mansard attic storey within the Hope and Anchor will be clad in welsh slates. The 7no new dormers windows will be detailed in timber and lead roofs, reveals and flashings.

#### 5.10 AHA/KKC/PR/202 - Proposed Bayham St Elevation

- The Bayham St elevation is comprised of 3no buildings. The Hope & Anchor, 1 Bayham St and 65 Bayham Place. The existing facades of the Hope & Anchor including the glazed brick, ground floor windows and stucco finishes are retained and made good. The upper floor retains its advertising board for beers and ales, which adds to the character of the elevation. The new mansard roof is located above the existing pub premises and the existing gap in the façade above the ground floor adjacent to 1 Bayham St is completed. This is detailed to match 1 Bayham in London stock brick and stucco with joinery sash windows.
- The existing ill proportioned mansard and dormer window on 1 Bayham St will be removed alongside the existing 2 storey plus mansard structure forming the corner of Bayham St and Bayham Place.
- The new corner building forms a complete 3-storey structure. The building's brickwork and window openings are scaled and detailed to agree with the 19C piano workshops indigenous to the area. The brickwork to the upper stories will be London stock brick matching the adjacent buildings. The ground floor is expressed in a black/blue engineering brick and provides a plinth in keeping with the ground floor of the Hope & Anchor. This creates a building, which agrees in scale with Nos. 1+3 Bayham St and provides the lowest element of the streetscape forming the KOKO block. However, the building agrees in character with the commercial uses of the theatre and Hope & Anchor and is set apart from the domestic terrace buildings along Bayham St and Crowndale Rd.
- Set back above the building it is possible to read the 3<sup>rd</sup> floor return elevation of the new private members suite & lounge and behind that KOKOs dome and reinstated cupola.

#### 5.11 AHA/KKC/PR/203 - Proposed Bayham Place Elevation

- The most significant intervention within the block is expressed on the northwest elevation to Bayham Place. The removal of 65 Bayham Place and its replacement both reinforces and enhances the Bayham St / Bayham Place corner condition. This also provides a point of entry. This is defined by the fully glazed door and 1<sup>st</sup> floor window within the building's end bay, which belong to the building's double height vestibule within.
- The rear elevation of the KOKO building cascades down along Bayham Place from the high point of the dome to the single storey storage areas and escape doors where the building currently terminates. The void above is currently home to plant equipment and other shambolic and dilapidated structures.
- The proposed elevation retains the original mews brickwork walls and KOKO's escape staircases, which mark the theatre's presence and character and complete the former void with a new wing of private members amenities and new plant above.
- The building contrasts in its expression and is detailed in steel and glass both clear and ribbed and with glazed brick spandrel panels. While the large areas of glazing and exposed structural steel frame indicate both the new use and contemporary nature of the extension the glazed brick work and dark palette agree with the tone of the Hope & Anchor and KOKO elevations. Thus allowing the new wing to sit harmoniously within the overall KOKO block and read comfortably alongside the 19C warehouse building directly opposite.

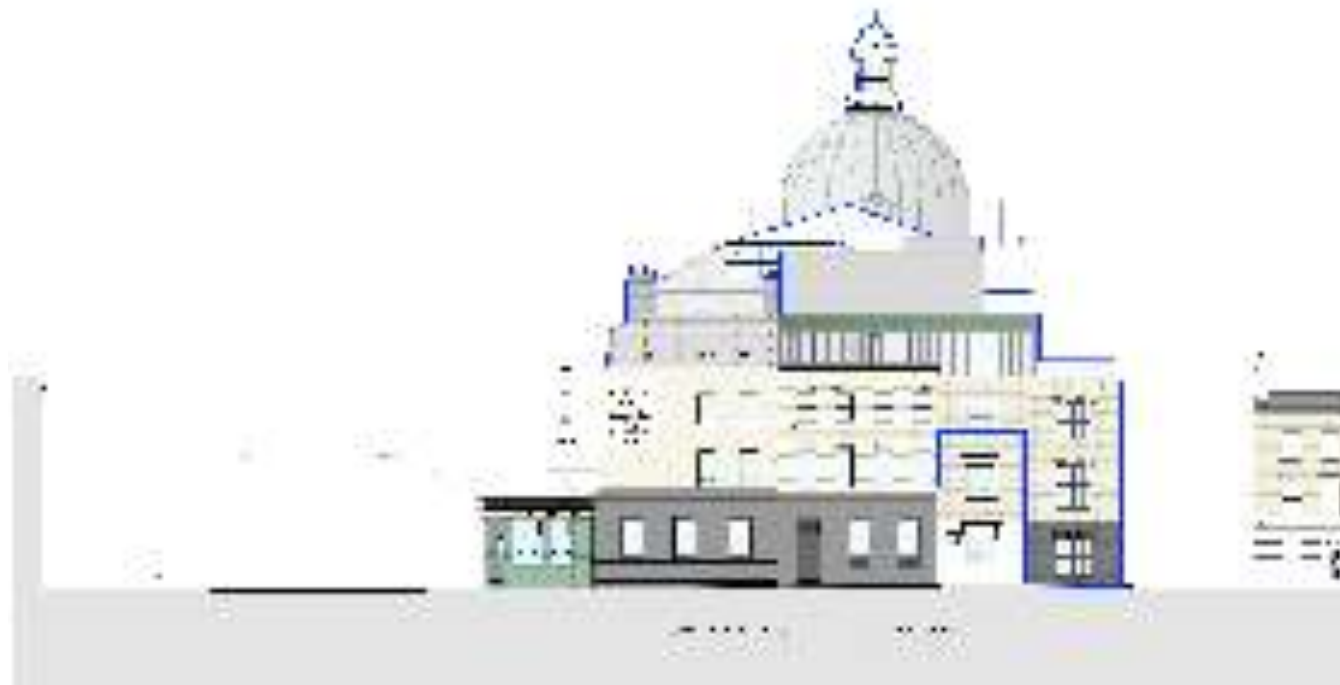


Image 27: Proposed Bayham Street Elevation

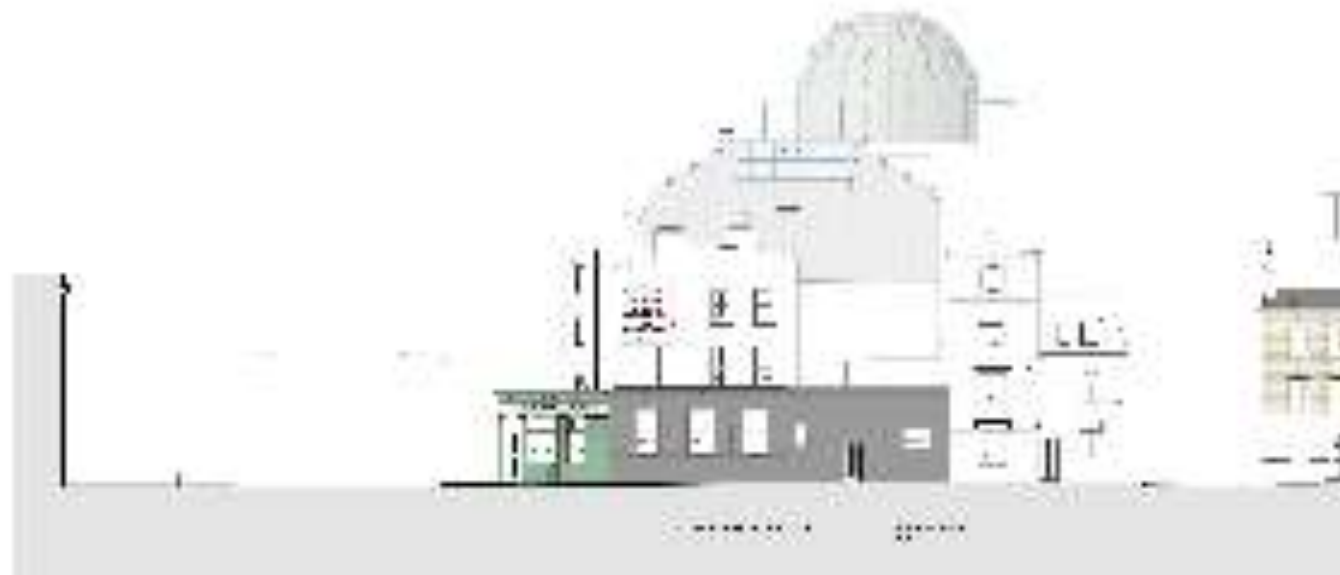


Image 28: Existing Bayham Street Elevation

- The scale of the new wing is diminished stepping back at both 3<sup>rd</sup> and 4<sup>th</sup> floor levels to reveal a glazed gallery at roof level that connects the lift core to the Rooftop lobby. The building's stepped section also respects the views looking down Bayham Place where the reinstated cupola is visible. When viewed further back from both Bayham St and Kings Terrace the long views retain both the view of the dome and replaced cupola completing KOKO's architectural composition and significance both within the site and the conservation area as a whole. Ref. Image 20 (view 5) + Image 18 (view 6)



Image 29: Proposed Bayham Place Elevation



Image 30: Existing Bayham Place Elevation



Image 31: Proposed site plan

## 6.0 Access

- 6.01 Visitor access to KOKO will remain via the front entrance on Camden High St. The stage door on the south elevation addresses Crowndale Rd and the staff entrance and box office sales window marks the end of the KOKO Crowndale road elevation. The Hope & Anchor is currently derelict and is served by 5 entrances. A new entrance adjacent to the box office for Private Members, a prominent corner entrance at the intersection of Bayham St and Crowndale Rd, an entrance on Bayham Street, an entrance on the corner of Bayham Place and a further service entrance to the north on Bayham Place. There is also a pavement hatch on Bayham St that provides access to the existing beer cellar. Numerous existing escape stairs from the KOKO auditorium discharge directly into Bayham Place via push bar operated double doors along the remainder of KOKO's north facade.
- 6.02 Disabled access to the buildings is very poor and involves mounting stairs at each of the existing building's entrances. The buildings have no means for wheel chair users to travel between floors. A removable ramp is available for visitors to mount the existing stairs at KOKO's entrance. Due to the buildings Grade II Listed status internal lifts would cause damage to the historic fabric.
- 6.03 Within the proposal access to KOKO will remain as existing. Access to the Hope & Anchor will be via the principle corner entrance at Crowndale Rd and Bayham Street junction; furthest away from the residential dwellings to the east. The open kitchen occupies the North East rooms of the ground floor footprint of the Hope & Anchor and has a dedicated entrance at street level. These new entrances are at grade and as such completely accessible.
- 6.04 The Private members entrance is on the junction of KOKO and the Hope + Anchor. A dropped kerb at the pavement to Bayham Place allowing wheelchairs direct access to the buildings from the corner entrance of Bayham St and Bayham Place and directly on Bayham Street itself. Ref AHA/KKC/GA/100
- 6.05 2no. 13 person lifts service all five floors in addition to the basement, the southern car also serves the lower basement level. There are 3no separate disabled WC provisions located in the basement, 1<sup>st</sup> floor and 4<sup>th</sup> floor, all of which can be accessed via the lifts.
- 6.06 Maintenance to the external elevations and roofs will be localised.

## 7.0 Crime Prevention

- 5.01 All communal entrance doors and opening windows on ground access levels will be to a security enhanced standard and monitored at all hours.
- 5.02 The doors leading to cycle parking, including the lift will have fob control and self-closing latches.
- 5.03 Consideration will be given to CCTV and alarm systems.
- 5.04 Consideration will be given to lighting. The client envisages a submittal of a future planning and listed building application covering proposed signage and lighting. This will provide high-level signage for the theatre and pub in line with the buildings uses and characteristics and a comprehensive study of lighting and way finding requirements for pedestrians interacting with the building and its various public and private entrances and doors. Careful attention has been given to the design and management of doorways within the scheme deterring vagrants or problems of urination.
- 5.05 The project will be subject to a site wide management plan submitted with the application.
- 5.06 KOKO currently works with Camden Police Licencing on the 'Quiet Streets' initiative, this will continue and encompass the new food buildings.
- 5.07 The venue will be a member of Camden Business Against Crime as is KOKO currently, all security personnel will have CBAC radios and can communicate with Camden Council CCTV, Police and other venues that are members of the CBAC to prevent crime and disorder in Camden.

## 8.0 Sustainability and Energy

The proposal can be split into two parts, the refurbishment of the Grade II Listed Koko building and the redevelopment of The Hope & Anchor, 1 Bayham Street and 65 Bayham Place. It is proposed to renew the outdated services within Koko and improve the thermal performance of the building wherever possible unless doing so "*would unacceptably alter the character or appearance of the building*" in accordance with Section 3.1 of Part L2B of the Building Regulations. The redevelopment of The Hope & Anchor, 1 Bayham Street and 65 Bayham Place and the extensions to Koko will all be constructed in accordance with Part L2B of the Building Regulations.

For further information on Sustainability and Energy please refer to the Sustainability Report prepared by Eight Associates submitted with this application

## 9.0 Materials

### KOKO façade:

- Existing render façade made good.
- Redecoration throughout.
- Existing doors to be stripped to varnished natural timber finish, new doors and windows to match original.
- Cupola reinstated with carved timber detailing and paint finish with lead roof and finial.
- Existing copper dome retained, repaired and made good where required.

### Rooftop Pavilion:

- Formed with black gloss Crittal windows and patent glazed steel mullions. Refer to architects drawing *AHA-KKC-DET-530* for details.

### Flytower:

- Retained slate roof to be repaired and made good with reclaimed slate to match existing where required

### Hope & Anchor façade:

- Existing glazed brick to be retained and made good
- Terracotta fascia and lettering retained and made good.
- Existing windows retained, made good eased and adjusted.
- Render finish to upper floors made good.
- New welsh slate mansard roof with timber painted dormer windows + lead roofs.

### Infill building (1<sup>st</sup> and 2<sup>nd</sup> Floor between the Hope & Anchor and 1 Bayham Street)

- New London stock brick detailed with Flemish bond and a struck mortar joint
- Gauged brick lintels
- Timber frame double hung windows

### 1 Bayham Street

- Existing London stock brick façade made good with reclaimed London stock brick as required.
- Existing windows to be reinstated with openings adjusted to agree with new floor levels.

### 65 Bayham place

- Black engineering brick base with reclaimed London stock brick upper floors
- New timber framed casement windows.
- Arched brick lintels

### Bayham Street Building

- Exposed rolled steel sections
- Crittal glazing with portions of ribbed glass
- Glazed tile spandrel sections
- Metal louvers surrounding plant



Image 32: View from the Sky Lobby

## 10. Conclusion

The Koko project will perform within the immediate neighbourhood as well as within London's arts and entertainment life in a number of important respects. The Koko club and venue will be supported and thrive retaining its reputation as one of the capital's few preferred independent live music venues for an audience of 1500 people. Alongside the entertainment use the hospitality element of the project will provide Camden and London with a unique venue and experience for music lovers wanting to relax over longer periods of time. The project's conservation goals include the refurbishment and making good works to Sprague's flamboyant façade, iconic dome and reinstatement of the cupola. The project will simultaneously make an important contribution to the improvement of the conservation areas; including the retention of the Hope & Anchor, its careful extension, infilling holes on Bayham Street and the replacement of the derelict corner building at 65 Bayham Place. The project's architectural ambitions are fulfilled with the carefully considered and scaled pavilion sitting delicately between Koko's dome and flytower and the more powerfully expressed contemporary façade intervention above the retained industrial buildings in the typical Camden muse on Bayham place. Holistically the refurbished dome and cupola, repaired facades and new elements of the building will provide a dynamic entertainment and hospitality hub within a gateway building in London's unique Camden town and market.

## 11. Appendices

### A. Area Schedule:

LOCATION	Existing Gross External Area	Area Gain	Proposed Gross External Area
	Square Meters	Square Meters	Square Meters
Lower Basement	323	60	383
Basement	1285	54	1339
Ground	1588	14	1602
First	1222	203	1425
Second	1012	317	1329
Third	935	209	1144
Fourth	209	483	692
<b>Total</b>	<b>6574</b>	<b>1340</b>	<b>7914</b>



## B. Fire Strategy / Fire Safety Plans

**Subject:** RE: KOKO-Fire strategy  
**Date:** Friday, 21 July 2017 at 15:31:35 British Summer Time  
**From:** Amir.Karim@uk.bureauveritas.com  
**To:** Alex.Manning@uk.bureauveritas.com, Fahmida Rahman  
**CC:** David Archer, Peter Cook, Susan Janik, Laura Ferrer

Fahmida,

Please find attached our fire safety mark-ups for KOKO. With the addition of the following comments;

The premise of the KOKO fire strategy is not making the existing situation any worst in satisfying building regulations, where refurbishment works are made then these should be maintained as per the existing arrangement if not better.

### **Compartmentation**

Escape stairs should be enclosed in 30 minutes  
Store rooms should be enclosed in 30 minutes  
Kitchens / Kilns should be enclosed in 30 minutes  
Plant rooms should be enclosed in 30 minutes  
Risers i.e. lifts, services risers etc. should be enclosed in 30 minutes.  
The single bedroom should be enclosed in 60 minutes.

### **Storey and Final Exit Widths**

#### Ground Floor = 150

Minimum Final Exit Widths = 2x 1050mm or 3x 800mm

#### First Floor = 130

Minimum Storey Exit Widths = 2x 1050mm or 3x 800mm

#### Second Floor = 180

Minimum Storey Exit Widths = 2x 1050mm or 3x 800mm

#### Third Floor = 70

Minimum Storey Exit Widths = 2x 800mm

#### Fourth Floor = 310

Minimum Storey Exit Widths = 2x 1300mm or 3x 1050mm or 4x 800mm

Minimum Exits from the Dome = 2x 800mm  
Minimum Exits from the Pavilion = 2x 1050mm  
Minimum Exits from the Terrace = 2x 800mm

### **Stair Widths**

4 Available exits from the roof terrace, thus assume  $310/4 = 78$  per stair split  
Assumed 2 Available exits from the third floor, thus assume  $70/2 = 35$  per stair split  
Assumed 2 Available exits from the second floor, thus assume  $180/2 = 90$  per stair split  
Assumed 2 Available exits from the first floor, thus assume  $130/2 = 65$  per stair split

Therefore, a single worst case fully loaded stair would take 268 people, thus new stairs should be 1000mm each.

Kind Regards,



**Amir Karim** BEng. (Hons), MSc. | **Fire Engineer**  
**Fire Safety Engineering**

e: [amir.karim@uk.bureauveritas.com](mailto:amir.karim@uk.bureauveritas.com)

t: +44 (0) 207 392 0130 | m: +44 (0) 7714 154 879 | central: 0845 600 1828

w: [www.bureauveritas.co.uk](http://www.bureauveritas.co.uk)

Bureau Veritas | 5th Floor, 66 Prescot Street, London E1 8HG

**Upcoming Absences: None**

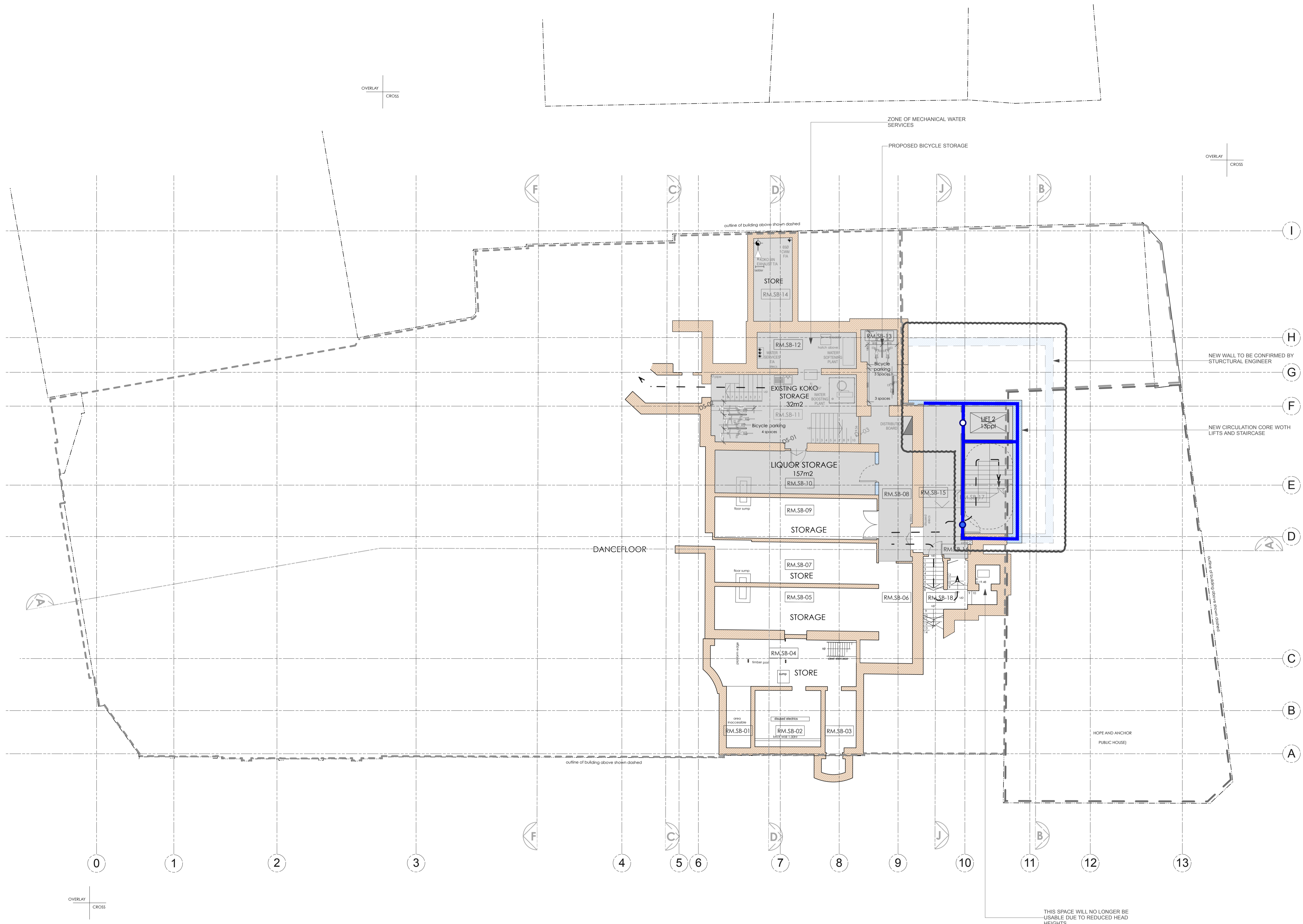
Providing quality, health, safety, environmental and sustainability solutions  
to forward thinking organisations [www.bureauveritas.co.uk/portfolio](http://www.bureauveritas.co.uk/portfolio)

Bureau Veritas Building Control UK Ltd, Registered in England and Wales, Company Number 03460854  
Registered Office: 2 Links Court, Links Business Park, St. Mellons, Cardiff CF3 0LT

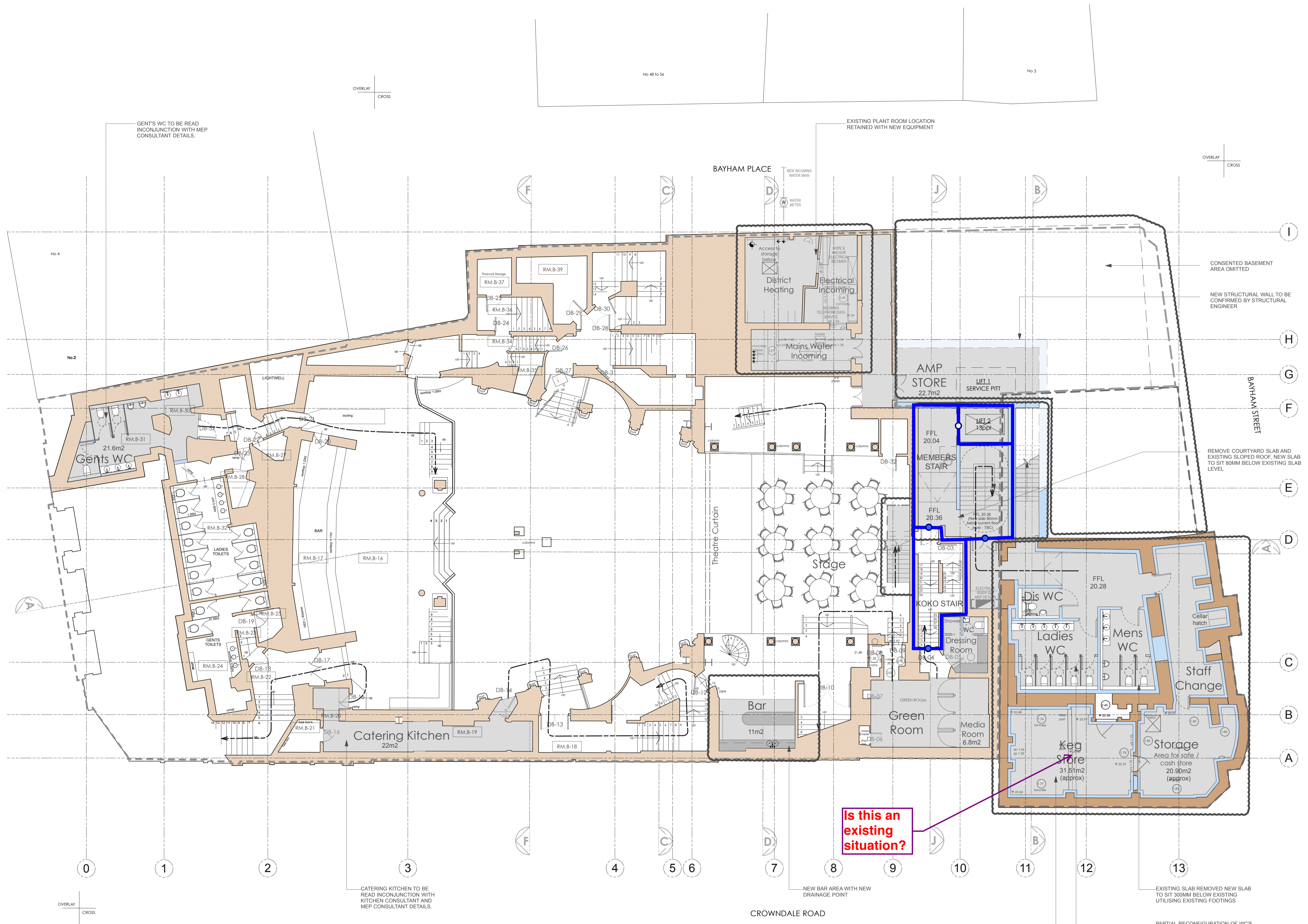
Save paper, energy and water, reduce waste and greenhouse gas emissions, and raise environmental awareness: don't print this email or attachments

This message contains confidential information.

To know more, please click on the following link: <http://disclaimer.bureauveritas.com>

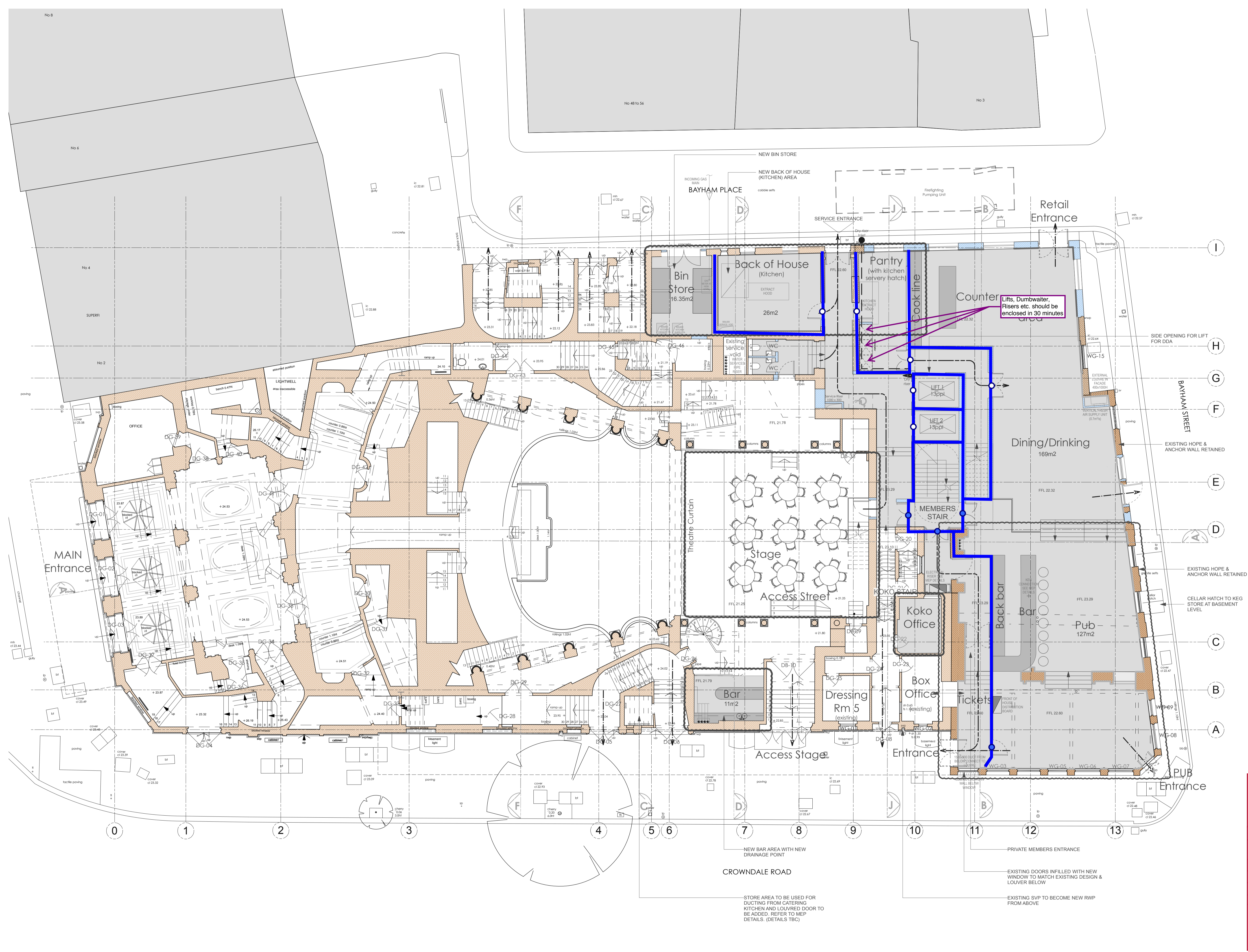






	30 minutes fire-resistance		
	FD30S Fire Door with smoke seals		
	FD 30 Fire Door		
<b>Scheme:</b>	KOKO		
<b>Document Reference:</b>	170721 - KOKO - Bureau Veritas Fire Safety Mark-ups.pdf		
<b>Job Number:</b>	S17033412	<b>Date:</b>	21/07/2017
<b>BV Mark-ups &amp; Comments</b>		<b>Issue:</b>	01
<b>Drafted by:</b> AKarim			
<b>Reviewed by:</b> AManning			
Bureau Veritas Fire Engineering Fifth Floor, 66 Prescot Street, London E1 6HG T: +44(0)207 392 0130 W: www.bureauveritas.co.uk			



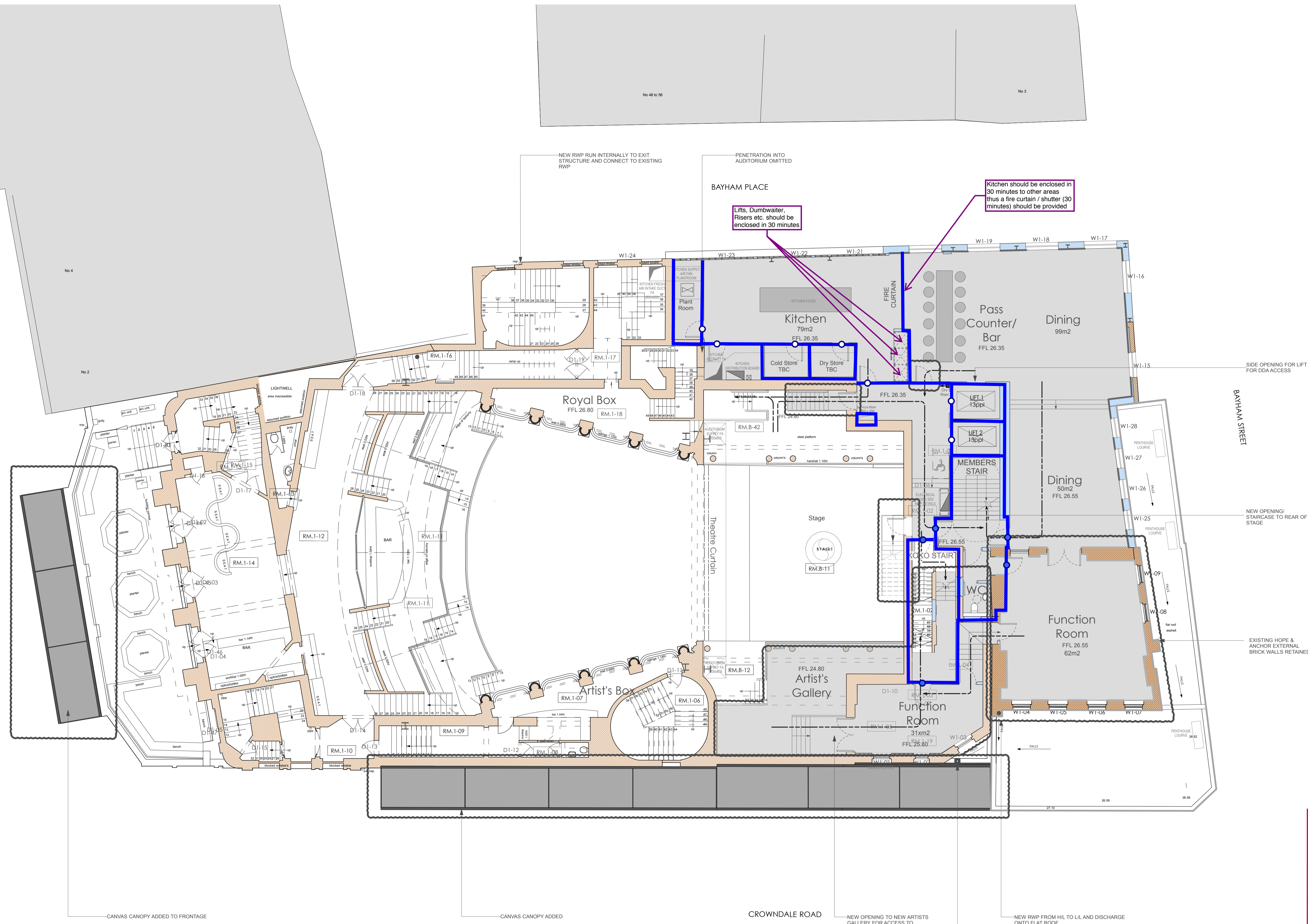
Is this an existing situation?

	30 minutes fire-resistance
	FD30S Fire Door with smoke seals
	FD 30 Fire Door
<b>Scheme:</b>	KOKO
<b>Document Reference:</b>	170721 - KOKO - Bureau Veritas Fire Safety Mark-ups.pdf
<b>Job Number:</b>	S17033412
<b>Date:</b>	21/07/2017
<b>BV Mark-ups &amp; Comments</b>	<b>Issue:</b> 01
<b>Drafted by:</b>	AKarim
<b>Reviewed by:</b>	AManning
Bureau Veritas Fire Engineering Fifth Floor, 66 Prescott Street, London E1 8HG T: +44(0)207 392 0130 W: www.bureauveritas.co.uk	



	30 minutes fire-resistance
	FD30S Fire Door with smoke seals
	FD 30 Fire Door
<b>Scheme:</b>	KOKO
<b>Document Reference:</b>	170721 - KOKO - Bureau Veritas Fire Safety Mark-ups.pdf
<b>Job Number:</b>	S17033412
<b>Date:</b>	21/07/2017
<b>BV Mark-ups &amp; Comments</b>	<b>Issue:</b> 01
<b>Drafted by:</b>	AKarim
<b>Reviewed by:</b>	AManning
Bureau Veritas Fire Engineering Fifth Floor, 86 Prescot Street, London E1 8HG T: +44(0)207 392 0130 W: www.bureauveritas.co.uk	
	

Proposed Ground Floor Plan



Lifts, Dumbwater, Risers etc. should be enclosed in 30 minutes

Kitchen should be enclosed in 30 minutes to other areas thus a fire curtain / shutter (30 minutes) should be provided

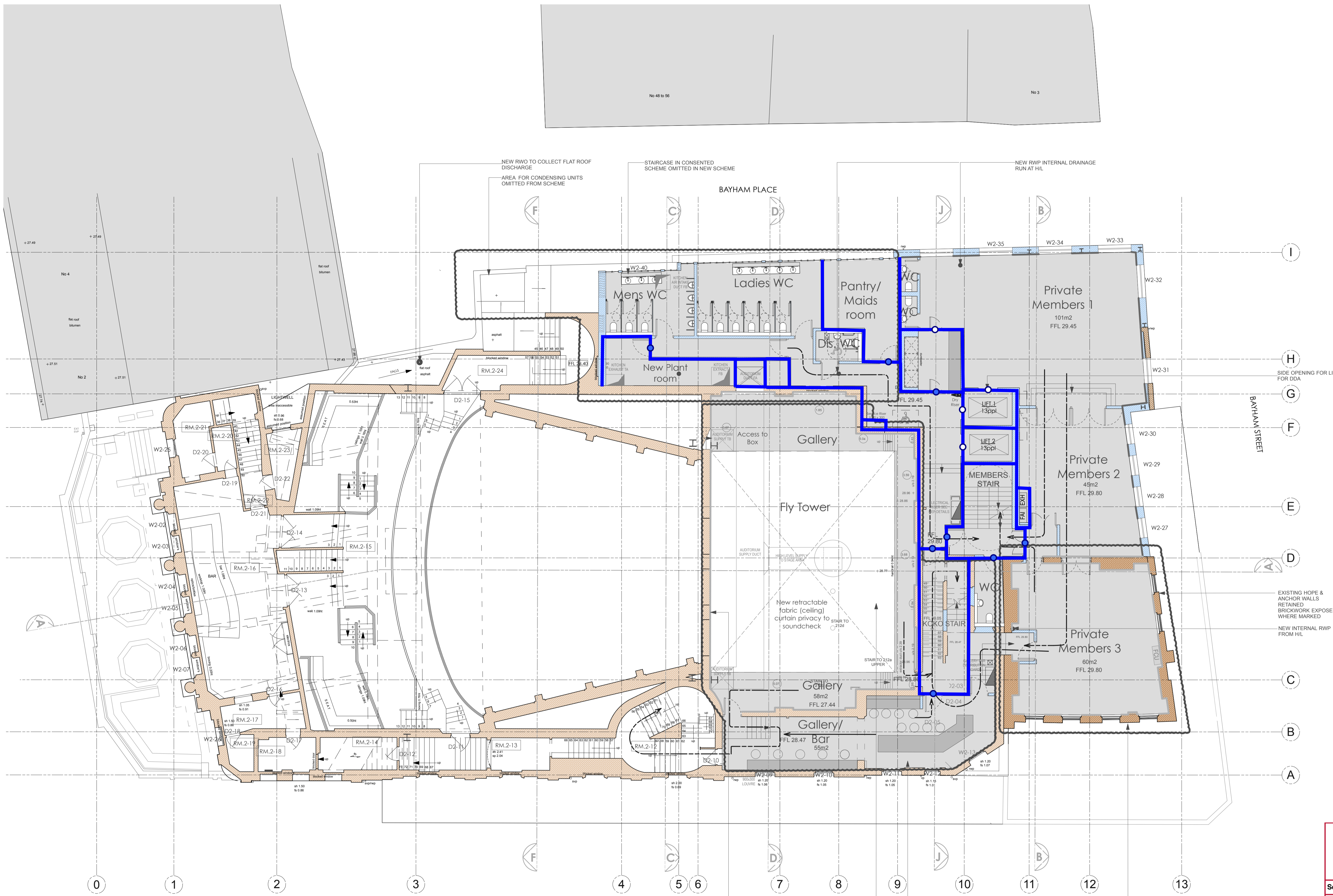
- 30 minutes fire-resistance
- FD30S Fire Door with smoke seals
- FD 30 Fire Door

<b>Scheme:</b>	KOKO
<b>Document Reference:</b>	170721 - KOKO - Bureau Veritas Fire Safety Mark-ups.pdf
<b>Job Number:</b>	S17033412
<b>Date:</b>	21/07/2017
<b>BV Mark-ups &amp; Comments</b>	<b>Issue:</b> 01

**Drafted by:** AKarim  
**Reviewed by:** AManning

**Bureau Veritas**  
 Fire Engineering  
 Fifth Floor, 66 Prescot Street, London  
 E1 8HG  
 T: +44(0)207 392 0130  
 W: www.bureauveritas.co.uk





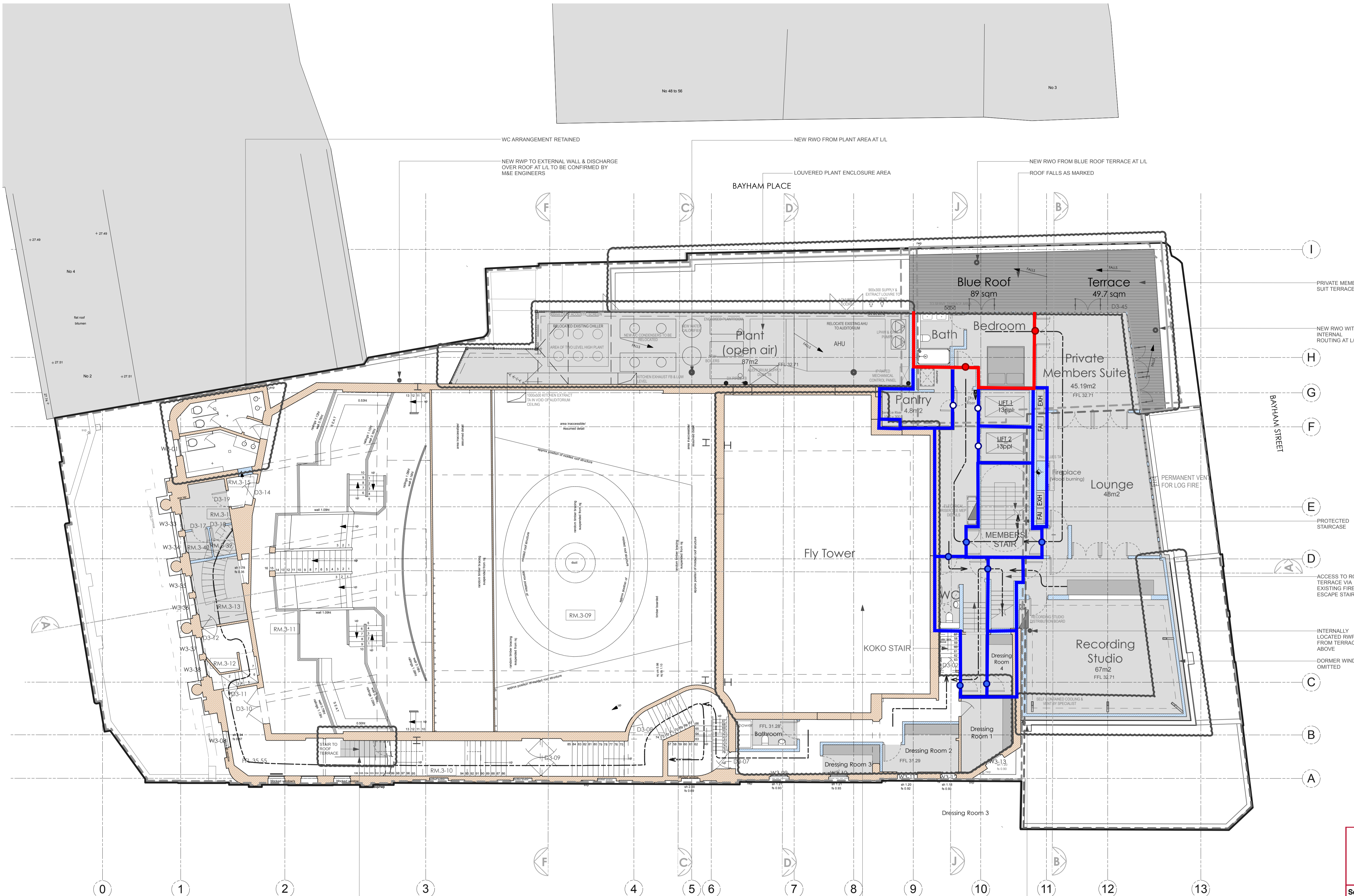
- 30 minutes fire-resistance
- FD30S Fire Door with smoke seals
- FD 30 Fire Door

<b>Scheme:</b>	KOKO	
<b>Document Reference:</b>	170721 - KOKO - Bureau Veritas Fire Safety Mark-ups.pdf	
<b>Job Number:</b>	S17033412	<b>Date:</b> 21/07/2017
<b>BV Mark-ups &amp; Comments</b>		<b>Issue:</b> 01

**Drafted by:** AKarim  
**Reviewed by:** AManning

**Bureau Veritas**  
 Fire Engineering  
 Fifth Floor, 66 Prescott Street, London  
 E1 6HG  
 T: +44(0)207 392 0130  
 W: www.bureauveritas.co.uk





- 30 minutes fire-resistance
- FD30S Fire Door with smoke seals
- FD 30 Fire Door

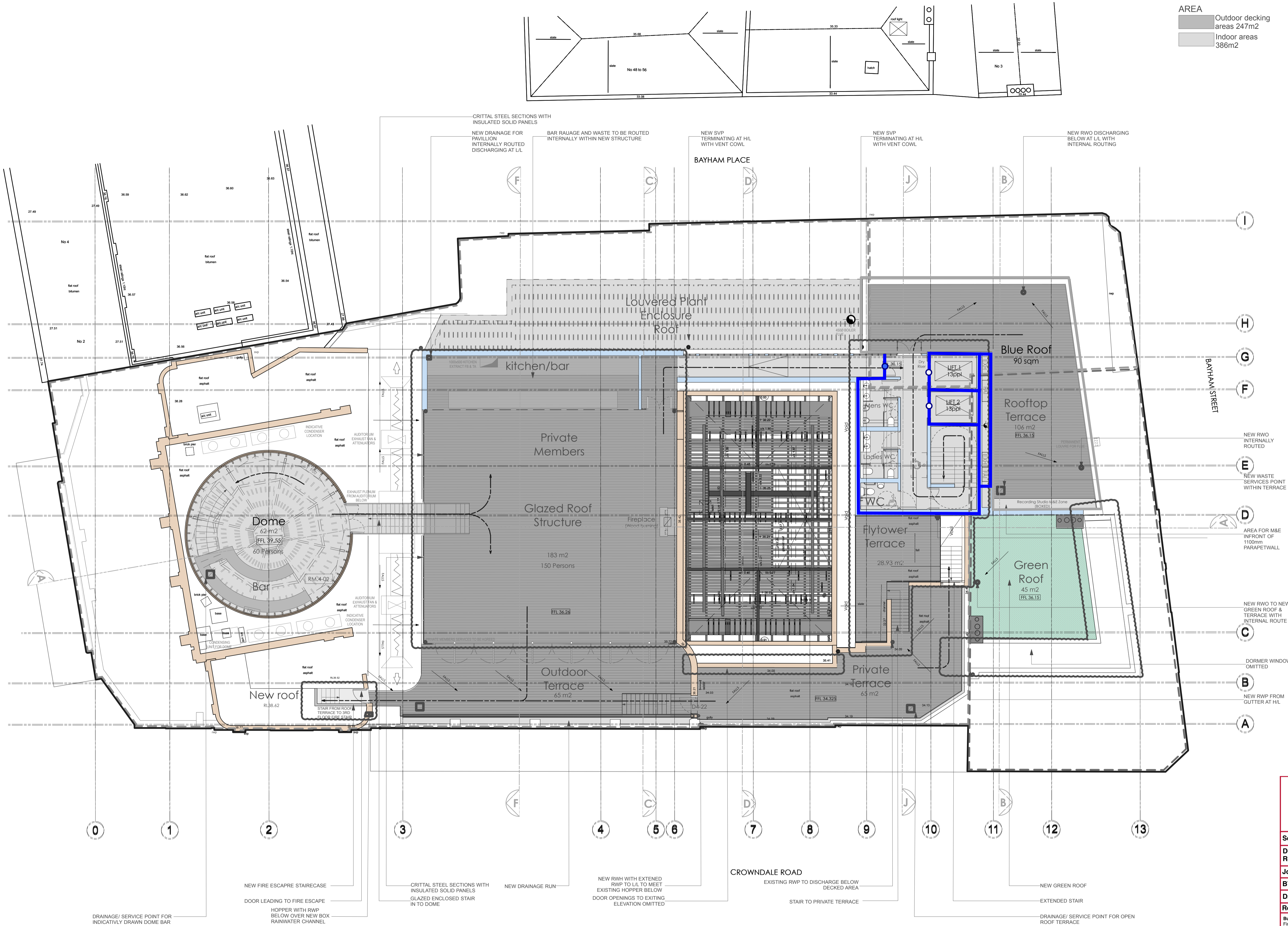
<b>Scheme:</b>	KOKO	
<b>Document Reference:</b>	170721 - KOKO - Bureau Veritas Fire Safety Mark-ups.pdf	
<b>Job Number:</b>	S17033412	<b>Date:</b> 21/07/2017
<b>BV Mark-ups &amp; Comments</b>		<b>Issue:</b> 01

**Drafted by:** AKarim  
**Reviewed by:** AManning

**Bureau Veritas**  
 Fire Engineering  
 Fifth Floor, 66 Prescott Street, London  
 E1 8HG  
 T: +44(0)207 392 0130  
 W: www.bureauveritas.co.uk



AREA	
	Outdoor decking areas 247m <sup>2</sup>
	Indoor areas 386m <sup>2</sup>



I  
H  
G  
F  
E  
D  
C  
B  
A

- 30 minutes fire-resistance
- FD30S Fire Door with smoke seals
- FD 30 Fire Door

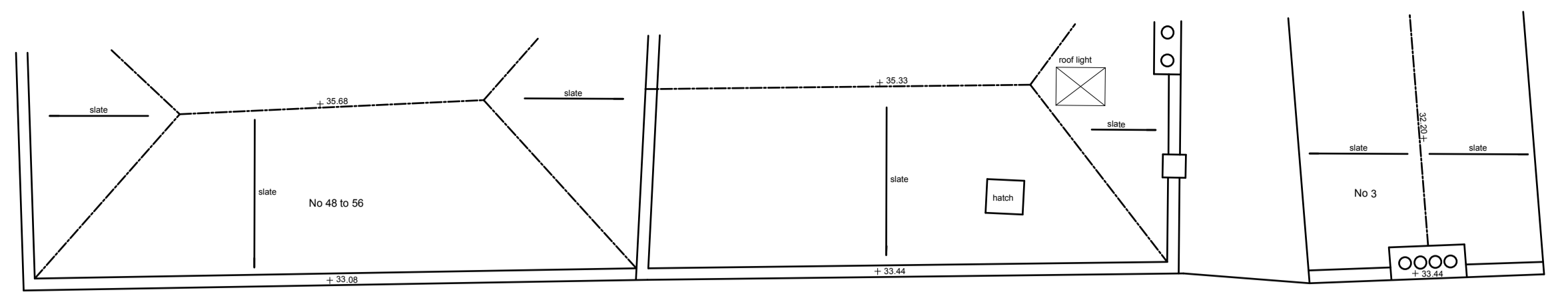
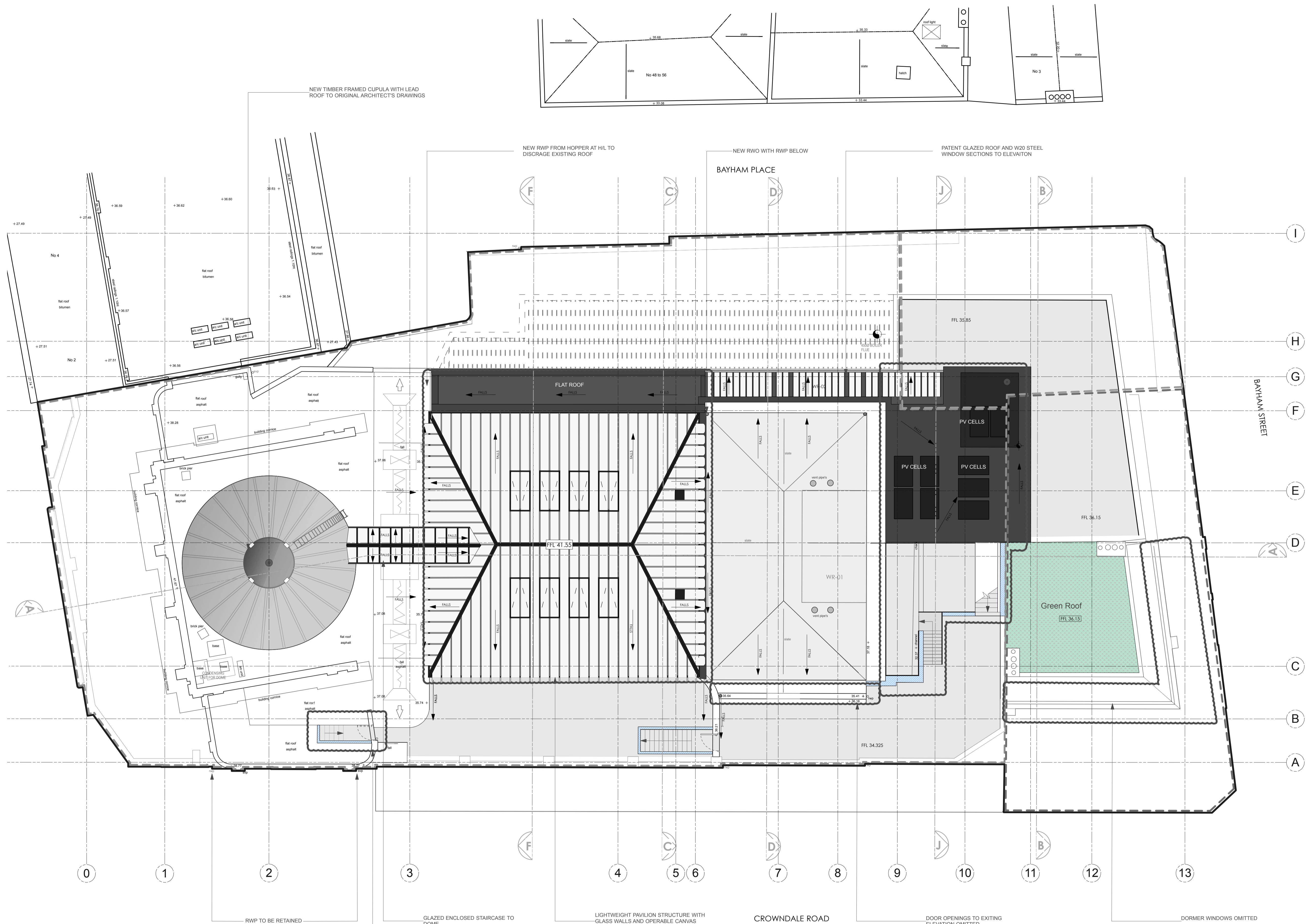
<b>Scheme:</b>	KOKO	
<b>Document Reference:</b>	170721 - KOKO - Bureau Veritas Fire Safety Mark-ups.pdf	
<b>Job Number:</b>	S17033412	<b>Date:</b> 21/07/2017
<b>BV Mark-ups &amp; Comments</b>		<b>Issue:</b> 01

**Drafted by:** AKarim  
**Reviewed by:** AManning

**Bureau Veritas**  
 Fire Engineering  
 Fifth Floor, 86 Prescot Street, London  
 E1 8HG  
 T: +44(0)207 392 0130  
 W: www.bureauveritas.co.uk







	30 minutes fire-resistance
	FD30S Fire Door with smoke seals
	FD 30 Fire Door
<b>Scheme:</b>	KOKO
<b>Document Reference:</b>	170721 - KOKO - Bureau Veritas Fire Safety Mark-ups.pdf
<b>Job Number:</b>	S17033412
<b>Date:</b>	21/07/2017
<b>BV Mark-ups &amp; Comments</b>	<b>Issue:</b> 01
<b>Drafted by:</b> AKarim	
<b>Reviewed by:</b> AManning	
Bureau Veritas Fire Engineering Fifth Floor, 66 Prescott Street, London E1 6HG T: +44(0)207 392 0130 W: www.bureauveritas.co.uk	

Proposed Roof Plan