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ISSUED FOR PERMIT APPLICATION  
 A/20/04/17/17 - Approved construction following check

ISSUED FOR PERMIT APPLICATION  
 A/20/04/17/17 - Approved construction following check

ISSUED FOR PERMIT APPLICATION  
 A/20/04/17/17 - Approved construction following check

AREA  
 274m<sup>2</sup>

POPULATIONS  
 GF - 150  
 1F - 130  
 2F - 180  
 3F - 110 total  
 4F - 90  
 (150 Dorms)  
 (100 Terrace)  
 (100 Terrace)

LEGEND  
 Existing Building Fabric  
 Proposed Demolition  
 Proposed Renovation  
 Proposed New Construction  
 Proposed Floor Plate  
 Proposed Staircase  
 Proposed Lift  
 Proposed Escalator  
 Proposed Access Route  
 Proposed Escape Route  
 Proposed Fire Escape Route  
 Proposed Fire Escape Route

DEMOLITION OF FLOORING / EXISTING WALLS  
 PROPOSED EXCAVATION  
 REMOVE AND REPAIR IN alternate location  
 REMOVE PROJECT and retain for reinforcement  
 REPAIR, REINFORCE, AND ADJUST

EXISTING BUILDING FABRIC  
 EXISTING BUILDING FABRIC  
 EXISTING BUILDING FABRIC  
 EXISTING BUILDING FABRIC  
 EXISTING BUILDING FABRIC  
 EXISTING BUILDING FABRIC

PROPOSED ESCAPE ROUTE  
 PROPOSED ESCAPE ROUTE  
 PROPOSED ESCAPE ROUTE  
 PROPOSED ESCAPE ROUTE  
 PROPOSED ESCAPE ROUTE  
 PROPOSED ESCAPE ROUTE

PROPOSED FLOOR PLATE ABOVE  
 PROPOSED FLOOR PLATE ABOVE  
 PROPOSED FLOOR PLATE ABOVE  
 PROPOSED FLOOR PLATE ABOVE  
 PROPOSED FLOOR PLATE ABOVE  
 PROPOSED FLOOR PLATE ABOVE

PROPOSED STAIRCASE  
 PROPOSED STAIRCASE  
 PROPOSED STAIRCASE  
 PROPOSED STAIRCASE  
 PROPOSED STAIRCASE  
 PROPOSED STAIRCASE

PROPOSED LIFT  
 PROPOSED LIFT  
 PROPOSED LIFT  
 PROPOSED LIFT  
 PROPOSED LIFT  
 PROPOSED LIFT

PROPOSED ESCALATOR  
 PROPOSED ESCALATOR  
 PROPOSED ESCALATOR  
 PROPOSED ESCALATOR  
 PROPOSED ESCALATOR  
 PROPOSED ESCALATOR

PROPOSED ACCESS ROUTE  
 PROPOSED ACCESS ROUTE  
 PROPOSED ACCESS ROUTE  
 PROPOSED ACCESS ROUTE  
 PROPOSED ACCESS ROUTE  
 PROPOSED ACCESS ROUTE

PROPOSED FIRE ESCAPE ROUTE  
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 PROPOSED FIRE ESCAPE ROUTE

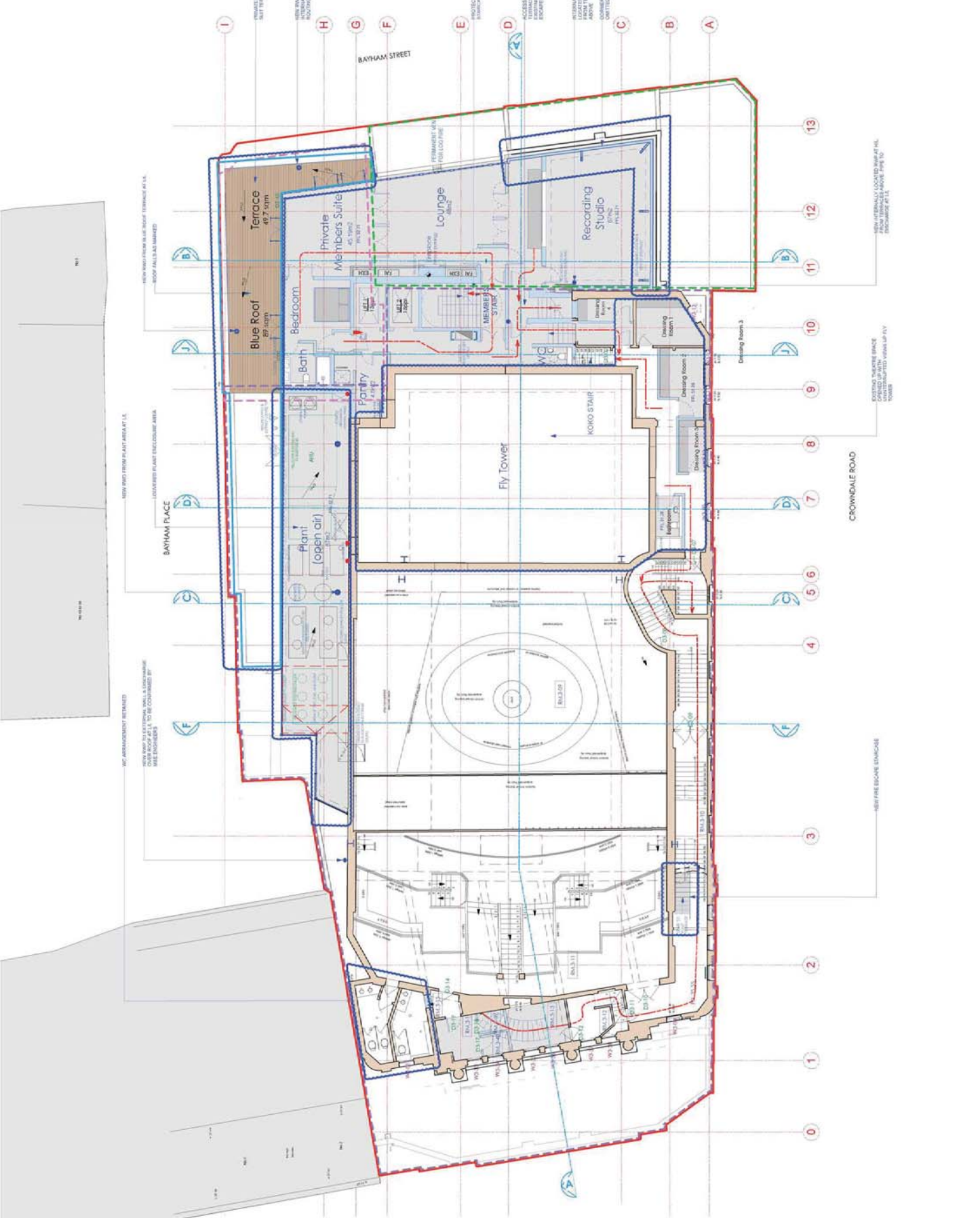
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 PROPOSED FIRE ESCAPE ROUTE



10.07.17

Scale: 1:500  
 0 1 2 3 4 5 6 7 8 9 10 11 12 13

North Arrow

Pre Application  
 Archer Humphreys Architects

Architects  
 142 Colindale Avenue  
 Colindale, London  
 NW9 1SA  
 Tel: +44 (0) 20 7271 5333

Client: K&C  
 142 Colindale Avenue  
 Colindale, London  
 NW9 1SA  
 Tel: +44 (0) 20 7271 5333

Proposed Third Floor Plan  
 ANNEX (QA/103)  
 10/07/17

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**Notes:**  
 1. All work shall be in accordance with the contract and the specification.  
 2. The architect shall be responsible for the safety of the building and the safety of the public.  
 3. The architect shall be responsible for the safety of the building and the safety of the public.

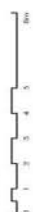
**POPULATIONS**

GF - 150
1F - 130
2F - 180
3F - 70
4F - 310 total
(950 Pavilion)
(100 Terrace)

**LEGEND**

- Existing building fabric (KOKO A&E)
- Concrete/Police Theatre (1900)
- Existing building fabric
- Roof & floor (1900/1000)
- Kitchen (from 1870)
- Booth (from 1870)
- Existing museum building fabric
- Booth (from 2004)
- Existing fabric to be demolished
- Direction of flooring / elevation / roof
- Proposed Excavation
- Remove and retain in alternate location
- Remove (Project) and retain for measurement
- Retain, make good, ease and outline
- APR Booth
- Green Kiosk to rooftop restaurant
- Means of escape route
- Proposed floor
- Proposed floor above
- Room Number
- Door Number
- Window Number
- Hope & Anchor Denim
- Koko Denim
- Booth Level A, As Boyham
- Floor Denim
- Blue roof

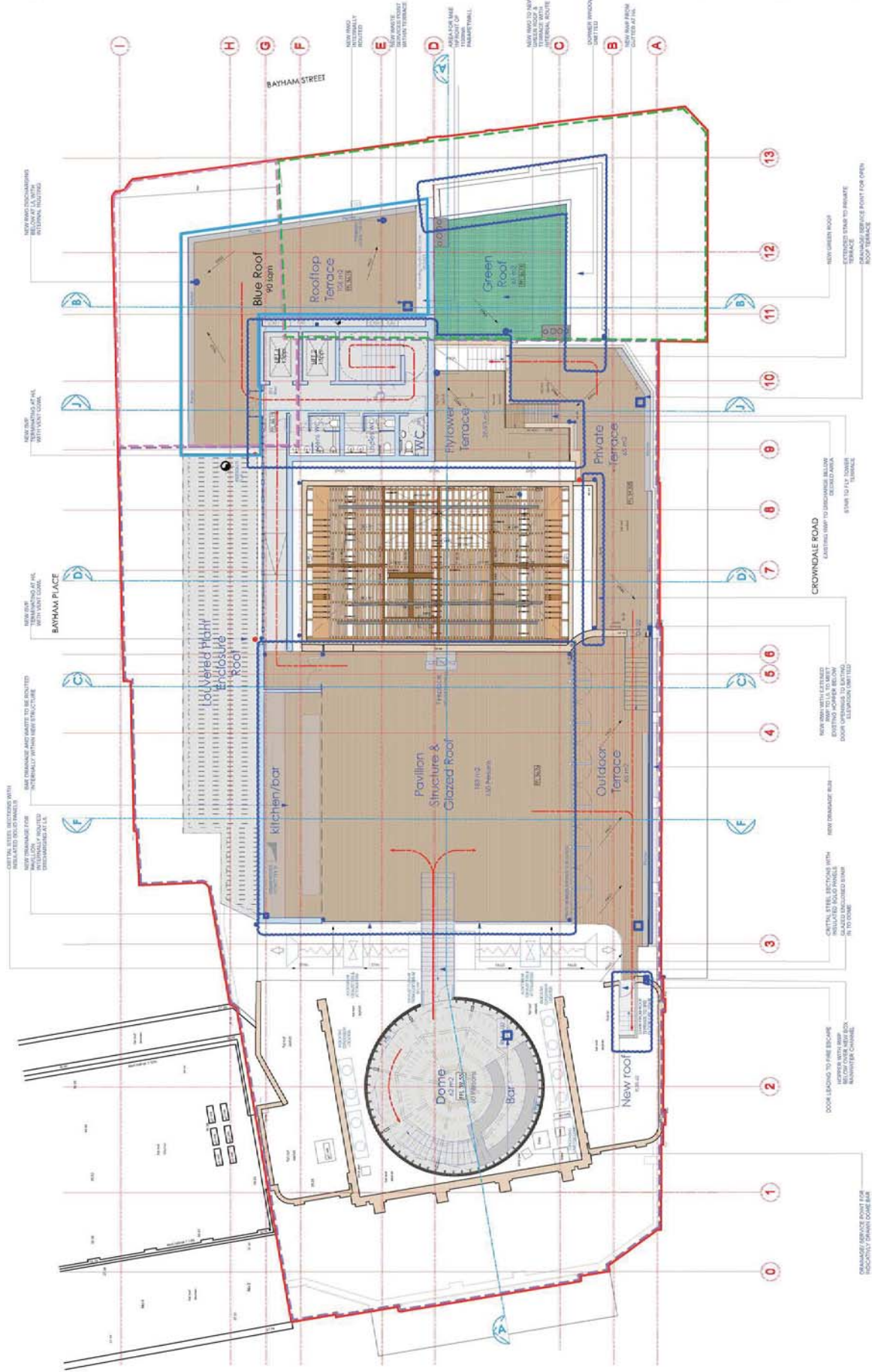
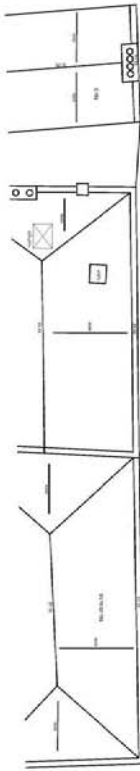
17.07.17



Pre Application  
 Archer Humphreys Architects

**Client:** Koko + Hope & Anchor  
**Address:** Camden, London  
**Project Name:** Proposed Fourth Floor Plan  
**Architect:** Archer Humphreys Architects  
**Project No:** AH/17/04

**AREA**  
 Outdoor decking areas: 247m<sup>2</sup>  
 Indoor areas: 306m<sup>2</sup>

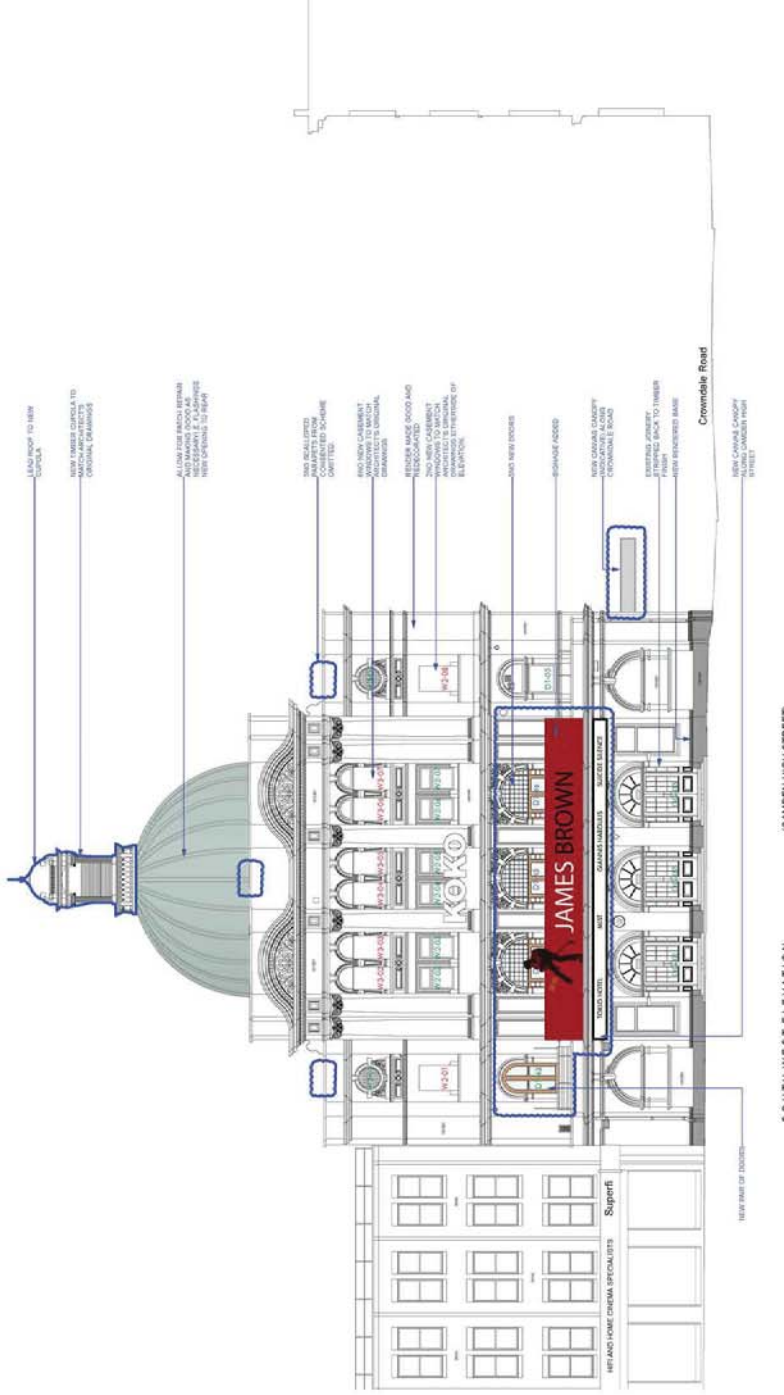


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 3. The architect shall be responsible for the safety of the building and the safety of the public.



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- REVISIONS**
- A (16/09/17) - Initial design concept
  - B (16/09/17) - Design development
  - C (16/09/17) - Final design
  - D (16/09/17) - Construction with MEP elements
  - E (16/09/17) - Material selection
  - F (16/09/17) - Final design
  - G (16/09/17) - Construction with MEP elements
  - H (16/09/17) - Material selection
  - I (16/09/17) - Final design
  - J (16/09/17) - Construction with MEP elements
  - K (16/09/17) - Material selection
  - L (16/09/17) - Final design
  - M (16/09/17) - Construction with MEP elements
  - N (16/09/17) - Material selection
  - O (16/09/17) - Final design
  - P (16/09/17) - Construction with MEP elements
  - Q (16/09/17) - Material selection
  - R (16/09/17) - Final design
  - S (16/09/17) - Construction with MEP elements
  - T (16/09/17) - Material selection
  - U (16/09/17) - Final design
  - V (16/09/17) - Construction with MEP elements
  - W (16/09/17) - Material selection
  - X (16/09/17) - Final design
  - Y (16/09/17) - Construction with MEP elements
  - Z (16/09/17) - Material selection



10.07.17



**Pre Application**  
**Archer Humphreys Architects**

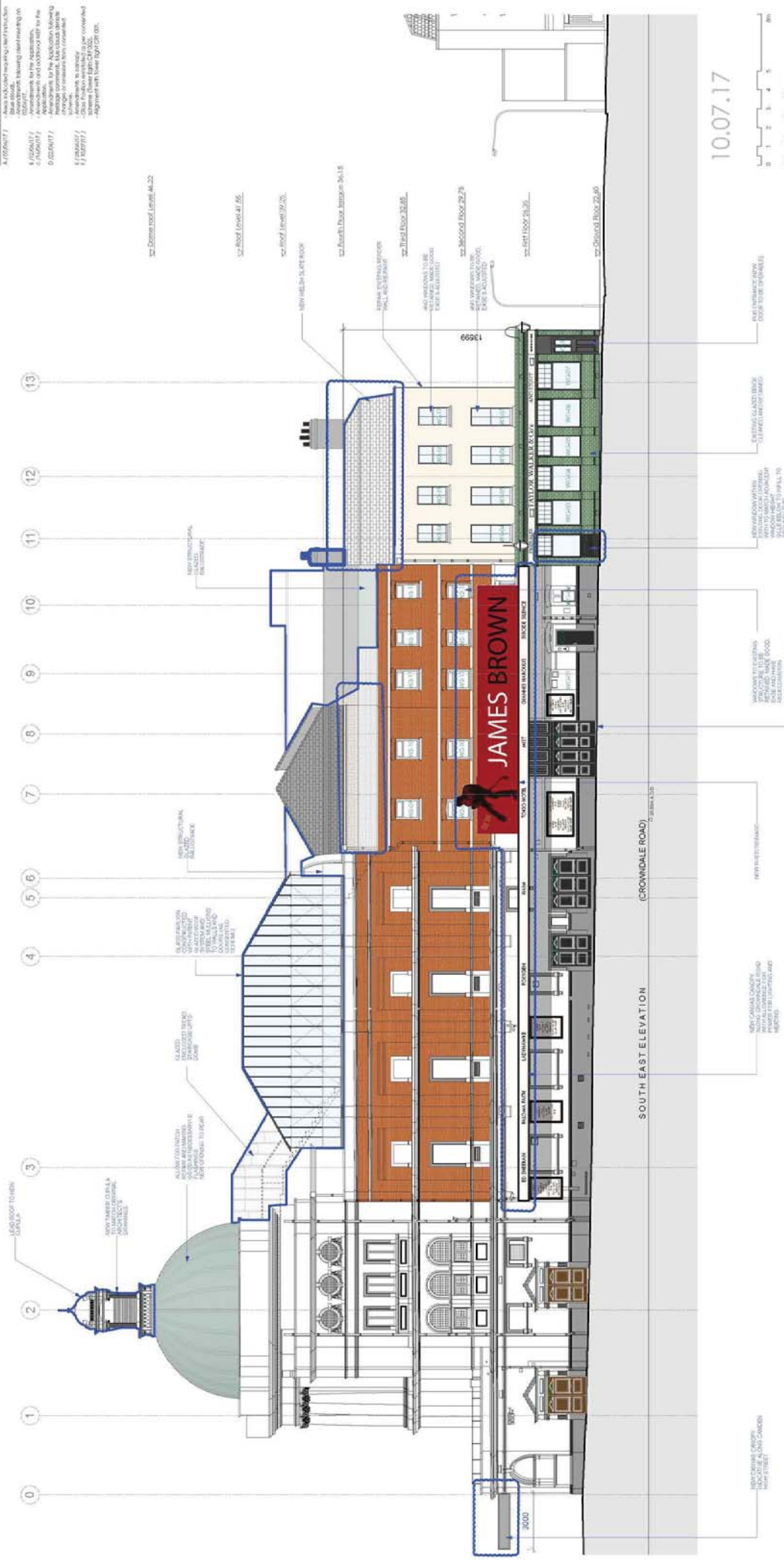
Archer Humphreys Architects  
 142 Camden Street  
 Camden, London NW1 0AB  
 Tel: +44 (0)20 7211 8000

Project Name	Koko + Hebe & Anchor + Bayfern Place
Location	Camden, London
Client	Archer Humphreys Architects
Project Reference	142 Camden Street
Project Number	142 Camden Street
Project Date	10.07.17
Project Status	Pre Application
Project Scale	0.200m x 0.300m
Project Author	Archer Humphreys Architects
Project Reviewer	Archer Humphreys Architects
Project Date	10.07.17
Project Scale	0.200m x 0.300m
Project Status	Pre Application
Project Name	Koko + Hebe & Anchor + Bayfern Place
Location	Camden, London
Client	Archer Humphreys Architects
Project Reference	142 Camden Street
Project Number	142 Camden Street
Project Date	10.07.17
Project Status	Pre Application
Project Scale	0.200m x 0.300m
Project Author	Archer Humphreys Architects
Project Reviewer	Archer Humphreys Architects
Project Date	10.07.17
Project Scale	0.200m x 0.300m
Project Status	Pre Application

key  
 — New Elevations Added

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- A000001 / 1 - ARCHITECTURAL ELEVATIONS
- A000001 / 2 - ARCHITECTURAL ELEVATIONS
- A000001 / 3 - ARCHITECTURAL ELEVATIONS
- A000001 / 4 - ARCHITECTURAL ELEVATIONS
- A000001 / 5 - ARCHITECTURAL ELEVATIONS
- A000001 / 6 - ARCHITECTURAL ELEVATIONS
- A000001 / 7 - ARCHITECTURAL ELEVATIONS
- A000001 / 8 - ARCHITECTURAL ELEVATIONS
- A000001 / 9 - ARCHITECTURAL ELEVATIONS
- A000001 / 10 - ARCHITECTURAL ELEVATIONS
- A000001 / 11 - ARCHITECTURAL ELEVATIONS
- A000001 / 12 - ARCHITECTURAL ELEVATIONS
- A000001 / 13 - ARCHITECTURAL ELEVATIONS



DATE: 10.07.17  
 SCALE: 1:50  
 ARCHITECT: ARCHER HUMPHREY ARCHITECTS

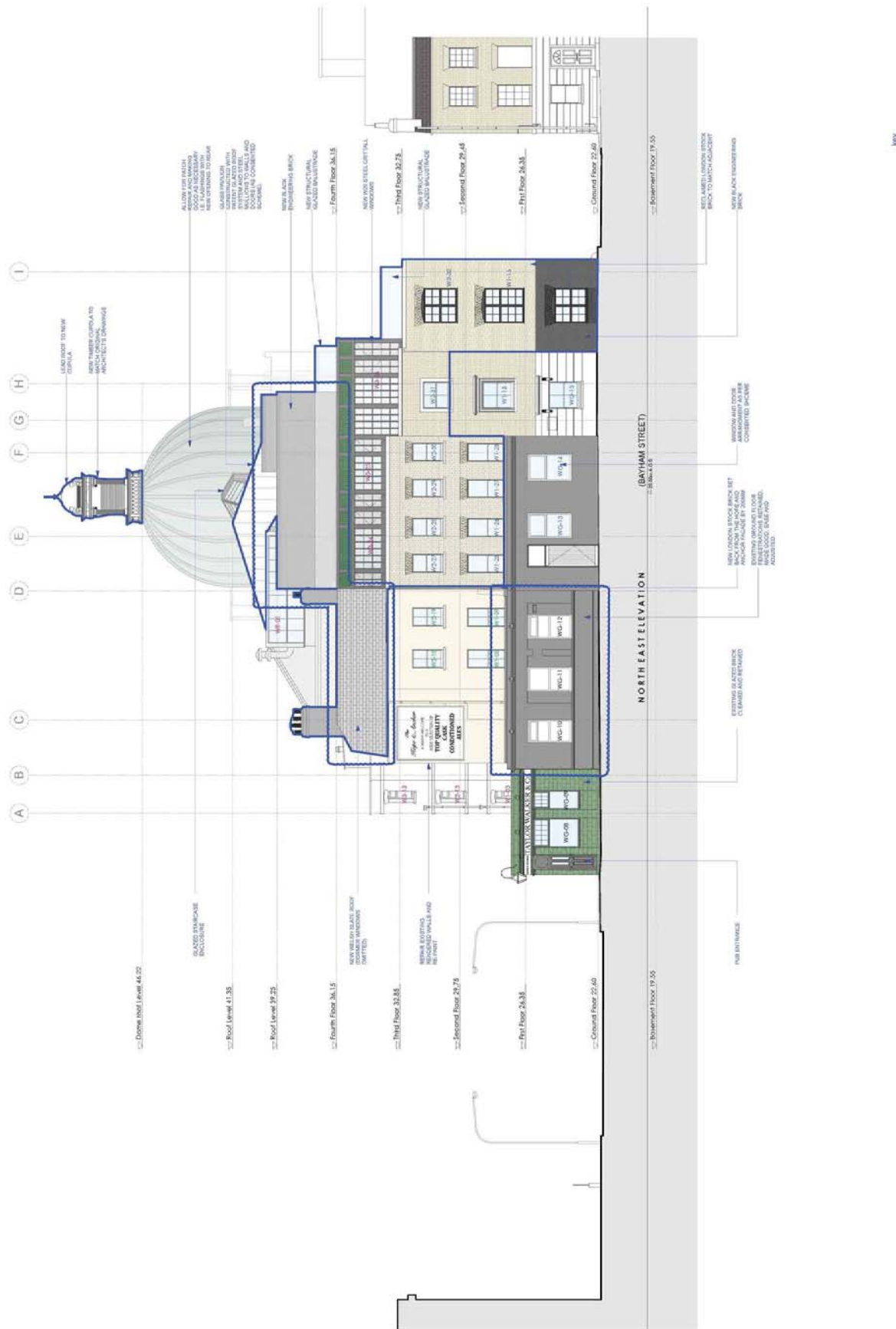
Project Name  
 KOKO + Hape & Anchor + Bayham Place  
 Camden, London  
 Proposer  
 KOKO + Hape & Anchor + Bayham Place  
 Address  
 Proposed Crowdale Road  
 Elevation  
 Architect  
 Archer Humphrey Architects  
 110 Tottenham Court Road  
 London, W1P 8LP  
 Tel: +44 (0) 20 7614 1000  
 Email: info@aharchitects.com

key  
 — New Elevations Added

SOUTH EAST ELEVATION  
 (CROWDALE ROAD)  
 5.00m x 13.00m

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- 1. DESIGNER: ARCHITECTS
- 2. CLIENT: [REDACTED]
- 3. PROJECT: [REDACTED]
- 4. DATE: [REDACTED]
- 5. SCALE: [REDACTED]
- 6. SHEET NO: [REDACTED]
- 7. SHEET TOTAL: [REDACTED]



10.07.17



Pre Application  
Archer Humphreys Architects

Archer Humphreys Architects  
142 Curzon Street  
London W1A 2SA  
T: +44 (0) 20 7291 8555

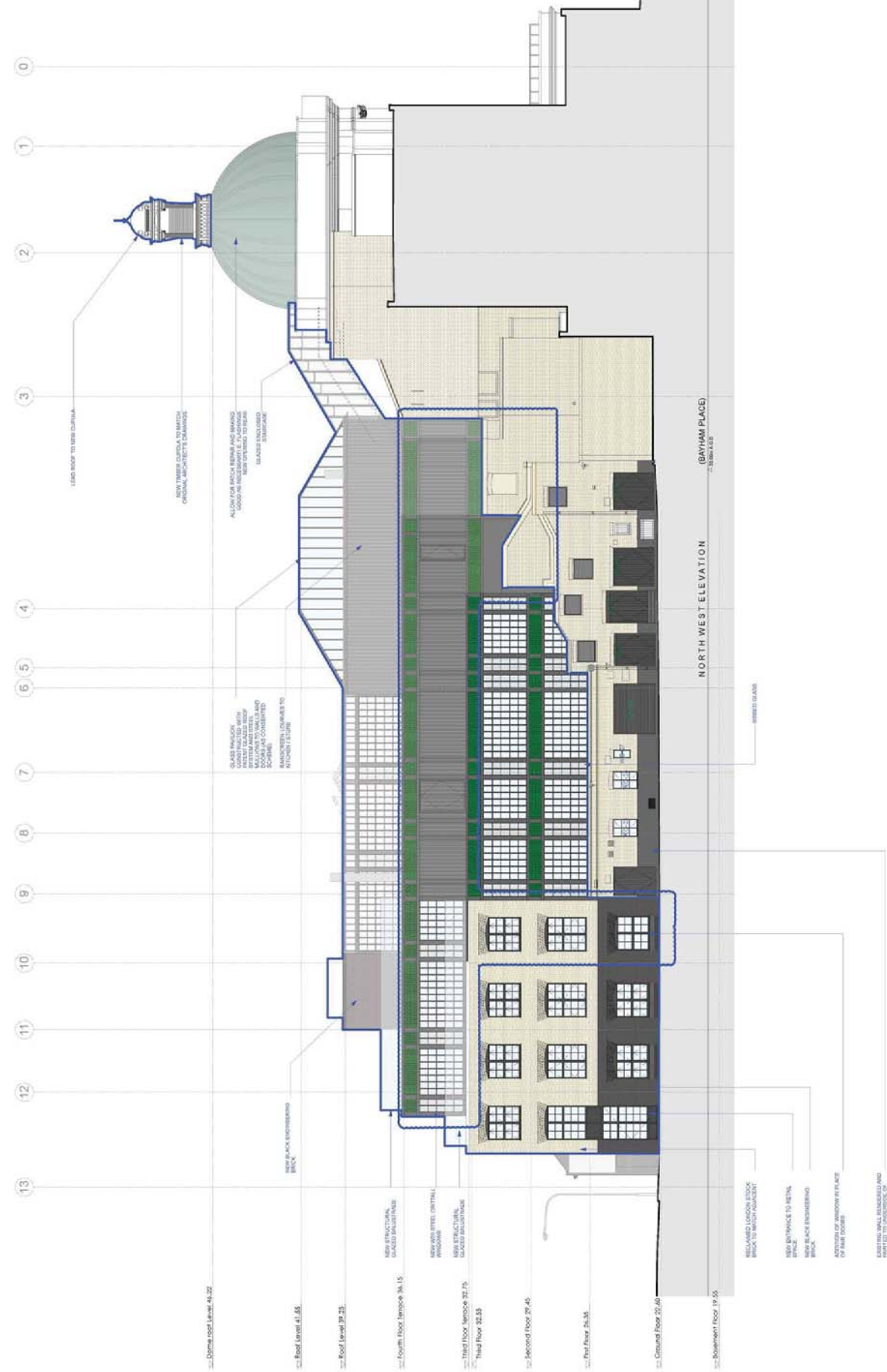
Project Name	KICKO + Hops & Anchor + Bayham Place
Location	Camden, London
Proposed Bayham Street Elevation	10/14/17, 10/17/17
ANNEX 10/14/17	
ANNEX 10/17/17	

key  
New Elevations Added

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 proposed development and shall not be used for any other purpose without the  
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**REVISIONS:**

1	10/07/17	ARCHITECT'S CONTRACT
2	10/07/17	ARCHITECT'S CONTRACT
3	10/07/17	ARCHITECT'S CONTRACT
4	10/07/17	ARCHITECT'S CONTRACT
5	10/07/17	ARCHITECT'S CONTRACT
6	10/07/17	ARCHITECT'S CONTRACT
7	10/07/17	ARCHITECT'S CONTRACT
8	10/07/17	ARCHITECT'S CONTRACT
9	10/07/17	ARCHITECT'S CONTRACT
10	10/07/17	ARCHITECT'S CONTRACT
11	10/07/17	ARCHITECT'S CONTRACT
12	10/07/17	ARCHITECT'S CONTRACT
13	10/07/17	ARCHITECT'S CONTRACT



10.07.17



**Pre Application**  
**Archer Humphreys Architects**

Registered:  
 142 Curzon Street  
 City of London, EC1Y 8BB  
 Tel: +44 (0) 20 731 8333

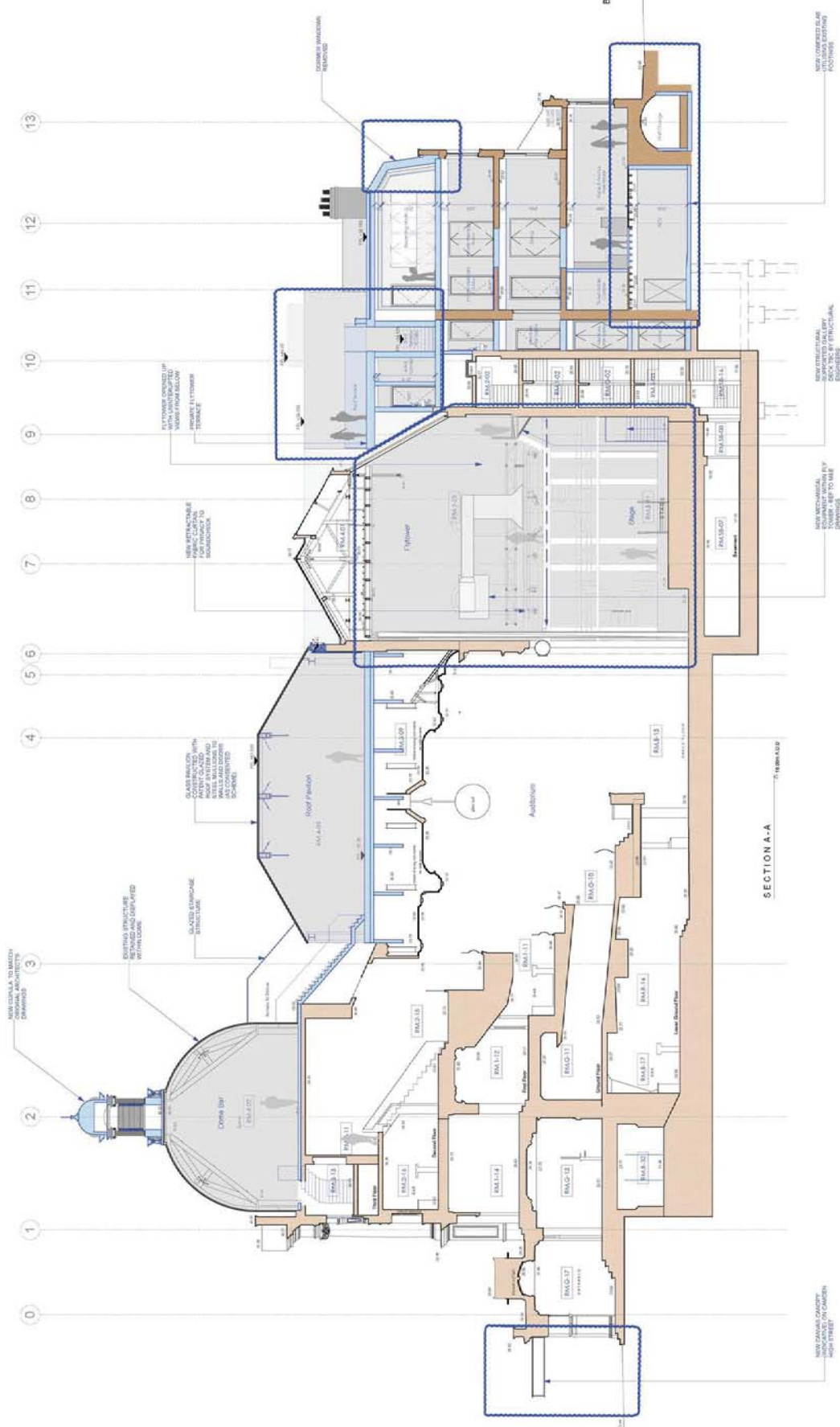
Client Name	KCKO + Hays & Anchor + Bayham Place
Location	Camden, London
Proposed Bayham Place Elevation	10/04/17 (10/07/17)
Project No.	001/2017
Revision	13
Author	ANNA VACCIA/203

key ——— New Elevations Added

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- REVISIONS
- 1. 10/07/17 - Approved for Pre-Application
  - 2. 10/07/17 - Approved for Pre-Application
  - 3. 10/07/17 - Approved for Pre-Application
  - 4. 10/07/17 - Approved for Pre-Application
  - 5. 10/07/17 - Approved for Pre-Application
  - 6. 10/07/17 - Approved for Pre-Application
  - 7. 10/07/17 - Approved for Pre-Application
  - 8. 10/07/17 - Approved for Pre-Application
  - 9. 10/07/17 - Approved for Pre-Application
  - 10. 10/07/17 - Approved for Pre-Application
  - 11. 10/07/17 - Approved for Pre-Application
  - 12. 10/07/17 - Approved for Pre-Application
  - 13. 10/07/17 - Approved for Pre-Application



10.07.17



Pre Application  
 Archer Humphreys Architects

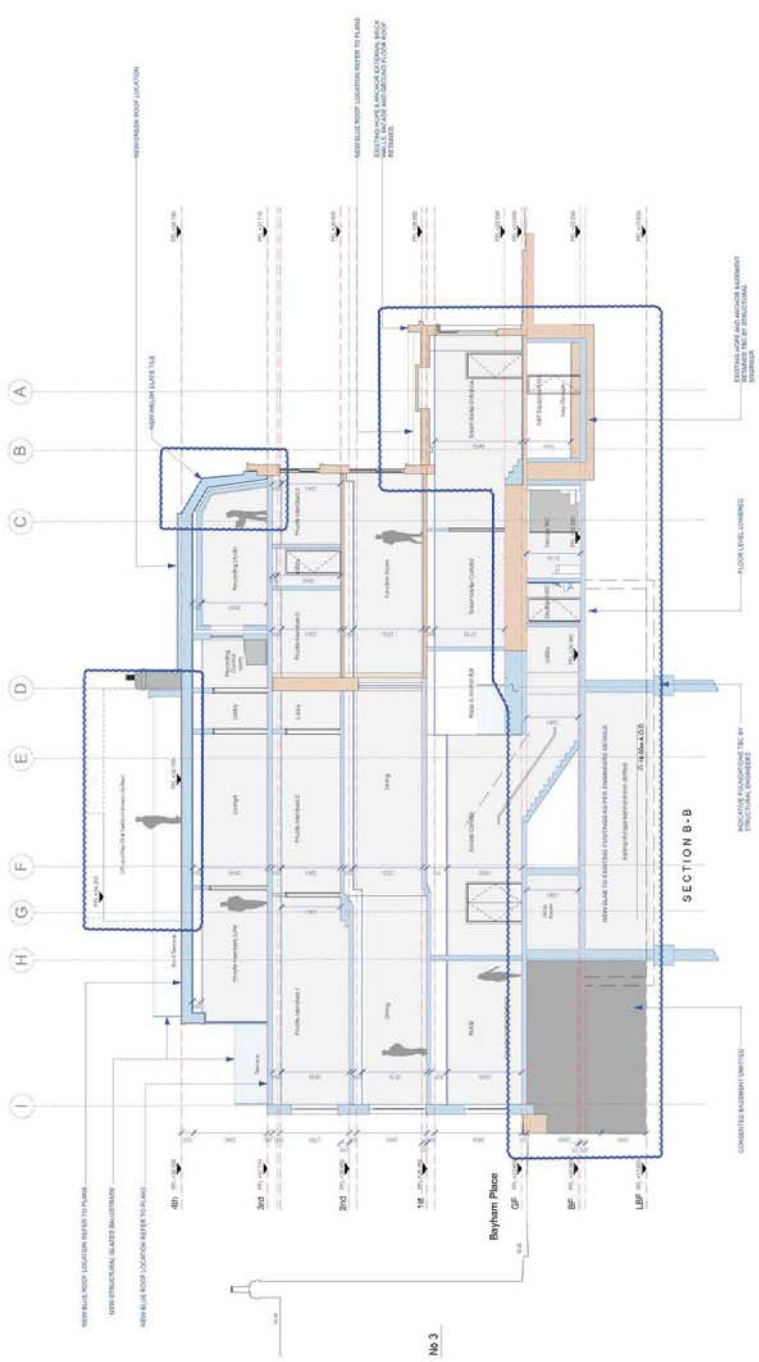
Architect  
 142 Cannon Street  
 EC1N 3PA  
 London, UK  
 T: +44 (0) 20 721 8333

Project Name	CKCO + Heper & Anchor + Bayham Place
Location	Camden, London
Proposed Section AA	
Architect	Archer Humphreys Architects
Scale	1:100
Date	10/07/17
Drawn by	Archer Humphreys Architects
Checked by	Archer Humphreys Architects
Approved by	Archer Humphreys Architects



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- A (1) DRAWING 1 - ARCHITECTURAL WORK (MATERIAL WORKING ON)
- A (2) DRAWING 2 - ARCHITECTURAL WORK (MATERIAL WORKING ON)
- A (3) DRAWING 3 - ARCHITECTURAL WORK (MATERIAL WORKING ON)
- A (4) DRAWING 4 - ARCHITECTURAL WORK (MATERIAL WORKING ON)
- A (5) DRAWING 5 - ARCHITECTURAL WORK (MATERIAL WORKING ON)
- A (6) DRAWING 6 - ARCHITECTURAL WORK (MATERIAL WORKING ON)
- A (7) DRAWING 7 - ARCHITECTURAL WORK (MATERIAL WORKING ON)
- A (8) DRAWING 8 - ARCHITECTURAL WORK (MATERIAL WORKING ON)
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- A (10) DRAWING 10 - ARCHITECTURAL WORK (MATERIAL WORKING ON)



10.07.17

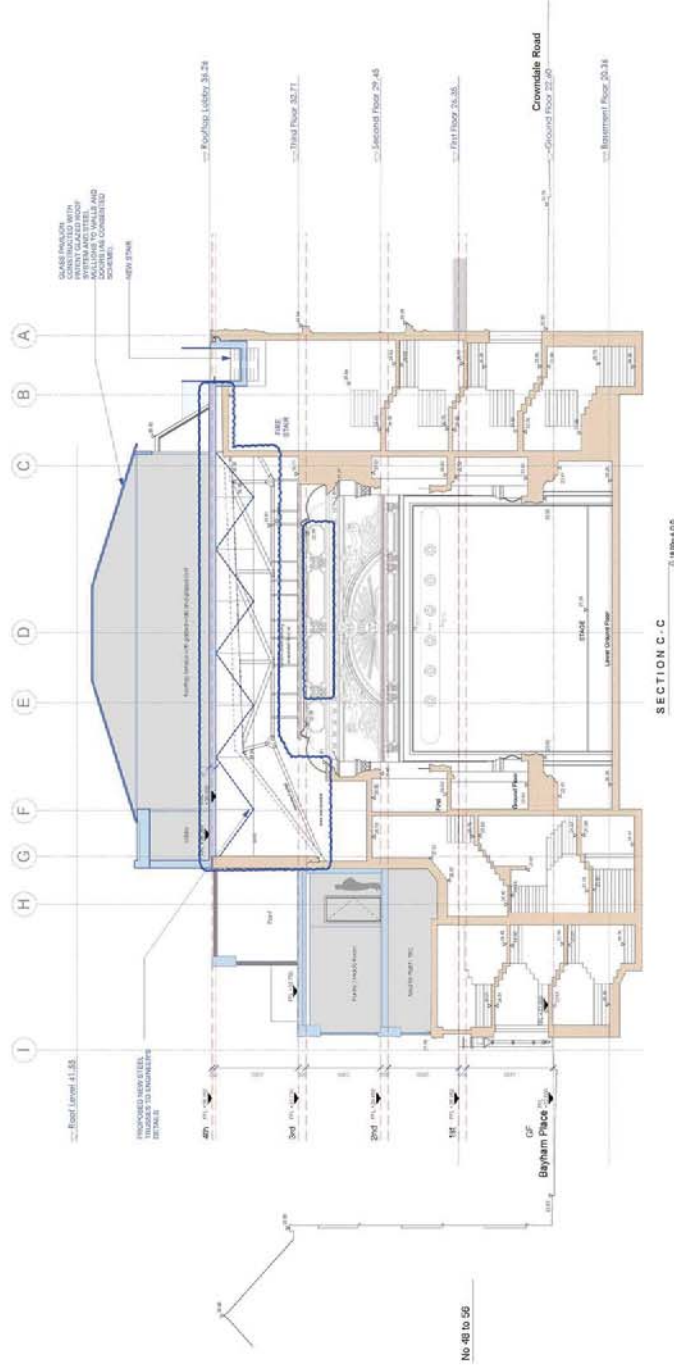


**Pre Application**  
**Archer Humphreys Architects**  
 14C Curzon Street  
 City of London, EC4A 3DF  
 T: +44 (0) 20 771 8333

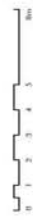
Project Name	KICKO + Heier & Archer + Bayham Place Camden, London
Client	KICKO + Heier & Archer + Bayham Place
Architect	Archer Humphreys Architects
Date	10.07.17
Version	001
Author	AK
Scale	A1/1:100
Sheet No.	010
Drawn By	AK

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- A) TO BE USED FOR THE ARCHITECT'S CONTRACT.
  - B) TO BE USED FOR THE ARCHITECT'S CONTRACT.
  - C) TO BE USED FOR THE ARCHITECT'S CONTRACT.
  - D) TO BE USED FOR THE ARCHITECT'S CONTRACT.
  - E) TO BE USED FOR THE ARCHITECT'S CONTRACT.
  - F) TO BE USED FOR THE ARCHITECT'S CONTRACT.
  - G) TO BE USED FOR THE ARCHITECT'S CONTRACT.
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  - I) TO BE USED FOR THE ARCHITECT'S CONTRACT.



10.07.17



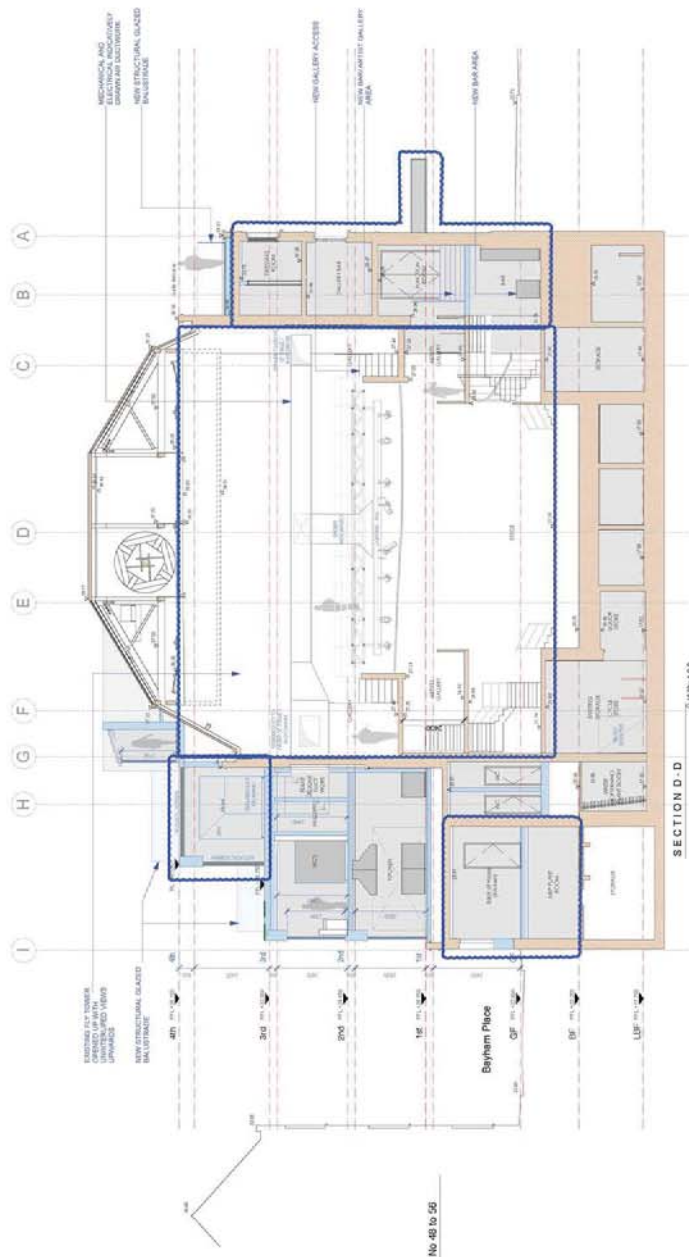
Pre Application  
 Archer Humphreys Architects

Client:  
 K&K + Hines & Anchor + Boyfram Place  
 Camden, London  
 Skanska CC  
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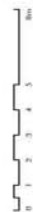
Project Name	K&K + Hines & Anchor + Boyfram Place Camden, London
Client	Skanska CC
Architect	Archer Humphreys Architects
Project No.	10.07.17
Scale	1:100
Date	10.07.17
Drawn by	AM/HSK/PR/002

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 construction. The drawings are to be used in conjunction with the Architect's  
 contract documents and specifications. The drawings are to be used in  
 accordance with the contract documents and specifications.

- REVISIONS TO DRAWING:
- A. 11/04/17 - ARCHITECTURAL MARKING / MARK CONVENTION ON  
 DRAWING / 1:100 SCALE
  - B. 11/04/17 - APPROVED FOR THE ARCHITECT
  - C. 11/04/17 - APPROVED FOR THE ARCHITECT
  - D. 11/04/17 - APPROVED FOR THE ARCHITECT
  - E. 11/04/17 - APPROVED FOR THE ARCHITECT
  - F. 11/04/17 - APPROVED FOR THE ARCHITECT
  - G. 11/04/17 - APPROVED FOR THE ARCHITECT
  - H. 11/04/17 - APPROVED FOR THE ARCHITECT
  - I. 11/04/17 - APPROVED FOR THE ARCHITECT



10.07.17



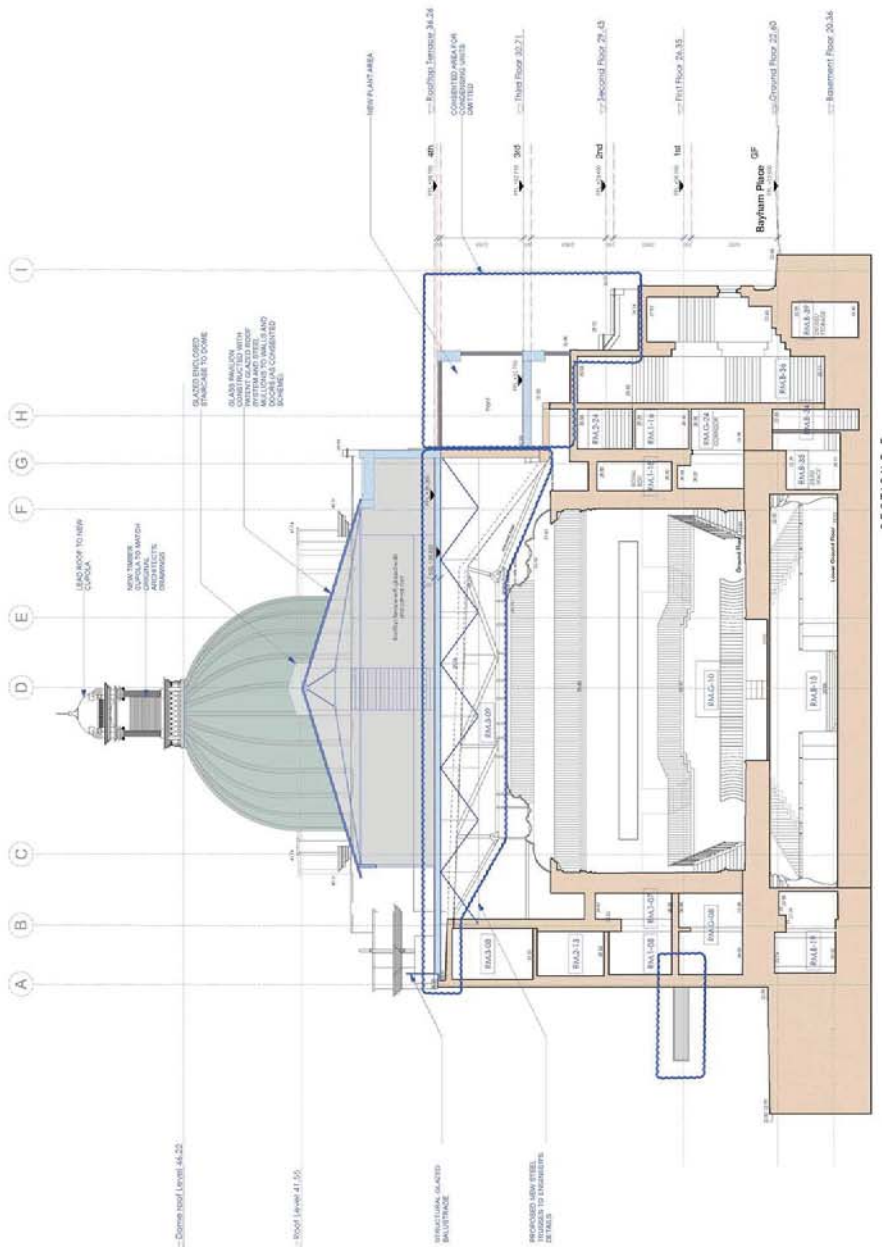
Pre Application  
 Archer Humphreys Architects

Client:  
 K&K O'Hara & Partners  
 142 Curzon Street  
 London W1A 2PH  
 Tel: +44 (0) 20 721 8333

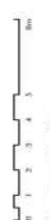
Project Name	K&K O'Hara & Partners - Bayham Place Camden, London
Client	K&K O'Hara & Partners
Architect	Archer Humphreys Architects
Scale	1:100
Date	10.07.17
Drawn by	AMH
Checked by	AMH
Approved by	AMH
Scale	1:100
Sheet No.	AMH/1502/PR/003

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 The drawings shall be made in accordance with the relevant standards and specifications.

- A.1 (00001) / 1 - ARCHITECTURAL DRAWINGS (NOT CONSTRUCTION)
- A.2 (00001) / 2 - ARCHITECTURAL DRAWINGS (NOT CONSTRUCTION)
- A.3 (00001) / 3 - ARCHITECTURAL DRAWINGS (NOT CONSTRUCTION)
- A.4 (00001) / 4 - ARCHITECTURAL DRAWINGS (NOT CONSTRUCTION)
- A.5 (00001) / 5 - ARCHITECTURAL DRAWINGS (NOT CONSTRUCTION)
- A.6 (00001) / 6 - ARCHITECTURAL DRAWINGS (NOT CONSTRUCTION)
- A.7 (00001) / 7 - ARCHITECTURAL DRAWINGS (NOT CONSTRUCTION)
- A.8 (00001) / 8 - ARCHITECTURAL DRAWINGS (NOT CONSTRUCTION)
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- A.10 (00001) / 10 - ARCHITECTURAL DRAWINGS (NOT CONSTRUCTION)



10.07.17



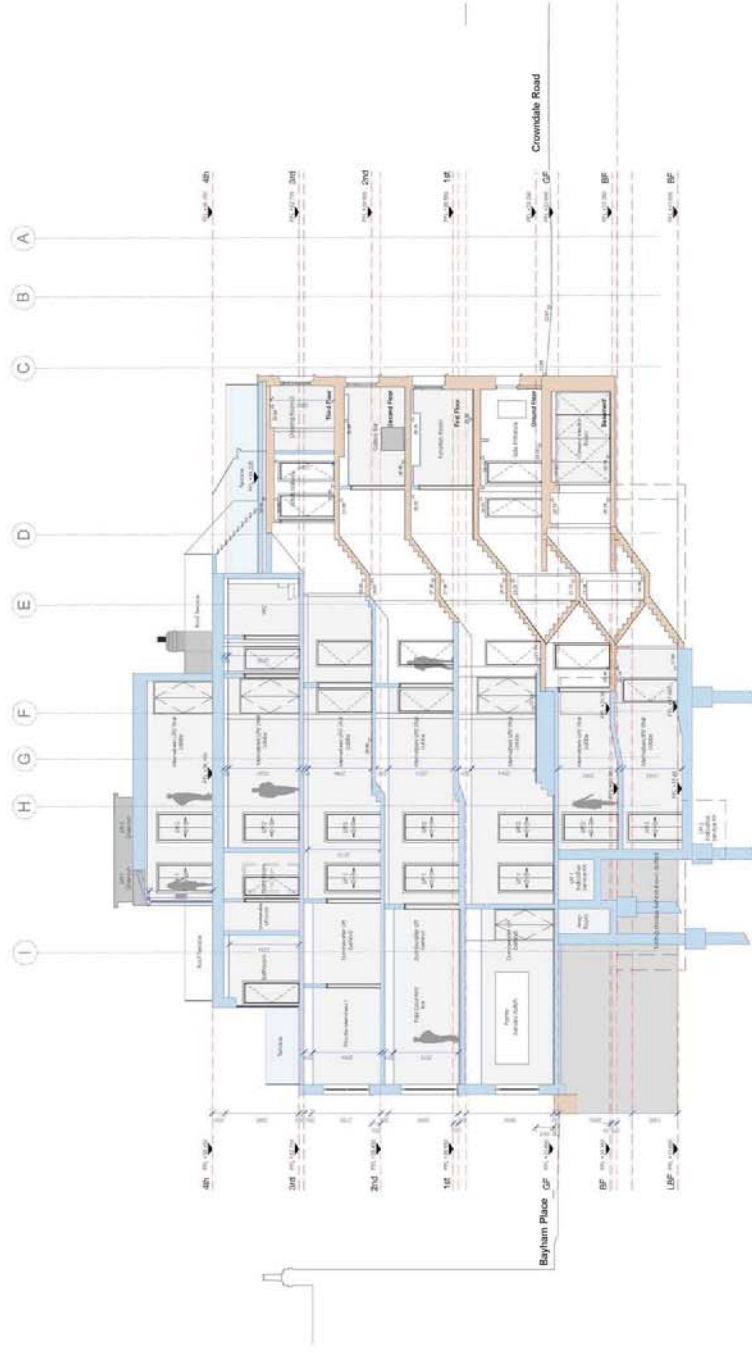
Pre Application  
 Archer Humphreys Architects

Client: K&K  
 142 Colindale Avenue  
 Colindale, London NW9 1QB  
 Tel: +44 (0) 20 721 8333

Project Name	K&K + Hopes & Anchor + Bayham Place
Location	Camden, London
Client	K&K + Hopes & Anchor
Architect	Archer Humphreys Architects
Section FF	
Scale	1:500
Date	10.07.17
Drawn by	AM/15C/PR/096

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 The drawings shall be made in accordance with the architect's instructions.  
 The drawings shall be made in accordance with the architect's instructions.  
 The drawings shall be made in accordance with the architect's instructions.

Approved by: [Signature]  
 Date: 10/07/17  
 - Approved with minor amendments  
 - Approved with minor amendments  
 - Approved with minor amendments



- LEGEND**
- Guest Rooms
  - Music related space
  - Proposed Works
  - Existing Building Fabric (C/O/Chase)
  - Camden Palace Theatre (1900)
  - Existing Building Fabric
  - Hopie & Anchor (approx. 1850)
  - Existing Building Fabric (1870)
  - Bayham Phase (from 2005)
  - Existing Modern Building Fabric
  - Bayham Phase (from 2005)
  - Building fabric to be demolished
  - Demolition of flooring / elevation / wall
  - Proposed Elevation
  - Remove and retain in alternate location
  - Remove (protect) and retain by reinforcement
  - Retain, make good, ease and adjust
  - Anti Route
  - Guest Route to Rooftop Restaurant
  - Means of escape route
  - Proposed Eiser
  - Proposed Eiser Above
  - Room Number
  - Door Number
  - Window Number
  - Hopie & Anchor Demise
  - Kata Demise
  - Bayham Street & 43 Bayham
  - Phase Demise

10.07.17



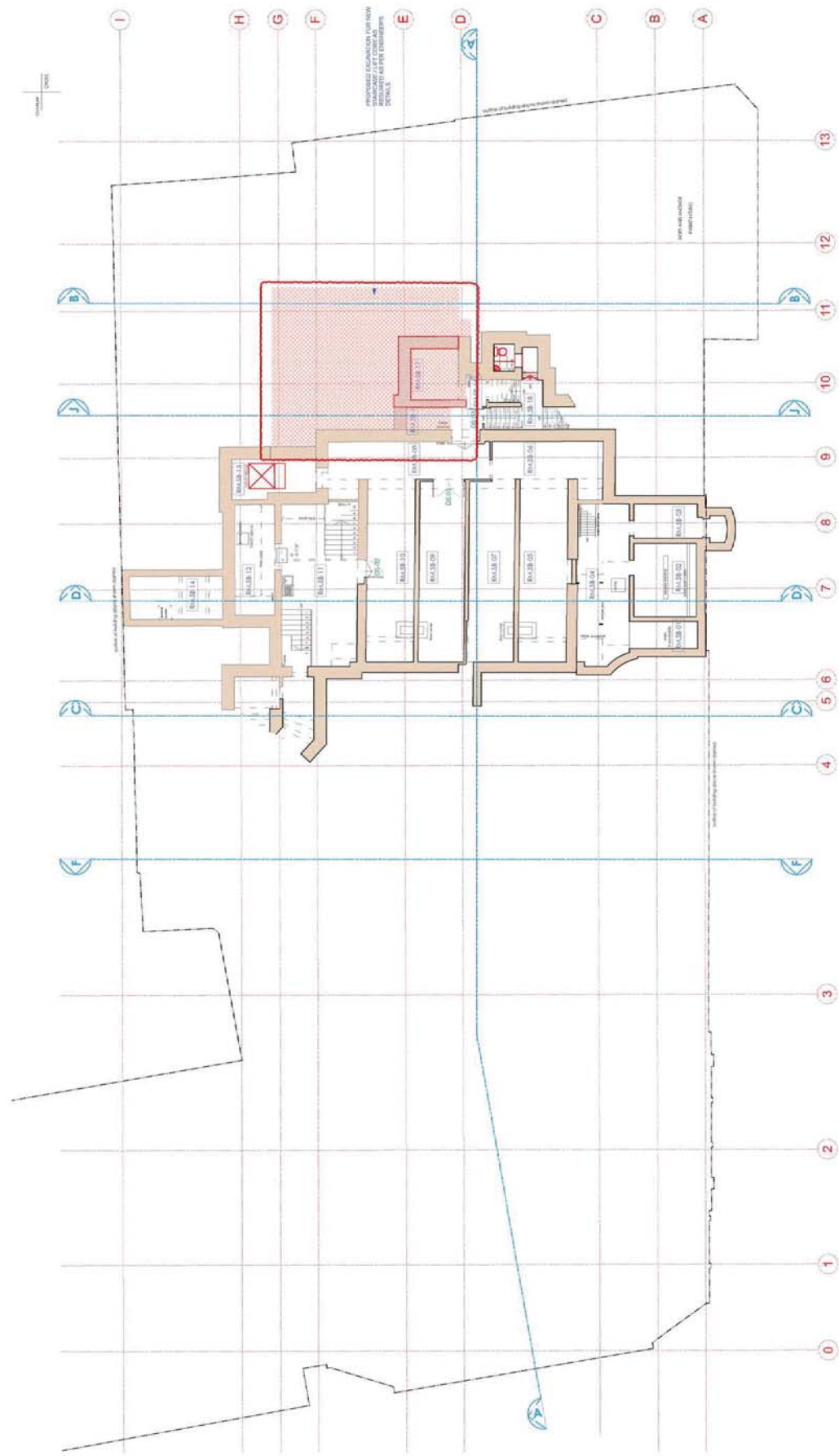
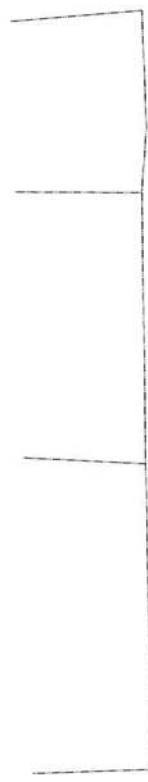
Pre Application  
 Archer Humphreys Architects

Submitted:  
 14C Curzon Street  
 London, W1A 2PH  
 Tel: +44 (0) 20 721 8333

Project Name	CKCO + Hopie & Anchor + Bayham Place
Location	Camden, London
Proposed Section	J
Architect	Archer Humphreys Architects
Date	10/07/17
Scale	1:500
Sheet No.	009

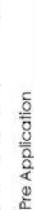
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 fabricators and others should refer to this drawing for details.  
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 construction. The drawings shall be made in conjunction with the architect's  
 contract documents and specifications as well as any amendments thereto.  
 The drawings shall be made in accordance with the architect's  
 contract documents and specifications as well as any amendments thereto.

REVISED DRAWING INFORMATION:  
 A: 21/06/17 - Additions to the application  
 B: 21/06/17 - Additions to the application  
 C: 21/06/17 - Additions to the application  
 D: 21/06/17 - Additions to the application  
 E: 21/06/17 - Additions to the application  
 F: 21/06/17 - Additions to the application  
 G: 21/06/17 - Additions to the application  
 H: 21/06/17 - Additions to the application  
 I: 21/06/17 - Additions to the application



- LEGEND**
- Existing Building Fabric (1900s)
  - Existing Building Fabric (1950s)
  - Existing Building Fabric (1980s)
  - Existing Building Fabric (2000s)
  - Existing Building Fabric (2010s)
  - Existing Building Fabric (2015)
  - Existing Building Fabric (2016)
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  - Existing Building Fabric (2097)
  - Existing Building Fabric (2098)
  - Existing Building Fabric (2099)
  - Existing Building Fabric (2100)

21.06.17



Pre Application  
 Archer Humphreys Architects

Client: K&K  
 142 Curzon Street  
 Curzon  
 London  
 W1A 2SA  
 T: +44 (0) 20 771 8333

Project Name	K&K + H&A & Anchor + Boyham Place Camden, London
Client	K&K + H&A & Anchor + Boyham Place
Architect	Archer Humphreys Architects
Date	21/06/17 (Rev 17)
Scale	1:1000
Sheet	Sub-Basement Demolition Plan
Author	[Name]
Checker	[Name]
Drawn	[Name]
Reviewed	[Name]
Discussed	[Name]
Approved	[Name]
Discussed	[Name]
Approved	[Name]
Discussed	[Name]
Approved	[Name]

NOTE:  
 ALL ELECTRICAL, PLUMBING, HEAT  
 AND VENTILATION SERVICES AND  
 SERVICES SHALL BE INSTALLED  
 IN ACCORDANCE WITH THE  
 STRUCTURAL ENGINEERING DETAIL B.

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**PROJECT DATA / Project Name:**  
**A.1 / Project / Phase:** Architecture for the development on  
**B.1 / Project / Phase:** URM/17  
**C.1 / Project / Phase:** Architecture / Making use of elements of the  
 at 1/10/2017

**LEGEND**

- Existing Building fabric (KOTO 146)
- Existing structure (KOTO 146)
- Proposed structure (KOTO 146)
- Hague & Anchor (approx. 1850)
- Existing Building fabric:
- Bayham Place from 1973
- Bayham Place from 1973
- Bayham Place from 2001
- Building fabric to be demolished
- Demolition of flooring / fabrication / wall
- Proposed Location
- Remove and retain in alternate location
- Remove (Product) out relate for
- Remove (Product) out relate for
- Rebuild: main good, area and replaced
- Airli Route
- Overl Koto to rooftop Restaurant
- Means of escape route
- Proposed Elev
- Proposed Elev
- Room Number
- Door Number
- Window Number
- Hague & Anchor Demise
- Koto Demise
- Bayham Place & AS Bayham
- Fabric Demise

21.06.17

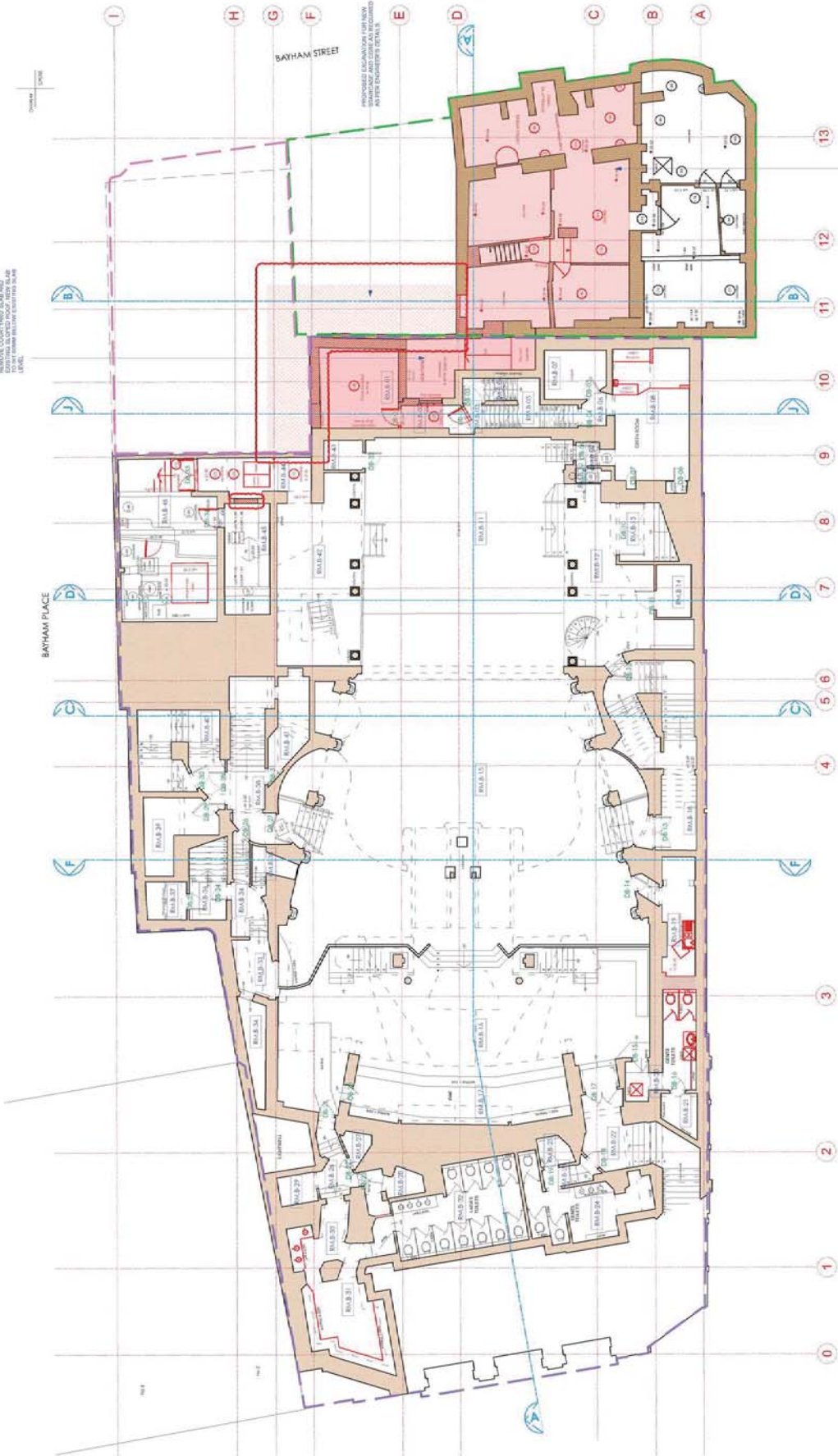


Pre Application  
 Archer Humphreys Architects

**Author:**  
 142 Lambeth Street  
 London SE1 7TA  
 T: +44 (0) 20 771 8333

**Client:**  
 KCO + Hague & Anchor + Bayham Place  
 Camden, London  
 Basement floor Demolition Plan  
 Rev: 001  
 Date: 21.06.17  
 Project No: 17011  
 Rev: 001  
 Date: 21.06.17  
 Project No: 17011

REMOVE COURTYARD BALCONY  
 EXISTING BALCONY ROOF WITH SLAB  
 DOWN TO EXISTING LEVEL



EXISTING SLAB REMOVED WITH SLAB  
 DOWN TO EXISTING LEVEL

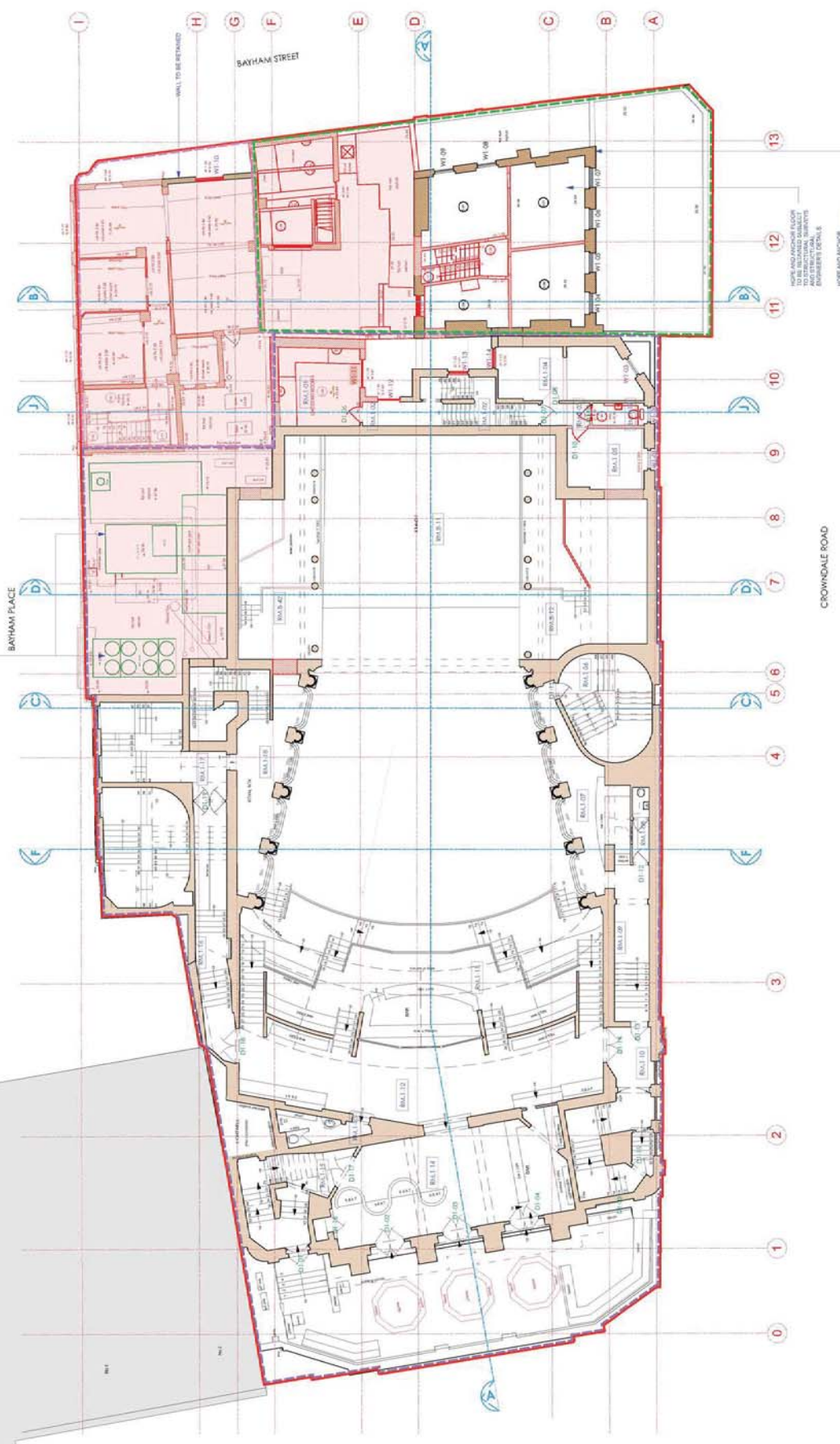
**NOTE:**  
 ALL ELECTRICAL, PLUMBING, ROOF  
 WORK, SERVICES AND SERVICES  
 SHALL BE DEMOLISHED IN ACCORDANCE WITH  
 STRUCTURAL ENGINEERS DETAILS.



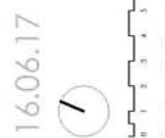


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**PROJECT DATA / INFORMATION:**  
**DATE:** 16.06.17  
**ARCHITECT:** ARCHER HUMPHREYS ARCHITECTS  
**CLIENT:** K&C O'HARA & ANCHOR + BOYFARM FLOOR  
**LOCATION:** 142 CROWDALE ROAD, BATHAM PLACE, BATH, AVON, BA1 1BB, UK  
**CONTRACT NO.:** 16/17/001  
**REVISIONS:** See RVT/001



- LEGEND**
- Existing building fabric (K&C O'Hara building (1900))
  - Existing building fabric (Hope & Anchor (approx. 1800))
  - Existing building fabric (L&C Denton building (approx. 1800))
  - Existing building fabric (Boyfarm Floor (from 2000))
  - Building fabric to be demolished
  - Demolition of flooring / level(s) / wall
  - Proposed excavations
  - Remove and retain in alternate location
  - Remove (Project) and retain for reinforcement
  - ASB Route
  - Clear Route to Footage Restaurant
  - Aspects of existing roof
  - Proposed Roof
  - Proposed Roof - Above
  - Hope & Anchor Demolish
  - L&C Demolish
  - Boyfarm Street & 05 Boyfarm
  - Phase Demolish



**Pre Application**  
**Archer Humphreys Architects**

**REGISTERED:**  
 142 Crowdale Road  
 Batham Place  
 Bath, Avon, BA1 1BB  
 Tel: +44 (0) 1223 833333

Project Name	K&C O'Hara & Anchor + Boyfarm Floor
Location	142 Crowdale Road, Batham Place, Bath, Avon, BA1 1BB, UK
Date	16.06.17
Scale	1:100
Drawn by	[Name]
Checked by	[Name]
Approved by	[Name]
Project No.	16/17/001

**NOTE:**  
 ALL ELECTRICAL PLUMBING, PAINT, AND FLOORING TO BE REMOVED. ALL SERVICES TO BE REMOVED TO THE STREET. ALL SERVICES TO BE MADE GOOD TO ORIGINAL AND TO BE MADE GOOD TO THE SATISFACTION OF THE LOCAL AUTHORITY.





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PROJECT: 16067 / 16067-001  
 ADDRESS: 140 CROWNDALE ROAD, LONDON  
 DATE: 16.06.17  
 DRAWN BY: ARCHITECT'S OFFICE  
 CHECKED BY: ARCHITECT'S OFFICE  
 APPROVED BY: ARCHITECT'S OFFICE

- LEGEND**
- Existing Building Fabric (C/O to note)
  - Existing Truss Structure (1900)
  - Existing Building Fabric (Hops & Anchor (approx. 1880))
  - Existing Building Fabric (Boycham Floor (from 1970))
  - Existing Modern Building Fabric (Boycham Floor (from 2004))
  - Building Fabric to be demolished
  - Demolition of Roofing / Elevation / Wall
  - Proposed Excavation
  - Remove and reset in alternate location
  - Re-use / Re-erect and retain for reutilisation
  - Artifi Route
  - Guest Route to Rooftop Restaurant
  - Means of escape route
  - Proposed Floor
  - Proposed Slab Above
  - Room Number
  - Door Number
  - Window Number
  - Hops & Anchor Dismantle
  - Karoo Dismantle
  - 1 Boycham Street 4-65 Boycham
  - Private Pavement

16.06.17

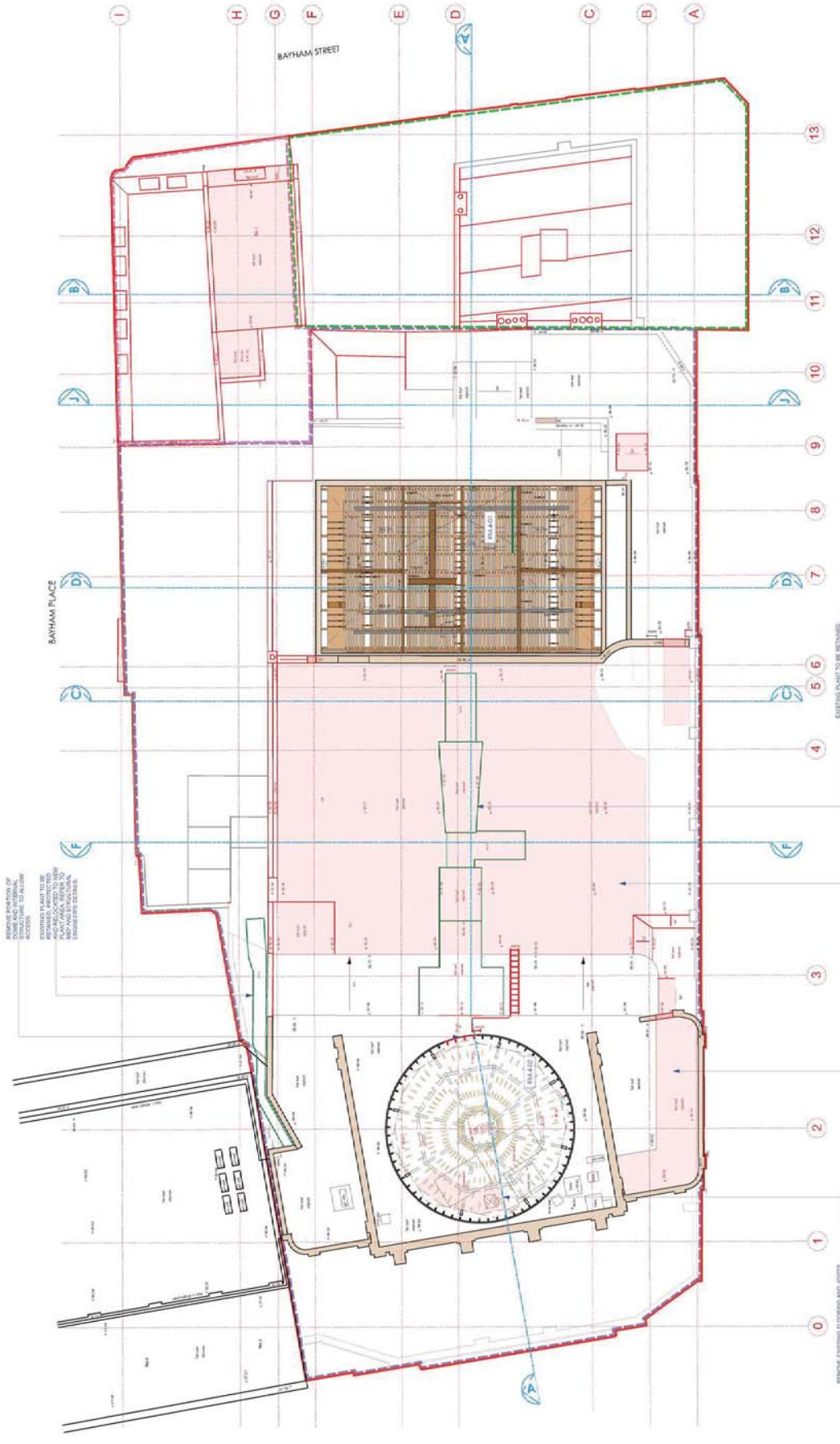
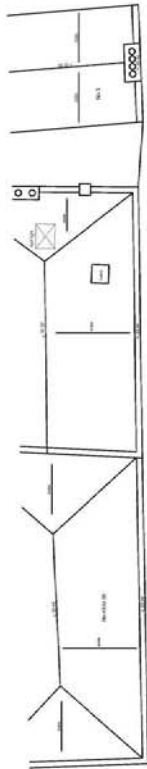


**Pre Application**  
 Archer Humphreys Architects

Registered  
 140 Crown Dale Road  
 EC2Y 9AA  
 T: +44 (0) 20 7271 8333

Client Name	Project No.	Date	Version
K&C O'Hara & Anchor + Boycham Floor Camden, London	16067	16.06.17	01
Fourth Floor Demolition Plan			
Arch / Rev			A

NOTE: ALL ELECTRICAL, PLUMBING, SANITARY AND MECHANICAL SERVICES SHALL BE INSTALLED AND TESTED TO SATISFACTION AND BE IN ACCORDANCE WITH THE BUILDING REGULATIONS. STRUCTURAL ENGINEERING DETAILS.



REMOVE EXISTING FLOORING AND JOISTS, STAIR WITHIN ROOM

REMOVE INDOOR STAIRWELL CORE WALK ALONG EXISTING STAIRWAY TO FORM STAIR CONNECTION

REINFORCE EXISTING FLOORING AND JOISTS, STAIR WITHIN ROOM

REMOVE EXISTING FLOORING AND JOISTS, STAIR WITHIN ROOM

REMOVE EXISTING FLOORING AND JOISTS, STAIR WITHIN ROOM

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BAYHAM PLACE

BAYHAM STREET

CROWDALE ROAD

REMOVE EXISTING FLOORING AND JOISTS, STAIR WITHIN ROOM

REMOVE EXISTING FLOORING AND JOISTS, STAIR WITHIN ROOM

REMOVE EXISTING FLOORING AND JOISTS, STAIR WITHIN ROOM

REMOVE EXISTING FLOORING AND JOISTS, STAIR WITHIN ROOM

REMOVE EXISTING FLOORING AND JOISTS, STAIR WITHIN ROOM

0 1 2 3 4 5 6 7 8 9 10 11 12 13

A B C D E F G H I

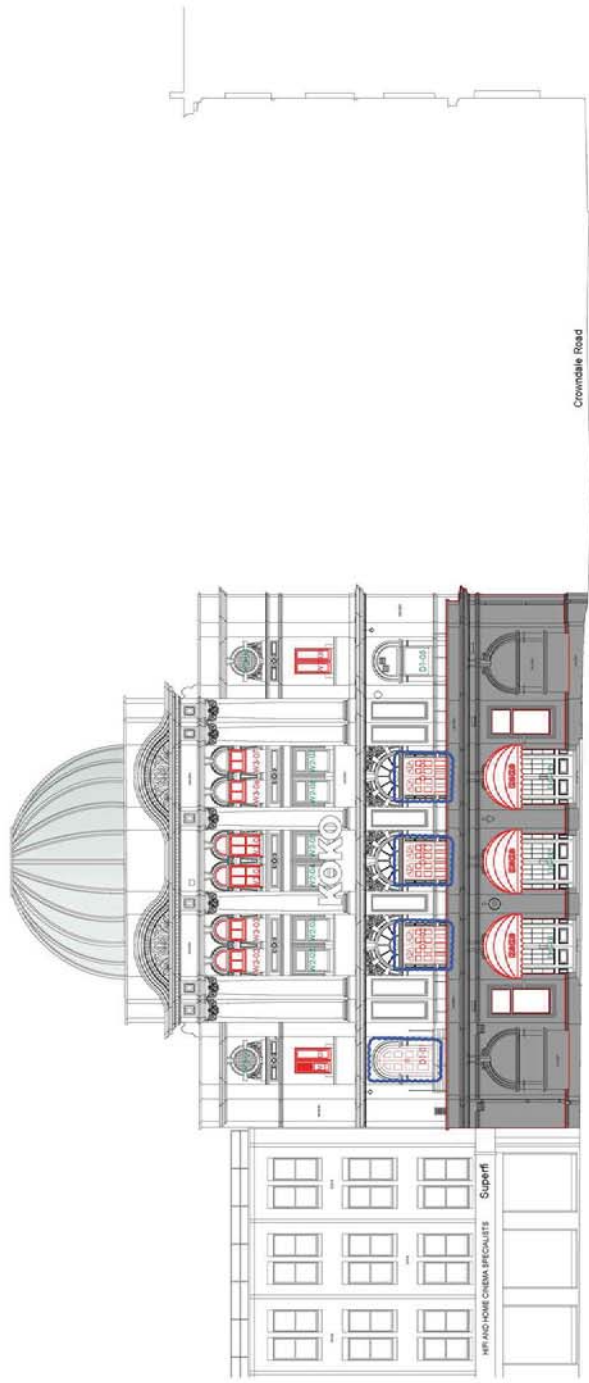
Floor Area: 1,200 sqm

Grid Spacing: 3.0m



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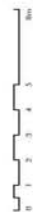
REVISED: 16.06.16  
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 A99 (16/06/17) - Annotations for the KOKO table  
 A100 (16/06/17) - Annotations for the KOKO table



SOUTH WEST ELEVATION  
 (CAMDEN HIGH STREET)

- LEGEND**
- Client Rooms
  - Music rehearsal spaces
  - Proposed Works
  - Existing Building Fabric KOKO table
  - Camden Palace Theatre (1900)
  - Existing Building Fabric
  - Camden Palace Theatre (1900)
  - Existing Building Fabric
  - Boydham Place (from 1875)
  - Existing Modern Building Fabric
  - Boydham Place (from 2000)
  - Building Fabric to be demolished
  - Demolition of masonry / brickwork / roof
  - Proposed Excavation
  - Remove grid rails in alternate location
  - Remove Project and return for reinstatement
  - Season, noise good, safe and adjusted
  - Arted Signs
  - Guest Route to Rooftop Restaurant
  - Means of escape route
  - Proposed Sign
  - Proposed Sign Above
  - Room Number
  - Door Number
  - Window Number

16.06.16



Pre Application  
 Archer Humphreys Architects

142 Camden Street  
 Camden, London  
 EC1Y 1JA  
 T: +44 (0) 20 721 8333

Project Name	KOKO + Hops & Anchor + Boydham Place Camden, London
Client	KOKO + Hops & Anchor + Boydham Place
Architect	Archer Humphreys Architects
Drawn	16.06.16
Checked	16.06.16
Approved	16.06.16
Drawn By	AMH/15C/DM/200

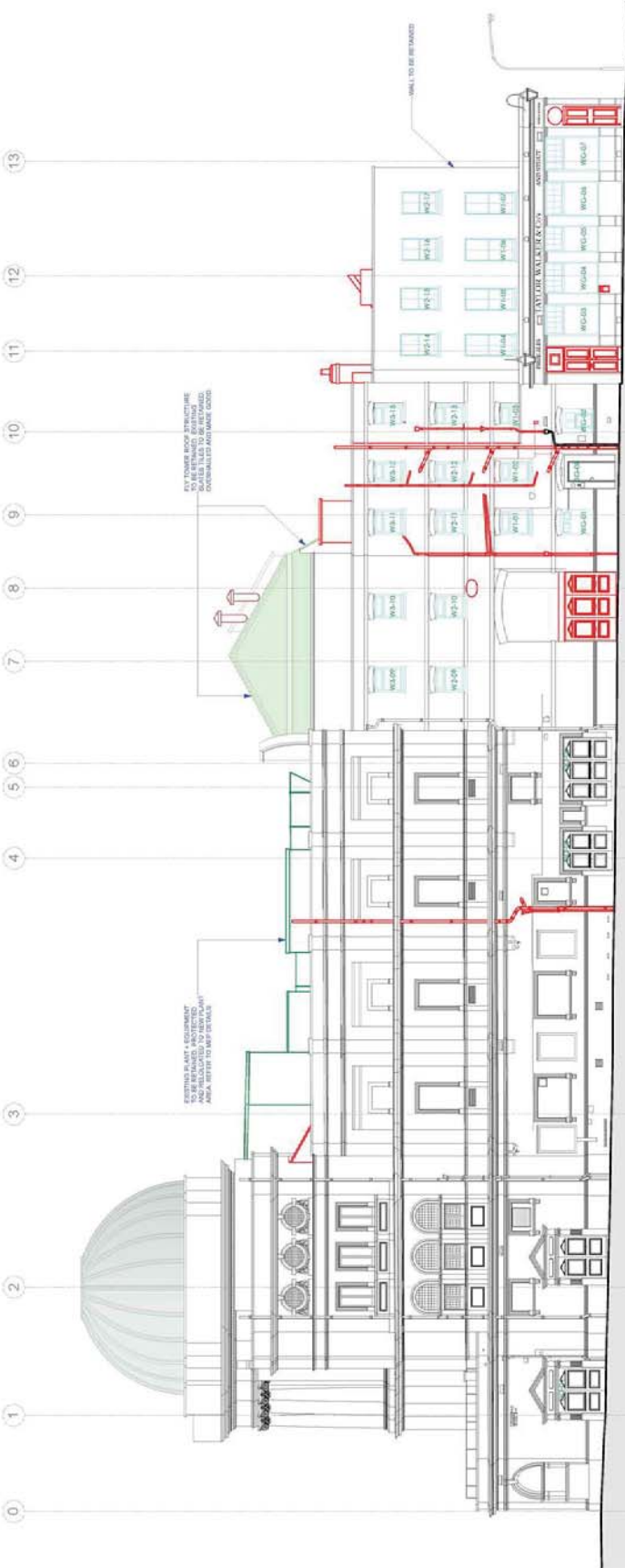
NOTE: WINDOWS SHOWN IN RED TO INDICATE WINDOWS TO BE REPLACED WITH ORIGINAL ARCHITECTURAL WINDOWS. PLANT TO BE REPLACED WITH ORIGINAL PLANT.

ALL ELECTRICAL, PLUMBING, SANITARY, MECHANICAL, AND OTHER SERVICES TO BE INSTALLED IN ACCORDANCE WITH THE BUILDING REGULATIONS AND ALL APPLICABLE STANDARDS.

DRAWINGS TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS.

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16.06.17  
 14C Curzon Street  
 EC1Y 4BA  
 Tel: +44 (0) 20 771 8333



SOUTH EAST ELEVATION (CROWDALE ROAD)

16.06.17



Pre Application  
 Archer Humphreys Architects

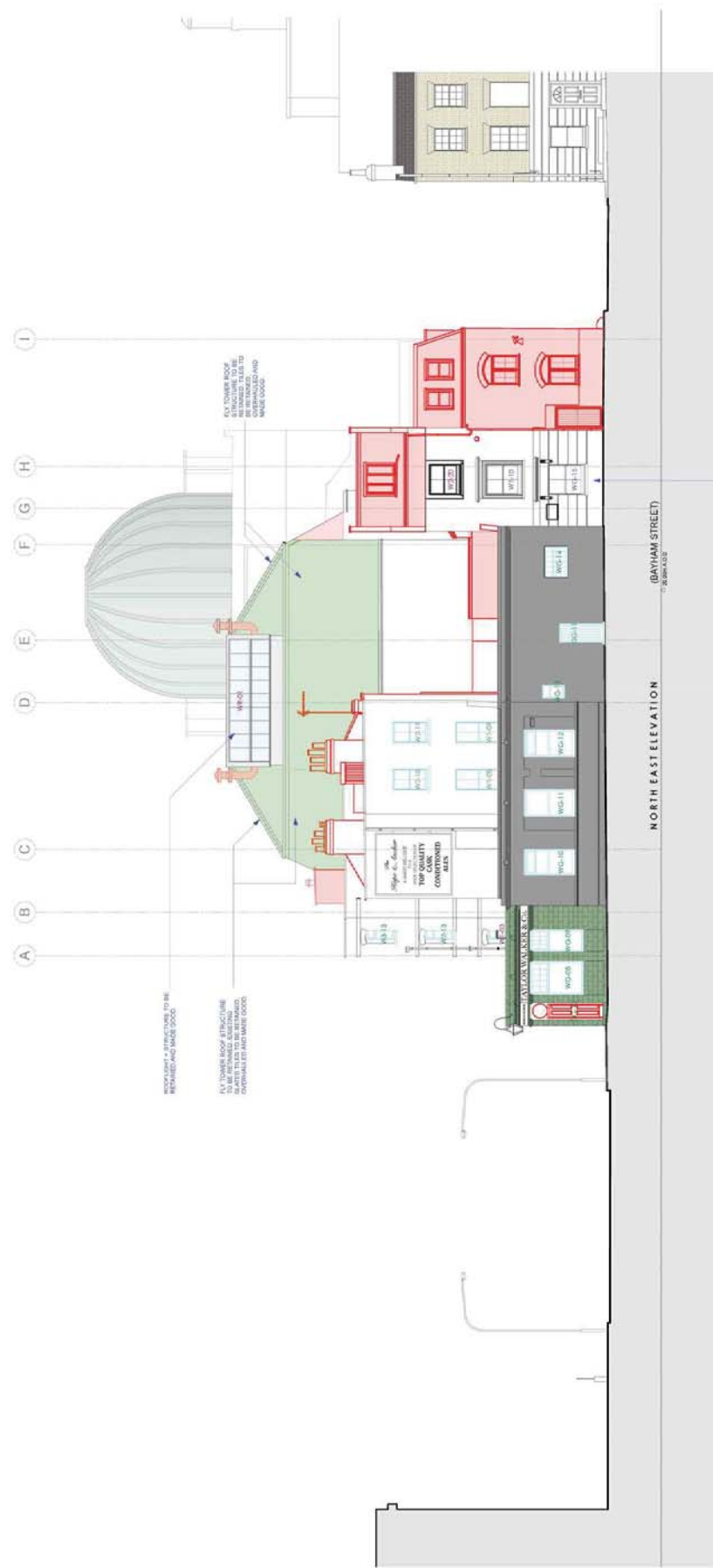
14C Curzon Street  
 EC1Y 4BA  
 Tel: +44 (0) 20 771 8333

Project Name	CKCO + Hays & Anchor + Boyfram Place
Location	Camden, London
Client	CKCO + Hays & Anchor + Boyfram Place
Architect	Archer Humphreys Architects
Drawn	16.06.17
Checked	16.06.17
Approved	16.06.17
Project No.	
Drawn By	
Checked By	
Approved By	
Scale	

NOTE: ALL ELECTRICAL, PLUMBING, HEATING, AND MECHANICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BS STANDARDS AND ASSOCIATED MANUFACTURER'S INSTRUCTIONS. TO BE IN FULL CONFORMANCE WITH THE LATEST EDITIONS OF THE BS STANDARDS AND ASSOCIATED MANUFACTURER'S INSTRUCTIONS.

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 All work should be carried out in accordance with the Building Regulations and the Building Act 2004.  
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16.06.17  
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16.06.17



Pre Application  
 Archer Humphreys Architects

16/0017 / 16/0017  
 16/0017 / 16/0017  
 16/0017 / 16/0017  
 16/0017 / 16/0017

Client Name	CKCO + Hays & Anchor + Boyham Place
Location	Camden, London
Demolition	Bayham Street Elevation
Architect	Archer Humphreys Architects
Project No.	16/0017 / 16/0017
Date	16/06/17
Scale	1:50
Sheet No.	16/0017 / 16/0017

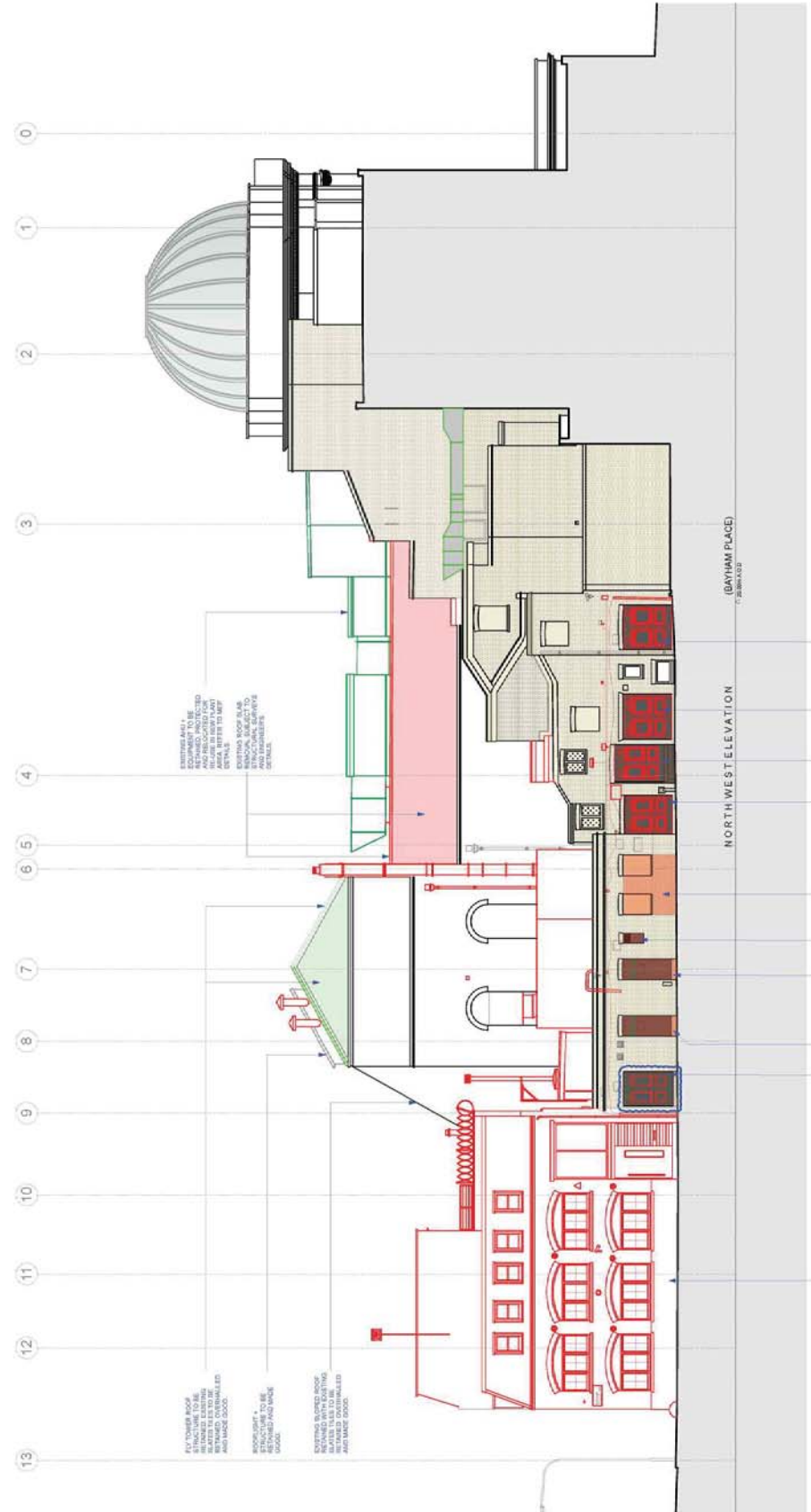
NOTE:  
 ALL ELECTRICAL, PLUMBING, HEAT  
 AND MECHANICAL WORK SHOULD  
 BE IN ACCORDANCE WITH THE  
 BUILDING REGULATIONS AND THE  
 BUILDING ACT 2004. ALL WORK  
 SHOULD BE CARRIED OUT IN  
 ACCORDANCE WITH THE  
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 BUILDING ACT 2004.



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 The drawings shall be made in accordance with the Architect's instructions and shall be subject to the Architect's approval.  
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PROJECT DATA / Project Name:  
 A / DRAWING / 7 - ARCHITECTURAL ELEVATION 11  
 B / DRAWING / 7 - ARCHITECTURAL ELEVATION 11  
 C / DRAWING / 7 - ARCHITECTURAL ELEVATION 11

- LEGEND**
- Guest Room
  - Music related Space
  - Proposed Work
  - Existing Building Fabric (1973)
  - Existing Building Fabric (1950)
  - Existing Building Fabric (1930)
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23.06.17



Pre Application  
 Archer Humphreys Architects

Client:  
 142 Colindale Avenue  
 Colindale, London NW9 1QB  
 Tel: +44 (0) 20 7271 8333

Project Name	CKCO + Hope & Anchor + Bayham Place
Location	Colindale, London
Drawn	23.06.17
Checked	23.06.17
Approved	23.06.17
Project No.	142
Drawn By	AMH/115C (DM/20)

NOTE:  
 ALL WORK SHOULD BE IN ACCORDANCE WITH THE BUILDING REGULATIONS AND THE BUILDING ACT 2019.  
 ALL WORK SHOULD BE IN ACCORDANCE WITH THE BUILDING REGULATIONS AND THE BUILDING ACT 2019.  
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 The drawings shall be made in conjunction with the Architect's contract documents and shall be subject to the Architect's contract documents and shall be subject to the Architect's contract documents.

PROJECT: KOKO RESTAURANT  
 ADDRESS: 142 CROWNDALE ROAD, CANNON SQUARE, LONDON W1A 2PH  
 ARCHITECT: ARCHITECTS ASSOCIATES  
 DATE: 16.06.16

**LEGEND**

- Existing building fabric (KOKO site)
- Comden Police Theatre (1900)
- Existing building fabric (KOKO site)
- Existing building fabric (1850)
- Existing building fabric
- Boyham Place (from 1975)
- Existing modern building fabric
- Boyham Place (from 2004)
- Building fabric to be demolished
- Demolition of flooring / floor slab / wall
- Proposed Extension
- Remove and retain in alternate location
- Remove and retain in alternate location
- Remove and retain in alternate location
- Anti-Flood
- Guest Route to Rooftop Restaurant
- Means of escape route
- Proposed Floor
- Proposed Floor Above
- Room Number
- Door Number
- Window Number
- Koko Denrize
- 1 Boyham Street & 40 Boyham
- Place Denrize

16.06.16

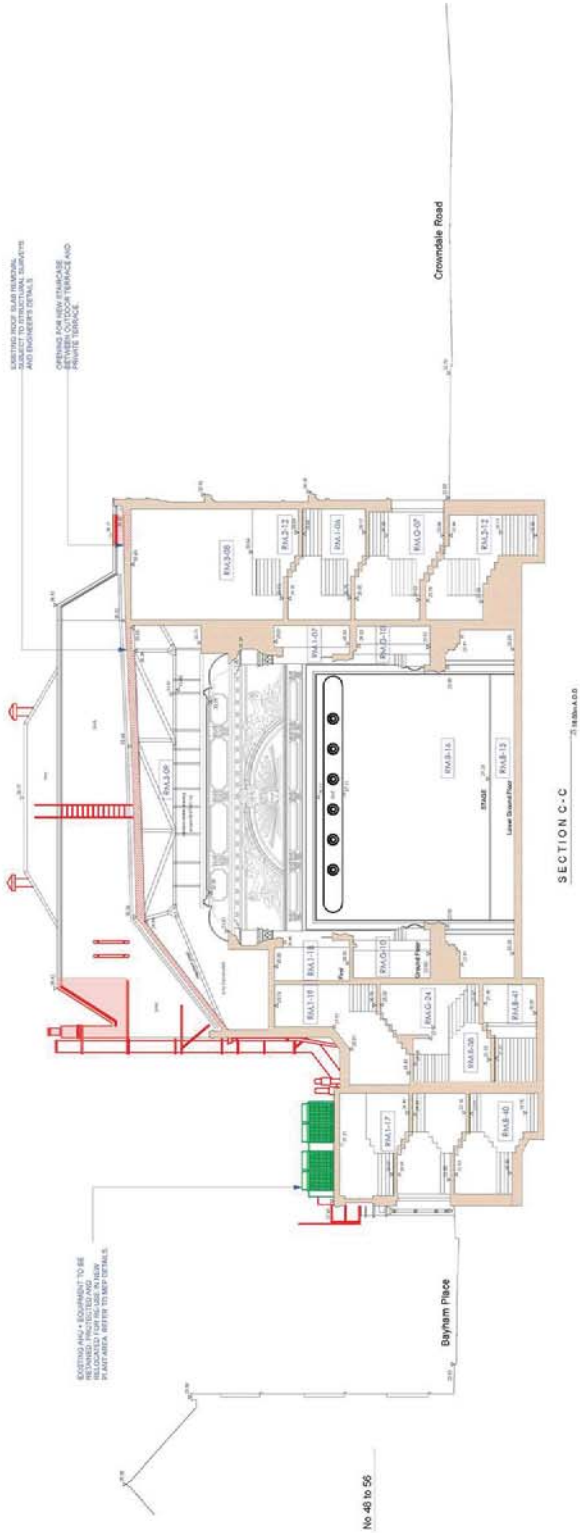


Pre Application  
 Archer Humphreys Architects

Architects  
 142 Crown Dale  
 Cannon Square  
 London W1A 2PH  
 T: +44 (0) 20 721 8333

Project Name	KOKO + Hops & Anchor + Boyham Place
Location	Cannon Square, London
Client	Archer Humphreys Architects
Architect	Archer Humphreys Architects
Date	16.06.16
Scale	1:100
Sheet No.	001
Sheet Total	001

NOTE:  
 ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BUILDING REGULATIONS 2010 AND THE PLANNING ACT 2008.  
 ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BUILDING REGULATIONS 2010 AND THE PLANNING ACT 2008.  
 ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BUILDING REGULATIONS 2010 AND THE PLANNING ACT 2008.



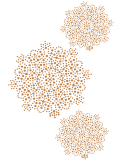
SECTION C-C

No. 46 to 55





Area Schedules



ARCHER HUMPHRIES ARCHITECTS

Koko + Hope Anchor,  
1 Bayham St and 65 Bayham Place

EA & IA Area Schedule

Revision A

Date 20.06.17

\* - not counted towards total GIA

EXISTING - TOTAL - GIA

LAND USE	LBF	BF	GF	1F	2F	3F	4F	TOTAL
Music Hall (D2)	936	702	527	370	196			2731
Music Hall Back of House (D2)	323	134	194	135	113	93		992
F&B			245					245
F&B back of house	184		102	79				365
Private terraces*								0
F&B terraces *			89					0
plant (internal)	31			200		69		300
plant (external) *			87					0
Void			320	349	142	603	140	1554
office space			127	109	108	43		387
<b>TOTAL</b>	<b>323</b>	<b>1285</b>	<b>1588</b>	<b>1222</b>	<b>1012</b>	<b>935</b>	<b>209</b>	<b>6574</b>

Total - existing

\* - not counted towards total GIA

EXISTING - TOTAL - GIA

LAND USE	LBF	BF	GF	1F	2F	3F	4F	TOTAL
Music Hall (D2)	866	498	364	185				2574
Music Hall Back of House (D2)	258	117	147	118	97	80		817
F&B			231					231
F&B back of house	160		85	67				312
Private terraces *								0
F&B terraces *			89					0
plant (internal)	28			187		67		282
plant (External) *			315	336	142	584	125	1502
Void			117	95	94	31		337
office space			1471	1132	951	880	192	6055
<b>TOTAL</b>	<b>258</b>	<b>1171</b>	<b>1471</b>	<b>1132</b>	<b>951</b>	<b>880</b>	<b>192</b>	<b>6055</b>

Total - existing



\* - not counted towards total GIA

**PROPOSED SCHEME - GEA**

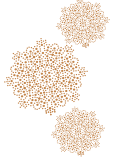
	LBF	BF	GF	1F	2F	3F	4F	TOTAL	Uplift from existing
Music Hall (D2)		936	702	527	464	196		2825	94
Music Hall Back of House (D2)	349	107	92	58	17	79		702	-290
Hope and Anchor F&B (A3/A4)			263	368				631	386
Hope and Anchor F&B Back of House		62	142	60	311	175		264	-101
Private Members (Sui Generis)					95	59		486	99
Private Members Back of House								154	154
Retail			62					62	62
Skylobby - F&B terrace							237	237	237
Skylobby external terrace							242	242	242
Dome (A4)							69	69	0
Skylobby BOH							75	75	75
Private terraces*						50		50	50
F&B terraces *				89				0	0
Other/ shared BOH		100	21	5	68	20	20	234	234
plant (internal)		105			202			307	76
plant (external) *						96		96	96
Void			320	349	142	603	140	1554	0
TOTAL	349	1310	1602	1367	1299	1278	783	7988	1414
								<b>Total uplift</b>	<b>1414</b>

\* - not counted towards total GIA

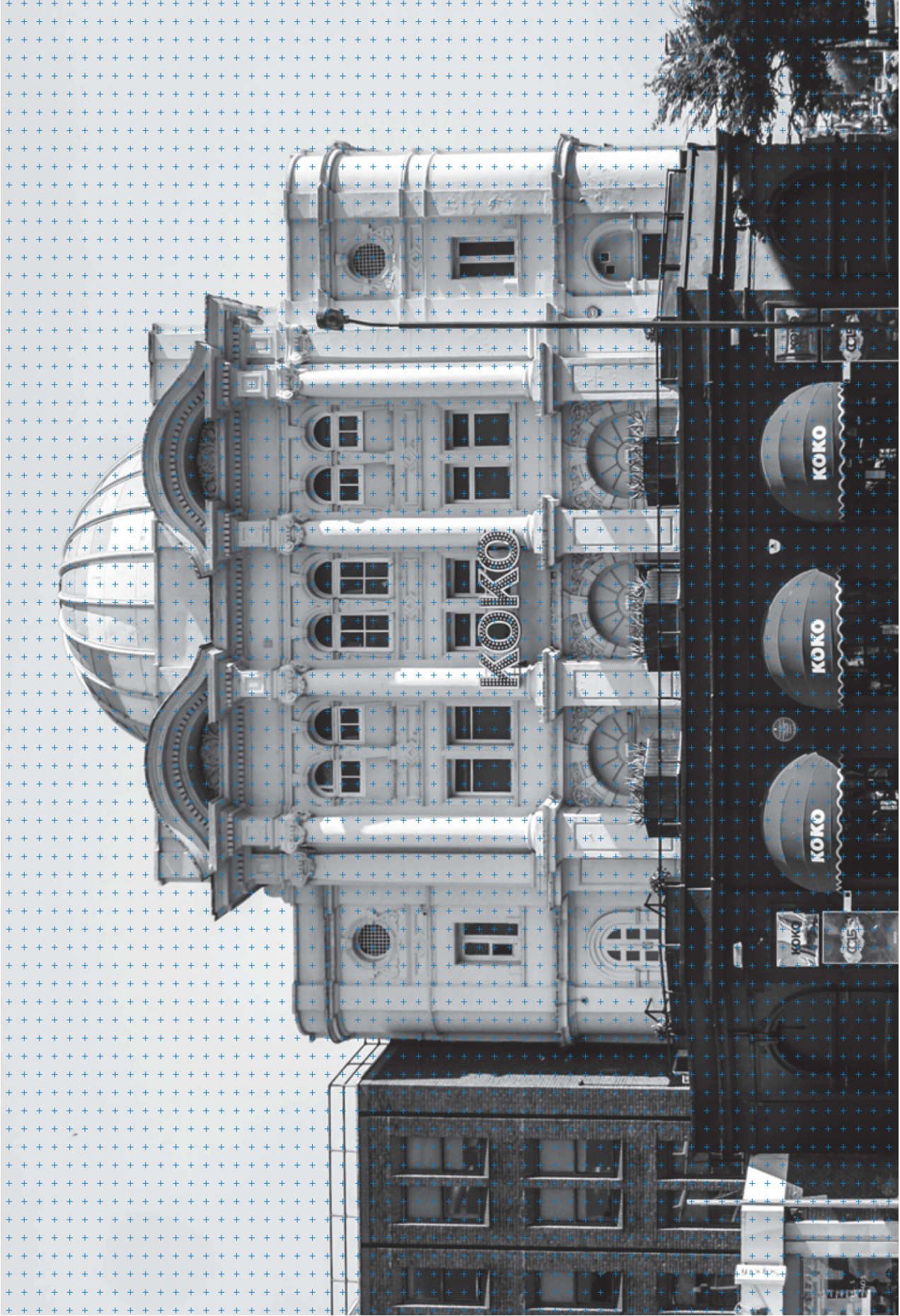
**PROPOSED SCHEME - GIA**

	LBF	BF	GF	1F	2F	3F	4F	TOTAL	Uplift from existing
Music Hall (D2)		866	645	500	431	165		2607	33
Music Hall Back of House (D2)	288	100	87	58	17	72		622	-195
Hope and Anchor F&B (A3/A4)			247	340				587	356
Hope and Anchor F&B Back of House		58	137	60	284	95		255	-57
Private Members (Sui Generis)					95	59		284	-53
Private Members Back of House								95	95
Retail			56					56	56
Skylobby - F&B terrace							225	225	225
Skylobby external terrace							242	242	242
Dome (A4)							67	67	0
Skylobby BOH							301	301	301
Private terraces*						50		50	50
F&B terraces *				89				0	0
Other/ shared BOH		85	19	5	65	20	16	210	210
plant (internal)		92			189			281	66
plant (external) *						96		96	96
Void			315	336	142	584	125	1502	0
TOTAL	288	1201	1506	1299	1223	987	976	7480	1425
								<b>Total uplift</b>	<b>1425</b>

Structural Report  
Heyne Tillett Steel



ARCHER HUMPHRYES ARCHITECTS



## 1 Introduction

This report describes the structural proposals for the refurbishment of KOKO, The Hope & Anchor pub and the redevelopment of the surrounding site to provide new accommodation, terraces and back of house areas.

Heyne Tillet Steel (HTS) have visited the existing site and conducted a visual inspection of all associated buildings. Geotechnical investigations were undertaken in July 2016. A series of structural investigations and opening up works are to commence in June 2017.

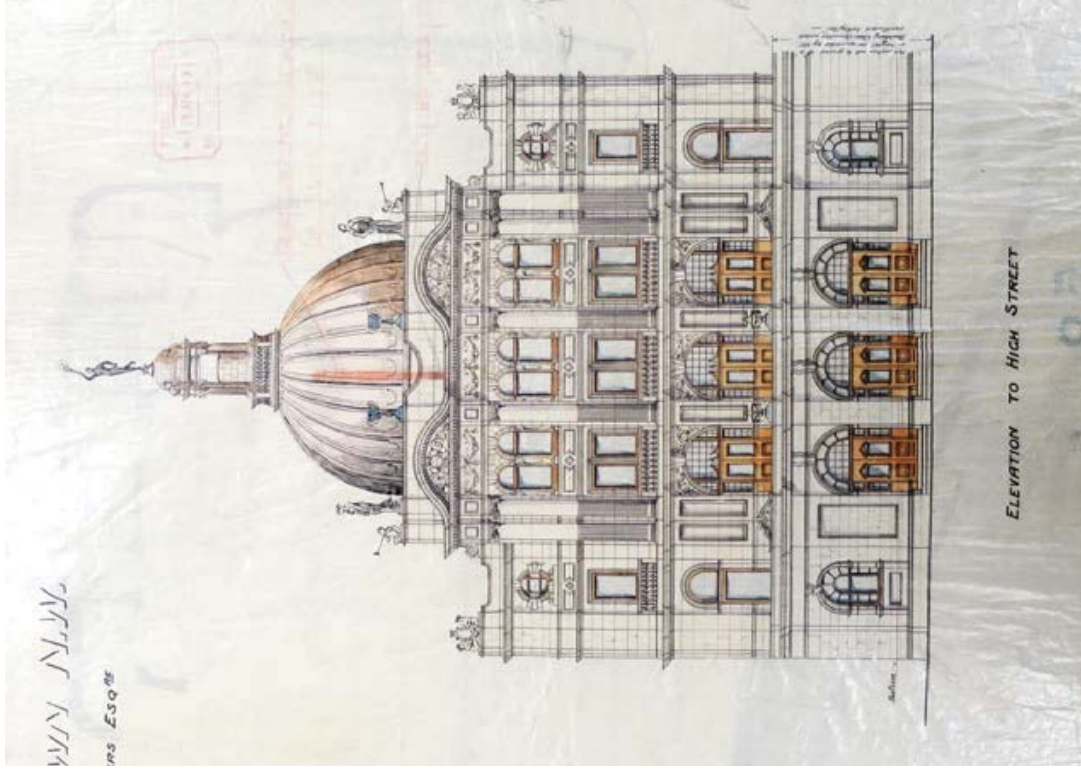
## 2 The Site

The site is located in the Borough of Camden, NW1 on the corner of Camden High Street and Crowndale Road. It is enclosed to the north and east by Bayham Place and Bayham Street respectively.

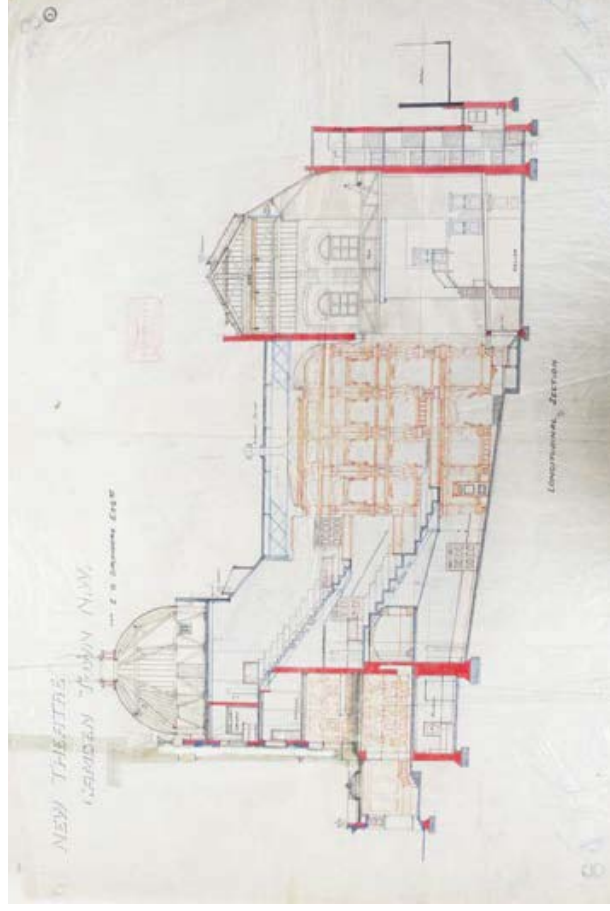
The site is currently occupied by KOKO which is a Grade II listed live music venue. The Hope & Anchor Pub on the south eastern part of the site and a series of buildings along Bayham Street are currently derelict. There is a four storey mixed use development on the corner of Bayham Place and Bayham Street. The remaining buildings along Bayham Place consist of one to two storey buildings and provide back of house services to the rear of KOKO.

The Northern line tunnel runs to the west of the site along Camden High Street.

For the purpose of this report, the site will be divided into four elements: KOKO, The Hope & Anchor pub, 1 Bayham Street and 65 Bayham Place.



Archive drawing. Original front elevation of Koko



Archive drawing. Original section through Koko

## 3 Existing Structure

### 3.1 KOKO

The existing Grade II listed building was built c.1900 and designed by architect W.G.R. Sprague. The building was originally designed as a theatre and has since been used as a cinema, BBC studio and is currently a live music venue. Having changed names several times during its history, the property reopened as KOKO in 2004 following a refurbishment.

Original drawings from the London Metropolitan Archives and visual inspections suggest that the building is constructed from load bearing masonry walls on corbelled brick footings. The roof structure over the main auditorium consists of a series of steel trusses supporting a concrete filler joist floor. The existing decorative ceiling to the auditorium is supported by joinery fixed to the underside of the steel trusses.

The Fly Tower extends above the stage area and appears to consist of loadbearing masonry walls supporting a timber framed pitched roof. The proscenium wall and opening are located on the western elevation. The timber pitched roof consists of three queen post trusses with a tiled roof finish. A timber flywheel and spindle are located within the roof void. The existing grid consists of timber joists and floor boards and is suspended from the queen post trusses.

The Crossover Gallery surrounds the stage at high level and appears to be formed from a series of timber trusses and joists.

The existing domed roof above the front facade is a timber framed construction. The floor to the dome appears to be a concrete slab.

The Bayham Place elevation consists of one to two storey buildings and provides back of house accommodation and staircases. The slabs and staircases appear to be of concrete construction supported by loadbearing masonry walls.

### 3.2 The Hope & Anchor Pub

Historic maps indicate that a public house has been located on the corner of Crowndale Road and Bayham Street since 1875. A single storey building with flat roof exists over the entire footprint and there is a single storey basement. The pub rises to three storeys with a flat roof over part of its plan and is stepped back from the adjacent roads. The pub appears to be constructed from timber joist floors supported on both load bearing masonry walls and a series of internal steel beams and columns.

The existing basement construction consists of masonry walls to the Crowndale Road and northern elevation. A series of brick vaults extend below the pavement along Bayham Street and support the ground floor facade above. The basement abuts KOKO at its western elevation. The floor consists of a ground bearing concrete slab.

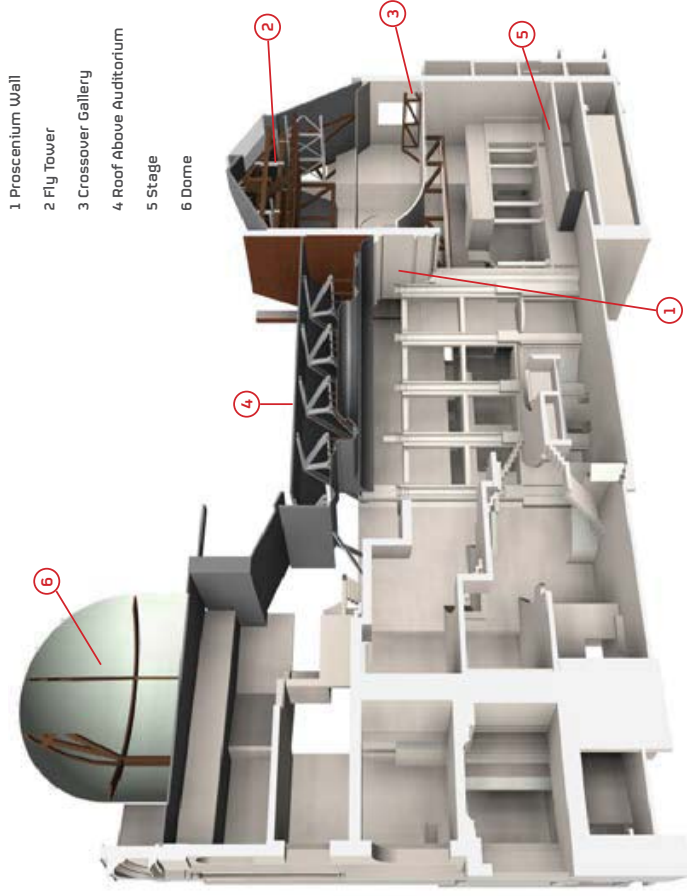
An open yard is present at ground floor to the rear of the pub. This is concealed by a single storey building to the Bayham Street elevation.

### 3.3 1 Bayham Street

This four storey masonry building fronts Bayham Street and is located between the rear of the pub and the properties along Bayham Place. The facade is in keeping with similar properties to the north along Bayham Street. The property has a mansard roof. It consists of timber joist floors supported on masonry walls and a series of internal steel beams and columns. The building appears to have been refurbished internally and is joined with 65 Bayham Place.

### 3.4 65 Bayham Place

A three storey property which borders Bayham Street and Bayham Place. It consists of timber joist floors supported on masonry walls and a series of internal steel beams and columns. The building appears to have been refurbished internally and is joined with 1 Bayham Street.



Existing Long Section View

## 4 Proposed Structure

### 4.1 KOKO

It is proposed to build a light weight single storey roof extension above KOKO's existing main flat roof. The new extension will have a concrete floor supported by new steel trusses spanning across the width of the building. It is proposed to support the new roof top structure on new steel columns fed through the existing building. These will be located in back of house areas and supported on new foundations.

An alternative proposal is to support the new structure on the existing masonry walls and foundations. This will be confirmed following a series of intrusive investigations to assess their load bearing capacity. This proposal would require the removal of the existing roof slab using non percussive demolition. A temporary roof will provide protection to the existing trusses and auditorium ceiling.

The new roof extension will wrap around the existing Fly Tower and connect to the new construction along Bayham Street and Bayham Place.

Internal alterations and refurbishment to existing back of house areas will provide new bars, galleries and function spaces.

The dome will be refurbished with new stairs providing access to the roof top extension and floor below.

The existing Crossover Gallery which surrounds the stage will be retained and refurbished. Investigations will confirm the condition and capacity of the existing structure.

### 4.2 The Hope & Anchor Pub

It is proposed to reorganise the internal layouts at all floors by removing partitions and walls. Investigations will confirm if the existing floor structure can be retained and reused.

Intrusive investigations will confirm the condition of the existing facade and determine whether it can be retained or rebuilt.

A new mansard roof will be constructed at 3<sup>rd</sup> floor above the existing property.

New structure will be installed prior to the removal of any loadbearing structure and will support the existing floors and walls. Steel box frames may be required to transmit loads back into the foundations and provide lateral stability to the building.

The existing basement floor will be locally lowered and linked with KOKO. It is currently understood that no underpinning will be required, however this will be confirmed by further trial pits and investigations.

### 4.3 Bayham Street

The existing façades to 1 Bayham Street and The Hope & Anchor will be retained along the Bayham Street elevation. It is proposed to demolish the remaining structure including 65 Bayham Place which is located on the north east corner. Temporary works will be provided to the front elevation whilst the walls and floors are demolished to the rear.

The demolished buildings will be replaced with a new three/four storey lightweight steel framed building with concrete floors. The new structure will connect with The Hope & Anchor and KOKO.

A new lift and staircase will be constructed to the rear of KOKO and will link the new building with KOKO's existing basement and sub-basement levels. A piled retaining wall will allow local excavation to basement level and will be lined with a reinforced concrete wall. Temporary propping will be installed prior to the construction of the new core and will limit any ground movement.

### 4.4 Bayham Place

Where retained, it is proposed to build above the existing buildings along Bayham Place to provide new accommodation and plant areas. A lightweight steel framed construction will match the height of the roof extension above KOKO and be stepped in profile. It is envisaged that new steel columns will be fed through the existing building to support the new structure above. These will be located in back of house areas and confirmed following investigations to the existing foundations and masonry walls.



Photo of Crowndale Road elevation - Koko



Photo of Bayham Place elevation - Koko

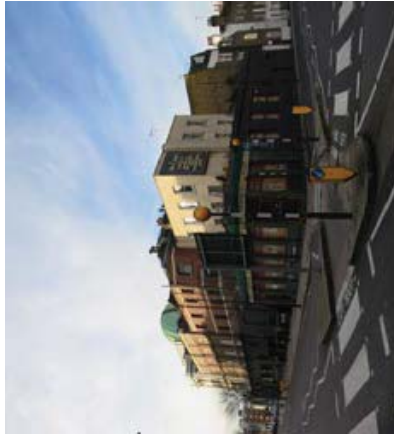


Photo showing corner of Crowndale Road with Bayham Street - The Hope & Anchor pub



Photo showing corner of Bayham Street with Bayham Place - 1 Bayham Street & 65 Bayham Place

# Appendix A

Archive Drawings