

The Hope Project, Camden

Planning and Listed Building Statement

indigo.

The Hope Project, Camden Planning and Listed Building Statement

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Indigo Planning

In conjunction with

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Executive Summary

KOKO is an internationally renowned independent live music venue and a key contributor to the London Borough of Camden and wider London economy.

Planning and listed building consent was recently approved in October 2017 for the redevelopment of the site to provide a change of use from offices (B1) and erection of 5 storey building with basement to provide 32 bedroom hotel (Class C1) following demolition of 65 Bayham Place and 1 Bayham Street (retention of façade) including change of use at 1st and 2nd floor of 74 Crowndale Road from pub (Use Class A4) to hotel (Use Class C1), mansard roof extension to 74 Crowndale Road, retention of ground floor of Hope and Anchor PH, conversion of the flytower to ancillary recording studio and hotel (C1), creation of terraces at 3rd and 4th floor level and erection of a 4th floor glazed extension above roof of KOKO to provide restaurant and bar to the hotel (C1).

This application for planning and listed building consent seeks approval for a revised proposal to refurbish the Grade II listed music venue, create a private members club with supporting restaurant and bar within the existing Hope and Anchor Public House to the rear, creation of skylobby and conversion of the KOKO dome to a bar. The proposals also provides a function suite and music rehearsal space for both performing artists and the local community.

The proposals will result in a more sustainable and viable approach through the introduction of a private members club instead of the previous approved hotel consent.

The applicant has recognised that they have a unique opportunity to redevelop buildings to the rear of the site, to provide supplementary, complementary uses integral to the future operation and optimisation of the live music venue. The additional income streams generated by the proposed range of uses at the application site will enable the tenant to supplement the running costs for the music venue, and ensure the upkeep and enrichment of the KOKO venue.

The proposed development will facilitate both external and internal refurbishment to KOKO restoring the building to its former Grade II listed glory. The scheme involves the reinstatement of many historic features, including the cupola above the dome on the main façade fronting Camden High Street.

In bringing forward the proposals, the applicant has extensively consulted key stakeholders, including LB Camden, the GLA, Historic England, Camden Town Unlimited, the Victorian Society, Theatre Trust, Camden Town CAAC and local residents and community providers. The feedback received has been carefully considered and informed the evolution of the development that comprises the application proposals.

The development proposals will bring forward a number of significant public benefits. These include, but are not limited to:

- Restoration and revitalisation of a Grade II listed heritage asset within Camden Town;
- Safeguarding the longevity of KOKO as a musical and cultural asset to Camden Town and ensuring the revenue generated by music tourists of around £10.7million per annum is retained within the Borough;
- Restoration and revitalisation of Hope and Anchor public house to bar and restaurant, providing a facility for both the local community and visitors to KOKO;

- Development of an architecturally high quality infill building, befitting historic setting and ensuring the quality of the Camden Town Conservation Area is preserved and enhanced. The scheme will also utilise high quality and appropriate materials;
- Development of a private members club to bolster the operation of KOKO and ensure it remains relevant to the music industry. It will provide a new concept for professionals committed to entrepreneurship and social enterprise within a central location;
- The development of the private members club will increase in the number of entertainment and hospitality jobs at the site. It is anticipated that the scheme will create a net uplift of 70-100 full and part time positions. This will result in an additional gross value of £3.1million to Camden economy;
- The construction phase will facilitate opportunities for skills development, training and apprenticeships;
- The development proposal includes for the provision of a recording studio/rehearsal space that will be available to the local community as well as local musicians or visiting acts to KOKO. This will be of huge benefit to the local community and education groups who will be able to make use of this space;
- The supplementary uses at the site, will allow KOKO to open its doors during the day to other sectors of the community such as for tea-dances, rehearsal space and other community uses such as mother/baby classes. Equally, the additional food and beverage spaces within the development will be open to the public;
- The new scheme will enable additional opportunities for local community groups, schools and music institutions who will all have access to the KOKO venue;
- Improve the sustainability and energy credentials at the site, through the new build development; and refurbishment; and
- This in turn will ensure that KOKO can continue to operate as a sustainable private business with no requirement to rely on charitable funding through heritage or lottery grants as other live music venues have had to rely on (for example the Camden Roundhouse).

The proposals seek to secure the sustainable long term viable future of KOKO as a world class leading music venue that will deliver a high quality development that will restore and enhance the Grade II listed KOKO and the site's character contribution to the character of the surrounding Camden Town Conservation Area. The development also makes sensible use of underutilised buildings to the rear of KOKO and transforms them into useable and appropriate mixed uses to complement the Camden Town Centre and operation of KOKO.

1. Introduction

- 1.1. The applicant, Hope Lease Limited comprises Piano Factory Ltd and Obar Camden Limited who are the owners (freehold) and occupiers (leasehold) of the application site, comprising the Grade II listed KOKO, the Hope & Anchor PH, 65 Bayham Place and 1 Bayham Street. KOKO is occupied by Obar Camden Limited who run KOKO, a live music venue that has operated from the site since 2004.
- 1.2. It is well recognised that KOKO has a strong identity within Camden Town, grounded in its successful delivery of club nights, grassroots music events and attraction of the best talent on the music scene over the last 10 years. This is further bolstered by the role that the Camden Palace has had within the theatrical, comedy, live music and clubbing scene over its 100 year history.
- 1.3. This application presents a unique opportunity to enhance and diversify KOKO's offer through redeveloping underutilised buildings to the rear of KOKO to provide supporting complementary facilities for the venue in the form of a private members club, recording studio, restaurants and bars. In essence, the development proposals seek consent for "Destination KOKO".
- 1.4. Whilst KOKO will continue to operate as a live music venue, the proposals have been designed to integrate with KOKO's operation and enhance the overall experience for visitors to the site.
- 1.5. Ultimately, the proposals seek to secure the viable and sustainable long term future of the buildings as one of London's leading independent music venues. This includes the part refurbishment of KOKO, which requires a significant level of investment to continue to maintain and restore the historic fabric of this listed building.
- 1.6. The applicant has chosen to redevelop buildings to the rear of the site, to ensure that KOKO can remain a viable business in the future. It is proposed that through enabling development, complementary leisure uses will be developed to ensure that the KOKO offer is enhanced and remains attractive.
- 1.7. KOKO is one of the only live music venues still independently owned and operated by a non-conglomerate international sales and events company. The development proposal will require a significant level of investment by the applicant demonstrating their passion and commitment to cement KOKO as London's leading independent live entertainment venue.
- 1.8. Live music venues face an uncertain future as music trends and night time economy pursuit's change. As a staple of the Camden Town live music circuit and the wider London music scene, KOKO needs to evolve to remain relevant in an ever changing market.
- 1.9. The complementary uses at the site will attract visitors to extend the length of dwell time, making a more sustainable use of the site. This will increase the £ per head spent at the site at the accompanying bars, restaurants and members club, providing supplementary revenue to the income from live music events and therefore assisting to secure the longevity of the KOKO business. This in turn will ensure that KOKO can continue to operate as a sustainable private business with no requirement to rely on charitable funding through heritage or lottery grants. The commercial businesses proposed additionally at the site, will allow for additional income streams to supplement the music event revenue to be generated, which can be recycled into the upkeep and enrichment of the KOKO venue.

Planning and Listed Building Application

1.10. This Planning and Listed Building Consent application has been prepared by Indigo Planning on behalf of the applicant. It seeks consent at 1A Camden High Street, Hope & Anchor Pub and associated buildings for:

1.11. Full planning permission and listed building consent is sought for:

“Demolition of 65 Bayham Place, 1 Bayham Street (retention of façade) and rebuilding to provide private members club with extension to the rear; retention of ground floor with internal demolition and re-build at upper floors of the Hope & Anchor (Use Class A4) to provide restaurant and bar, minor reconfiguration to circulation space within KOKO and installation of fourth floor extension to provide amenity space with terrace restaurant and bar, conversion of the KOKO dome to a private bar. Installation of associated plant and terraces.”

1.12. As well as this Planning Statement, the application is supported by the following documents:

- Planning Application Forms and Certificates, prepared by Indigo Planning;
- Listed Building Consent Application Forms, prepared by Indigo Planning;
- CIL Form, prepared by Indigo Planning;
- Demolition Plans prepared by Archer Humphreys Architects;
- Existing and Proposed Plans, prepared by Archer Humphreys Architects;
- Air Quality Assessment, prepared by RSK;
- Annotated plans to accompany schedule of works;
- Basement Impact Assessment including ground movement analysis and flood risk prepared by RSK;
- Bat Survey updated by Arbtech;
- CGI's, prepared by Archer Humphreys Architects;
- Design and Access Statement, including Crime Impact Statement prepared by Archer Humphreys Architects;
- Draft Construction Management Plan prepared by ADL Traffic/ Tower Eight;
- Energy Statement prepared by Eight Associates;
- Geo-environmental Assessment prepared by RSK;
- Heritage Statement prepared by Stephen Levrant Heritage Architects;
- Health Impact Assessment prepared by Indigo Planning;
- Energy Statement prepared by Eight Associates;
- Operational Management Plan prepared by Hope Lease Limited;
- Landscaping Proposals included within Design and Access Statement prepared by Archer Humphreys Architects;

- Mechanical and Electrical Plant layout plans prepared by RTKA included within Archer Humphries Plan Pack;
- Noise Impact and Vibration Assessment prepared by Big Sky Acoustics/ Scotch Partners;
- Photographs included within Design and Access Statement and Heritage Statement;
- Planning and Listed Building Statement prepared by Indigo Planning;
- Regeneration and Economic benefits Statement prepared by Indigo Planning;
- Servicing Management Plan prepared by ADL Traffic Engineering;
- Statement of Justification and Schedule of works and annotated plans prepared by Stephen Levrant Heritage Architecture;
- Statement of Community Involvement prepared by Comm Comm UK;
- Structural Report, prepared by Heyne Tillett Steel;
- Sustainable Urban Drainage and Drainage Report prepared by Heyne Tillett Steel;
- Sunlight and Daylight Report prepared by GVA Schatunowski Brookes;
- Sustainability Statement prepared by Eight Associates;
- Transport Statement prepared by ADL Traffic Engineering;
- Travel Plan prepared by ADL Traffic Engineering;
- Waste Storage and Collection prepared by ADL Traffic Engineering and Archer Humphries Architects;
- Viability Assessment prepared by ULL; and
- Draft Heads of Terms prepared by Indigo Planning included within Planning and Listed Building Statement.

Schedule of Plans

Existing

Plan Reference Number	Name	Scale
AHA/KKC/EX/001	Existing Site Plan	1:200
AHA/KKC/EX/098	Existing Lower Basement Plan	1:100
AHA/KKC/EX/099	Existing Basement Plan	1:100
AHA/KKC/EX/100	Existing Ground floor Plan	1:100
AHA/KKC/EX/101	Existing 1st floor Plan	1:100
AHA/KKC/EX/102	Existing 2nd floor Plan	1:100
AHA/KKC/EX/103	Existing 3rd floor Plan	1:100
AHA/KKC/EX/104	Existing 4th floor Plan	1:100
AHA/KKC/EX/105	Existing Roof Plan	1:100
AHA/KKC/EX/200	Existing Front Elevation	1:100
AHA/KKC/EX/201	Existing Crowndale Road Elevation	1:100
AHA/KKC/EX/202	Existing Bayham Street Elevation	1:100
AHA/KKC/EX/203	Existing Bayham Place Elevation	1:100

AHA/KKC/EX/300	Existing Section AA	1:100
AHA/KKC/EX/301	Existing Section BB	1:100
AHA/KKC/EX/302	Existing Section CC	1:100
AHA/KKC/EX/304	Existing Section DD	1:100
AHA/KKC/EX/306	Existing Section FF	1:100

Demolition

Plan Reference Number	Name	Scale
AHA/KKC/DM/098	Lower Basement Demolition Plan	1:100
AHA/KKC/DM/099	Basement Demolition Plan	1:100
AHA/KKC/DM/100	Ground floor Demolition Plan	1:100
AHA/KKC/DM/101	11st floor Demolition Plan	1:100
AHA/KKC/DM/102	2nd floor Demolition Plan	1:100
AHA/KKC/DM/103	3rd floor Demolition Plan	1:100
AHA/KKC/DM/104	4th floor Demolition Plan	1:100
AHA/KKC/DM/105	Roof Demolition Plan	1:100
AHA/KKC/DM/200	Front Elevation Demolition Drawing	1:100
AHA/KKC/DM/201	Proposed Crowndale Road Elevation Demolition Drawing	1:100
AHA/KKC/DM/202	Proposed Bayham Street Elevation Demolition Drawing	1:100
AHA/KKC/DM/203	Proposed Bayham Place Elevation Demolition Drawing	1:100
AHA/KKC/DM/300	Section AA Demolition Drawing	1:100
AHA/KKC/DM/301	Section BB Demolition Drawing	1:100
AHA/KKC/DM/302	Section CC Demolition Drawing	1:100
AHA/KKC/DM/303	Section DD Demolition Drawing	1:100
AHA/KKC/DM/306	Section FF Demolition Drawing	1:100

Proposed

Plan Reference Number	Name	Scale
AHA/KKC/GA/001	Proposed Site Plan	1:200
AHA/KKC/GA/098	Proposed Lower Basement Plan	1:100
AHA/KKC/GA/099	Proposed Basement Plan	1:100
AHA/KKC/GA/100	Proposed Ground Floor Plan	1:100
AHA/KKC/GA/101	Proposed First Floor Plan	1:100
AHA/KKC/GA/102	Proposed 2nd floor Plan	1:100
AHA/KKC/GA/103	Proposed 3rd floor Plan	1:100
AHA/KKC/GA/104	Proposed 4th floor Plan	1:100
AHA/KKC/GA/105	Proposed Roof Plan	1:100
AHA/KKC/GA/300	Proposed Section AA	1:100
AHA/KKC/GA/301	Proposed Section BB	1:100
AHA/KKC/GA/302	Proposed Section CC	1:100
AHA/KKC/GA/303	Proposed Section DD	1:100
AHA/KKC/GA/306	Proposed Section FF	1:100
AHA/KKC/GA/309	Proposed Section JJ	1:100
AHA/KKC/GA/310	Proposed Section KK	1:100
AHA/KKC/GA/311	Proposed Section GG	1:100
AHA/KKC/PR/200	Proposed Front (Camden High Street) Elevation	1:100
AHA/KKC/PR/201	Proposed Crowndale Road Elevation	1:100

AHA/KKC/PR/202	Proposed Bayham Street Elevation	1:100
AHA/KKC/PR/203	Proposed Bayham Place Elevation	1:100

Structure of report

1.13. This statement comprises the following sections:

- A description of the application site and surroundings, and relevant planning history is set out in Section 2;
- A description of the development proposals is provided in Section 3;
- An outline of the pre-application and consultation process is provided in Section 4;
- An outline of the relevant national, regional and local planning policy and other relevant documents is set out in Section 5;
- The key planning considerations are made at Section 6; and
- Our conclusions are set out in Section 7.

2. Site Background

- 2.1. This section provides a brief description of the site and the surrounding context.
- 2.2. The site is comprised of a cluster of buildings including Camden Palace “(KOKO)”, the Hope and Anchor Public House and 1 Bayham Street and 65 Bayham Place. The application site lies to the north of Crowndale Road on the Camden gyratory system. The site is located adjacent to the Mornington Crescent underground station and has a high PTAL rating of 6b (Excellent).
- 2.3. The site lies within Camden Town Centre and also falls within the Camden Town Conservation Area. The site is located within the Regents Park Ward.



- 2.4. KOKO is a Grade II listed structure. The Hope and Anchor Public House and adjacent buildings on Bayham Place (No. 65) are not listed nationally or locally. The buildings are adjacent to the rear of the theatre. They are not included in the Grade II listing, but listed as 'positive contributors' in the Camden Town Conservation Area Appraisal, 2007.
- 2.5. Piano Factory Ltd is the freehold owner of the Camden Palace (KOKO), the freehold owner recently acquired the Hope and Anchor PH, 1 Bayham Street and 65 Bayham Place, with an ultimate vision to enhance and protect the location as a leading music venue.

Surrounding Area

- 2.6. The area is characterised by a variety of building sizes and uses, including mixed use (business, retail and residential) buildings of up to six storeys.

Camden Palace (KOKO)

- 2.7. The majority of the application site is made up of the Camden Palace (KOKO), a Grade II listed concert venue (Historic England Ref: 1272425). KOKO was originally built as a theatre, and opened on Boxing Day 1900. In 1909 the venue was renamed the Camden Hippodrome and was used as a variety theatre where Charlie Chaplin regularly performed. The venue became a cinema in 1913, before closing in 1940. It was then used as the BBC Theatre, where they recorded such shows as the 'Goon Show, Rhythm and Blues' which featured a performance from the Rolling Stones.
- 2.8. In 1970 the venue was reincarnated as a music venue and has had a wide range of world renowned performers including the Sex Pistols, Iron Maiden, the Eurhythmics and the Cure. The Camden Palace temporarily closed in 2004, for a much needed revamp and was re-opened in 2005 as KOKO.

- 2.9. Following a multi-million pound revamp, KOKO began to grow its musical presence by world renowned performers including Noel Gallagher, Amy Winehouse, Adele, Red Hot Chili Peppers and The Chemical Brothers. KOKO is one of the most important music venues attracting a wide array of music's most popular and influential artists. In turn the venue draws people from throughout the UK, Europe and further afield making it a very important cultural attraction that contributes significantly to London's diversity and economy.
- 2.10. The owners of KOKO are committed to growing the music brand to keep this cultural jewel as a key venue in London. In 2016, KOKO collaborated with BBC Introducing and Club NME to highlight the best and brightest rising stars for the year ahead. The commitment by KOKO reflects the wider aspirations of the London Mayor who has recognised the importance of Music Venues through his 'Music Venues Taskforce' which was established in 2014 to try and prevent the closure of live music venues in London. The redevelopment of the site demonstrates the owners commitment to retaining this historical and cultural asset for Camden Town, London and the wider music economy.

Hope and Anchor Pub

- 2.11. From historical maps, it appears that the corner site, now occupied by the Hope and Anchor Pub has been in use as a Public House since 1875. The pub has undergone a number of internal alterations over the years, but these are minor in nature. The pub benefits from an attractive tiled façade, facing onto Bayham Street and Crowndale Road. The pub is not listed or locally listed, nor included as part of the Camden Palace listing; it is also not designated as an asset of community value. However, it is recognised as a positive contributor to the Camden Town Conservation Area.
- 2.12. The Hope and Anchor Pub was operated until late 2013, with its owners stating that closure was due to unsustainable rising beer prices and rents. The pub was then subject to a planning application for conversion to eight residential flats. This was granted at planning committee but quashed as a consequence of a Judicial Challenge. The applicant subsequently purchased the site in 2015, as part of the strategy to enhance and protect KOKO as a leading music venue and to protect KOKO from future residential conflicting use.
- 2.13. Since 2013, the site has remained vacant, although squatters gained possession in late 2015. The squatters were evicted in April 2016, having destroyed the interior. It is understood that further attempts to gain entry for squatting have been pursued as recently as October 2017 but the site now benefits from 24 hour security. The site is now secure and monitored by an off-site Security business.

65 Bayham Place/1 Bayham Street

- 2.14. 65 Bayham Place/1 Bayham Street, on the corner of the plot is currently vacant but was previously used as an office (B1a Use). The building comprises a three (with mansard)/four storey building with two three storey mews buildings to the rear. The eastern block of Bayham Place first took shape in the early 1800's, and was originally used for sheet metal production during the late 19th - early 20th Century. The buildings have undergone conversion to office uses during the 20th Century which has removed any fabric of historic quality internally.
- 2.15. The premises provided circa 337sqm GIA of office accommodation, until a planning application was submitted for the conversion to residential units. Whilst planning permission was refused a subsequent prior approval application was approved for the conversion of these units to 3 residential apartments. Whilst the conversion was not completed, the premises have been stripped out of internal fixtures and fittings and partly converted. The purchase of the property by the applicant has prevented further conversion.

Relevant planning history

Hope Project

- 2.16. Full planning and Listed building consent (2016/6959/P and 2016/6960/L) was resolved to grant permission for the second time on 9th October 2017 for the redevelopment of the same site in question for “change of use from offices (B1) and erection of 5 storey building with basement to provide 32 bedroom hotel (Class C1) following demolition of 65 Bayham Place and 1 Bayham Street (retention of façade) including change of use at 1st and 2nd floor of 74 Crowndale Road from pub (Use Class A4) to hotel (Use Class C1), mansard roof extension to 74 Crowndale Road, retention of ground floor of Hope and Anchor PH, conversion of flytower to ancillary recording studio and hotel (C1), creation of terraces at 3rd and 4th floor level and erection of 4th floor glazed extension above roof of KOKO to provide restaurant and bar to hotel (C1).
- 2.17. This scheme was originally resolved to grant planning consent at planning committee on 11th May 2017. Following the negotiation of the S106 and delays due to LB Camden transfer to the new Local Plan, the scheme went back before Members Briefing to confirm that it was compliant with new policy. At the date of this report, we understand that the S106 for Option A is due to be completed imminently.
- 2.18. This scheme (for ease now referred as Option A) was explored by the development team to move on design. Unfortunately, the scheme has been found to be unviable at this point in time, as a result of the extensive new build, extent of the basement dig and internal fit out of 32 separate hotel room units.
- 2.19. The applicant is committed to delivering a scheme at the site as soon as possible. The development team have therefore based the Option B scheme on the merits of Option A, whilst reducing the built mass and basement dig to reduce construction costs, to create a viable scheme.

Hope and Anchor

- 2.20. (Ref:2014/2621P) 2014 – Planning permission was approved but a Judicial Review for the change of use from a public house (Class A4) to alternative uses as either retail or estate agents offices (Class A1/A2) at part ground, part basement levels and residential (Class C3) to provide 8 flats (1 x 3 bed, 4 x 2 bed, 3 x 1 bed), enlargement of existing basement with side lightwell, replacement of single storey rear/side addition with 3 storey rear/side extension and mansard roof with terrace, and associated alterations to windows and doors.
- 2.21. On 8th September 2015, a High Court ruling quashed the permission following a court case brought forward by the operator of Camden Palace. In the case of Obar Camden Limited v The London Borough of Camden [2015] EWHC 2475 (Admin) it was determined that the Council had failed to assess the heritage impact of the proposal and had approached the issue of potential noise impacts on residents of the proposed flats in a way that was legally and procedurally flawed and irrational.

1 Bayham Street

- 2.22. (Ref:2015/2196/P) 2015 – Planning permission refused for the conversion of existing office (B1a) to five residential units (2x1 bed, 2x2 bed and 1x3 bed) including a roof extension and a third floor roof extension. Rear infill extensions at first and second floor with terraces and the creation of a new cycle store and refuse store at ground floor.
- 2.23. (Ref: 2015/0542/P) 2015 - Prior approval granted for the change of use from office (Class B1a) to residential (Class C3) comprising 3 x 2 bed flats.
- 2.24. (Ref: 2012/1281/P) 2012 – Planning application withdrawn for the removal of existing steel staircase at first and second floor level with enclosed terrace at first floor level. Rear

extension at second floor level and extension of existing mansard roof at third floor level to provide additional office floorspace (Class B1).

- 2.25. (Ref: 30846) 1980 – Planning permission was approved for the construction of an additional second floor bedroom as an amendment to the planning permission granted on 7th February 1980 (Ref: 29611) for the refurbishment and extension to provide offices on the ground and first floors with residential accommodation above.
- 2.26. (Ref: 29611) 1980 – Planning permission was granted for the refurbishment and extensions to provide offices on the ground and first floor with residential accommodation above.

1 Bayham Street & 65 Bayham Place

- 2.27. (Ref:2013/8083/P) 2013 – Planning application was withdrawn for change of use from office (Class B1a) to 3 x 2 bedroom flats (Class C3).
- 2.28. (Ref: PEX0000468) 2000 – Certificate of Lawfulness for an Existing Use of the building for B1 (Office) use.
- 2.29. (Ref: 32901) 1981 – Planning permission was granted for alterations to the Bayham Place elevation.

65 Bayham Place

- 2.30. (Ref: 29610) 1979 – Planning permission granted for the refurbishment to provide workshops and ancillary showrooms and the erection of an additional storey for storage purposes.

48-56 Bayham Place

- 2.31. The site opposite the application site was subject to a number of applications seeking a change of use from office to residential (PEX0200987). Whilst the full applications were refused on several grounds, planning consent was eventually granted via permitted development rights for a change from office to residential (2013/7177/P, 2014/6652/P, 2015, 2021/P and 2015/4598/P).
- 2.32. An application (2016/4116/P) was granted in August 2016 for the erection of a part single, part double roof extension to provide 4 self contained units. The applicant is now in the process of discharging the relevant conditions attached to this consent, and it is therefore our understanding that this consent will be implemented.
- 2.33. An application is currently under consideration for a further reconfiguration to achieve a part 2/part 3 storey roof extension to provide a further 9 self-contained flats. This remains under consideration from the LPA.
- 2.34. This has been supplemented by a recent planning approval for two small side and rear extensions at first and second floor level. The application was approved on the 4th October 2016. The proliferation of permitted change applications within Camden Town has had a strong impact on the character of the area.

3-7 Bayham Place and 46 Bayham Place

- 2.35. Planning permission (2016/6394/P) was granted on 16 March 2017 for the erection of a mansard roof to the three properties, including a two storey rear extension to No. 2 and installation of windows.
- 2.36. The mansard roof extension would be clad in contemporary, high quality zinc finish with dormer windows installed.

3. Proposed development

- 3.1. The proposed development seeks consent to redevelop underutilised buildings to the rear of the successful and popular KOKO music venue. The proposed development seeks to redevelop the rear plot of vacant buildings to provide a wrap-around private members club (Use Class Sui Generis) providing suitable floorspace that will form a cultural hub devised of a growing number of businesses and professionals working within creative and media industries. It will provide meeting and work space together with spaces for dining, leisure, entertaining and relaxing. The scheme includes supporting food and beverage outlets within the existing Hope and Anchor Public House building, and additional outlets within a sky lobby at fourth floor.
- 3.2. The proposal intends to redevelop part of the site to deliver a private members club, with new associated bars, restaurants and roof terraces, whilst preserving and enhancing the KOKO entertainment venue.
- 3.3. The private members club will be operated by KOKO to ensure a collaborative and symbiotic development at the site. The private members club is conceived as a separate building from KOKO but abuts the music venue, and in certain areas penetrates its public areas. The private members facility and entertainment uses are considered to be complementary and appropriate.
- 3.4. It is envisaged that the Private Members Club will attract a total of between 2000-3000 members, although users of site will be limited by the capacity of the buildings. Club membership will be open to individuals working across all industries, and not just those within the creative industries. The Club will look to target entrepreneurs, business people, community members in addition to performers and artists; all in an effort to extend KOKO's ethos of opportunity and inclusivity beyond the realm of live music into spoken word, cinema, art, photography and fashion as KOKO evolves to retain its relevance as a cultural hub.
- 3.5. The applicant for this scheme is also the landlord of the KOKO. As set out within the planning history, the landlord has been forced to purchase the properties to the rear of KOKO to ensure that its operation is not put under pressure from other neighbouring development.
- 3.6. Whilst KOKO will remain an independent entity, the private members and complementary uses have been designed to intermix and enhance the KOKO operation.
- 3.7. In design terms, the proposal seeks to harmonise the existing disjointed cluster of buildings to the rear of KOKO. In summary, the proposed development seeks:
 - Demolition of no.65 Bayham Place;
 - Demolition of no.1 Bayham Street but retaining the façade;
 - Rebuilding of 65 Bayham Place within existing footprint;
 - Extension to the rear of Bayham Place, wrapping around the existing KOKO building. The extended building will accommodate a private members club and additional dining whilst preserving the existing music venue;
 - Retention of the Hope and Anchor structure, within internal demolition at first and second floors for use as private members at upper floors;
 - Recording studio within private members club for recording, or rehearsal space/media space;
 - Refurbishment and upgrade to Grade II listed music venue;
 - Conversion of KOKO's dome for use as a rooftop bar and terrace; and
 - Creation of a "Sky Lobby" and associated roof terrace with balustrade.

3.8. Variations from the 2017 consented scheme include:

- Removal of the basement level below Bayham Place;
- Removal of a storey of floorspace on Bayham Place, being replaced with mechanical plant and a louvered screen;
- Omission of dormer windows to the mansard extension; and
- Omission of two floors of accommodation within the flytower.

Camden Palace (KOKO)

3.9. More specifically, alterations to the Listed Building (as detailed within the Schedule of Works and shown on the corresponding existing, demolition and proposed drawings) include:

- Renovation and repurposing of the existing flytower;
- New cupula to the KOKO dome to re-instate the original lost cupula;
- Conversion of KOKO's dome for use as a bar;
- Restoration of KOKO façade, re-instating the original openings and fenestration fronting Camden High Street;
- Refurbishment to improve the façade facing Crowndale Road;
- Internal reconfiguration of the circulation space (back of house) to the northern elevation of the site to facilitate the private members development; and
- New glazed pavilion "Sky Lobby" over the roof and associated roof terrace.

Hope and Anchor Pub

3.10. More specifically, the alterations to the Hope and Anchor include:

- Reconfiguration of the internal layout of Hope and Anchor public house;
- Re-instatement of public house use (A4) at ground floor level providing bar and dining accommodation;
- Operation of Private Members club within first, second and third floors; and
- Construction of a one storey mansard roof extension of the existing Hope & Anchor pub.

Private Members Club

3.11. The scheme seeks consent for a private members club for people in the creative industries. The private members will occupy the first, second, third and Sky Lobby development around the KOKO venue, utilising the Hope and Anchor building with new infill at 65 and 1 Bayham Street.

3.12. KOKO will be the operators of the private members club to enable those using the facility to have a fully immersive unique music experience, by being able to drink, dine, attend a concert and form collaborative relationships with other like-minded individuals at the same site as their music idols. Whilst the club will not be a 'themed' experience, the musical and historical links will be evident in the club's character and decor.

3.13. The existing 3 storey building on the corner of Bayham St and Bayham Place will be demolished. The building has limited architectural merit, although it is identified as a positive contributor to the Conservation Area. It will be replaced with a new brick building to reflect the scale and detail of the buildings opposite.

3.14. The private members will have their own exclusive entrance taken from Crowndale Road. This enables members and their guests private access into the building, at which point they can decide whether they wish to dine in the Hope Pub or move to other areas.

3.15. The Private Members Club known as the 'Hope Club' is split into the following areas:

Ground Floor:

- Private Members have a private access from Crowndale Road. This gives them access into the Hope and Access, or via the lifts to the upper floors.
- Service Entrance from Bayham Place, with back of house and bin store adjacent.

First Floor:

- Primarily Private Members Club accommodation; consisting of dining spaces, function rooms, and Royal Box overlooking the KOKO auditorium below.
- Artists and crew, as well as Private Members, will have access to the Artist's Gallery overlooking the Stage; with Artists and crew also having access to the Artist's Box, which overlooks the KOKO auditorium below.
- Areas overlooking the auditorium below are not envisaged to be accessible during KOKO live events. They serve as additional spaces maximising the unique setting of the former theatre, as opposed to viewing platforms for the performances below.
- KOKO patrons will otherwise have access to the main KOKO spaces as per the existing situation, including the external terrace overlooking Camden High Street.

Second Floor:

- Primarily Private Members Club accommodation, arranged as lounge areas for general use, though these are intended to comprise flexible spaces for a variety of functions including workshops, events and general relaxation and socialising.
- Private Members will also use the Second Floor to access the Fly Tower, again showcasing the unique setting of this heritage asset, with a bar and toilet facilities also provided here.

Third Floor:

3.16. The third floor is predominantly for private functions only for the use of private members and artists. It will include:

- Additional Private Members accommodation to include an additional lounge and dedicated suites.
- An external terrace overlooking Bayham Place will host intimate private dining (until 2230) to cater small private dining.
- A music rehearsal room is also provided at third floor, affording opportunities to aspiring artists from the local area to cultivate their talents.

Fourth Floor:

- Primarily comprises a private and outdoor terrace, together with the key attractions of the Sky Lobby and Dome.
- The Sky Lobby will cater to Private Members as well as corporate events, and will seek to serve casual foods such as tapas with capacity for approximately 150 seated patrons.

3.17. The pavilion will provide a unique experience of Camden Town, with an opportunity to appreciate the historic KOKO dome and reinstalled cupula, along with the flytower. The sky lobby will be central to the unique character, the guest experience and the revenue projections underpinning the viability of the entire proposal.

- 3.18. The Dome will be open to Private Members and those KOKO patrons with specific tickets, and will consist of an intimate and relaxed drinking space at the pinnacle of the building.
- 3.19. The Hope will reflect the operational hours of KOKO.
- 3.20. Further information on the private members operation is provided within the Operational Management Plan.

KOKO Dome

- 3.21. The dome of KOKO is currently underutilised and until recently housed only water tanks. It is proposed that the dome will be renovated to provide a new bar and social space available to both KOKO and private members and their guests alike.
- 3.22. Access to the dome can be taken internally through KOKO via the theatre's second circle and also through the club utilising lifts and link via the skylobby.
- 3.23. The Dome will be accessible to both members of the public and to club members and their guests. Access for private members will be taken via the private members club whilst the access for non-members will be provided via a separate access through KOKO. If private members are attending a concert at KOKO, they can enter the Dome bar via KOKO. However, they would require a ticket to attend events. This prevents a free flow of people across the two buildings. This is further explored within the management plan.
- 3.24. This will provide a unique opportunity to experience a historic and landmark space in the heart of Camden Town. It will open up this underutilised part of the Grade II listed building, and enable an income generation from this vacant part of the site.

Hope and Anchor

- 3.25. At ground floor, the scheme reinstates the public house providing bar and dining accommodation. This will be opened to the general public and provide the dining facilities for private members and guests. The pub will be open during the day to provide breakfast, lunch, afternoon tea, dinner and supper.
- 3.26. The restaurant will provide a pub style dining and drinking experience. Bookings will not necessarily be required, subject to the popularity of evening events at KOKO.
- 3.27. The pub operation will expand across the ground floor of the new build floorspace along Bayham Place/Bayham Street.
- 3.28. Access can be taken via the corner of Crowndale Road or via Bayham Place.
- 3.29. The Hope and Anchor will be reconfigured internally to allow the replacement of existing floors, which are currently structurally unsound. The replaced floors will be utilised for additional private dining for members at 1st floors and further private members floorspace at 2nd floor and 3rd floors.

Destination KOKO

- 3.30. KOKO is a successful business, attracting a wide variety of musical acts to Camden. The vision for the current development is founded in ensuring the longevity of the live music venue.
- 3.31. As highlighted by the formation of the Music Venue Trust in January 2014, a charity set up to 'protect, secure and develop the future of Live Music venues'; live music venues in London are on the decline and need sufficient protection from development. Such venues are considered critical for the showcasing of grassroots music which ultimately feeds into cultural growth within society.

- 3.32. The redevelopment scheme of the vacant properties to the rear of KOKO, seeks to reinvigorate the overall site and provide supporting facilities to the main KOKO venture. The Camden Palace is over 100 years old and is expensive to run. It requires constant maintenance and works to ensure it remains a high-quality music venue to be enjoyed by all.
- 3.33. KOKO is well recognised for the range of musical acts it attracts to Camden Town delivering an unrivalled program of live shows, TV and digital entertainment to a global audience. In turn this attracts visitors from the local, regional and global markets. At present, concert goer's experience of the site is very concentrated to the performance times, with limited opportunity to dwell at the site. A private members club would promote the 'creative culture' at the site as well as collaborative working space for Camden Town.
- 3.34. In principle, the private members club should be regarded as enabling development for the KOKO music venue to ensure the venue remains as a cultural attraction. The private members use and music venue are considered to be complementary uses appropriate for this town centre location.
- 3.35. KOKO sees circa 400,000 music fans through its doors annually. Unlike larger venues such as The Hammersmith Apollo and O2 arena, KOKO remains a UK owned small business.
- 3.36. The venue originally opened as the Camden Palace and now operating under the renowned KOKO brand has continually had to evolve as fashions, musical trends and culture have changed, although the original trademark of a cultural icon has always remained. The current proposals mark the next chapter in the operation of the KOKO, where music fans, through social media can get closer than ever to their idols. The proposed private members' development and associated facilities will expand on this principle and allow music fans to extend their experience of KOKO and even share the same experiences as bands.
- 3.37. KOKO needs to remain relevant in an era where attendance at nightclubs and live music events is declining. Leisure traditions and tastes have moved on, with concert goers expecting a multi-facility experience including bars and restaurants.
- 3.38. The night time economy is a critical element of London's economy. The London music scene attracts millions of overseas tourists every year, who add to the economic and cultural value. Music venues are seen as an integral cornerstone in our night time economy. Over recent years, the music industry has experienced a period of substantial decline; this will ultimately have a have a long and lasting impact on the UK's culture and arts.
- 3.39. More recently, the economic uncertainty attributed to the UK decision to leave the European Union has the potential to further damage the UK's night time economy.

London's Grassroots Music Venues – Rescue Plan (October 2015) and Progress Update (January 2017)

- 3.40. In October 2015, the GLA published London's Grassroots Music Venues – Rescue Plan in a bid to understand why so many music venues had closed and what impact this was having on London's culture and economy. The taskforce found that London's grassroots music venues are pivotal to the ongoing success of the UK music industry and contribute to London's desirability as a place to live, work and visit. However, the taskforce found that between 2007 and 2015 London lost 35% of its grassroots music venues.
- 3.41. It is understood that pressures from residential development, coupled with increasing costs for grassroots music venues is proving too much and venues are closing. The taskforce also identified signs of market failure within the music industry.
- 3.42. The taskforce proposed a rescue package for music venues to address the problems, setting out an ambition to create new venues and harness the benefits of London's tourism boom through new promotional campaigns. In addition, the taskforce called for the way in which experts, including planners, deal with issues relating to grassroots music venues.

- 3.43. Since the rescue plan was published in 2015, London Mayor, Sadiq Khan, launched a new campaign called #Londonisopen in July 2016 to highlight to the rest of the UK and the world, that the capital city is open for business. The campaign has been endorsed by the Prime Minister, Theresa May.
- 3.44. This campaign has also been supported by Mayor Khan's appointment of the Night Czar, Amy Lamé, and Philip Kolvin QC as the Chair of the Night Time Commission, thus further demonstrating his commitment to the 24 hour economy in London.
- 3.45. More recently, the GLA published an update on its rescue plan in January 2017 detailing what the taskforce have achieved so far. In summary, the progress update shows that the number of grassroots music venues in the capital has remained stable for the first time in ten years with 94 venues remaining.
- 3.46. With regards to progress in planning, the Mayor has pledged to apply the Agent of Change principle in the next London Plan, whereby developers will be encouraged to work with the local council and the music venue to ensure that live music is protected from amenity issues arising, for example.
- 3.47. In addition, the Mayor's new SPG for town centres and the Central Activities Zone refers specifically to music venues and a Night Time Economy SPG will be published shortly for consultation.
- 3.48. KOKO is a key player within the London Grassroots venues, providing a stage for both unsigned, local talent along with recognised music acts. Several images of performances at KOKO are illustrated within the Mayor's rescue plan, demonstrating the importance of the venue.
- 3.49. During the previous application, PR consultants Comm Comm UK made contact with the Mayor's office to inform them of the proposals. Whilst the scheme is not of a significant scale to require direct involvement, an email response was received on the 5th December 2016 which confirmed:
- "The restoration works that you are proposing sound very interesting and the Mayor will be pleased to hear that this live music venue is being well protected."
- 3.50. A further meeting was held with Ed Bayes, GLA Culture at Risk Officer at City Hall on 24 October 2017. A letter was received from Amy Lamé (Night Czar) on the 26th October 2017 which gave support to the proposals:
- "This project is an excellent example of culture led development, where a cultural organisation is in the driving seat of development that will support the local community and economy."
- 3.51. Further information can be found within the Statement of Community Involvement.
- 3.52. The proposed development will not only enhance the facilities at the site to draw future music fans and tourists alike to the site, but also enable both the top artists and grassroots bands a space to perform. In essence, KOKO is key contributor to the cultural values of both Camden Town, London and the wider global music scene.
- 3.53. The development brought forward within this proposal represents a viable and long term solution to secure the economic future of Camden Palace. 'KOKO' was founded in 2004 and has become an established, long standing music and entertainment venue, strategic both in location and reputation as the pinnacle performing stage for many global and local music and entertainment acts.
- 3.54. The proposed development seeks to support and complement the existing uses on the site

in order to secure the long term sustainable future of the venue and boost Camden's local economy. This includes the part refurbishment of KOKO, which requires a significant level of investment to maintain the upkeep to the fabric of this Listed Building.

4. Consultation

- 4.1. A comprehensive programme of engagement with the local authority, key stakeholders, local businesses and the general public has been undertaken. This is set out in detail below and within the accompanying Statement of Community Involvement. This builds on the consultation undertaken under Option A.

Pre-application with LB Camden

- 4.2. A pre-application enquiry was submitted to LB Camden in August 2017.
- 4.3. Indigo Planning, Archer Humphries Architecture, Stephen Levrant Heritage Architecture and Tower Eight met with David Peres Da Costa (Planning), Alfie Stroud (Conservation) and James Hammond (Transport) on 23 August 2017.
- 4.4. This meeting was followed by a site visit to explore the upper floors of the Hope and Anchor Public House, which due to squatter access, had not been available previously. This gave Alfie Stroud opportunity to view the quality of the building from a structural perspective. The full pre-application response is contained in **Appendix 2**.
- 4.5. In summary, officer feedback advised that the principle of development would be acceptable, subject to further clarification of the full operational management at the site of the private members and KOKO operation. Conservation and Design raised some concerns over the loss of the Hope and Anchor, should it be demolished.
- 4.6. The design evolved during October 2017 and a final pre-application meeting was held with Conservation and Design officers to discuss the design. The revised proposals were redesigned to remove the requirements to demolish the Hope and Anchor, above ground floor. This was achieved by the redesign of the recording studio, to reduce its weight and therefore structural pressure on the building. This resulted in the retention of the Hope and Anchor Structure, but the removal of the internal floors and replacement, as consented under Option A.
- 4.7. These amendments were reviewed by Conservation and Design and considered to achieve a balance of significant changes within heritage benefits, and ultimately considered to be acceptable in policy terms. This was confirmed in email correspondence set out in **Appendix 2**.
- 4.8. Following extension feedback with Historic England, Theatres Trust and Victorian Society under Option A, a follow up invitation to view the proposals was sent ahead of scheme submission.

Public Consultation

- 4.9. A Statement of Community Involvement has been prepared by Comm Comm UK to support the planning application.
- 4.10. This document details the public consultation methodology, parties that discussions were held with and responses to the scheme.
- 4.11. The design evolution following the public consultation has been included as part of the Design and Access Statement.
- 4.12. Following the extension public consultation undertaken under Option A, a follow up letter was sent to all parties to invite members of the public and local amenity societies to view the

proposals.

- 4.13. Further details are provided within the accompanying Statement of Community Involvement.

Planning Performance Agreement

- 4.14. A planning performance agreement is due to imminently signed was signed between the applicant and the London Borough of Camden.

5. Planning Policy

National Planning Policy Framework (2012)

- 5.1. The National Planning Policy Framework (NPPF) is a material consideration in the determination of planning applications.
- 5.2. There are several key matters when assessing this proposal against development plan policy. Namely, the presumption in favour of sustainable development; heritage; employment; mixed use; access; and design. These matters are listed and discussed in the planning considerations section below.
- 5.3. Para 6 highlights that the role of the planning system is to contribute to the achievement of sustainable development.
- 5.4. Para 7 identifies that there are three dimensions to sustainable development:

“Economic role: contributing to building a strong, responsive and competitive economy, by ensuring that sufficient land of the right type is available in the right places and at the right time to support growth and innovation; and by identifying and coordinating development requirements, including the provision of infrastructure;

Social Role: supporting strong, vibrant and healthy communities, by providing the supply of housing required to meet the needs of present and future generations; and by creating a high quality built environment, with accessible local services that reflect the community’s needs and support its health, social and cultural well-being; and

Environmental role: contributing to protecting and enhancing our natural, built and historic environment; and, as part of this, helping to improve biodiversity, use natural resources prudently, minimise waste and pollution, and mitigate and adapt to climate change including moving to a low carbon economy.”
- 5.5. At the heart of the NPPF lies the principle of sustainable development as set out within Para 14.
- 5.6. Para 17 denotes the core principles of the NPPF which should “proactively drive and support sustainable economic development to deliver the homes, business and industrial units, infrastructure and thriving local places that the country needs”.
- 5.7. “Always seek to secure high quality design and a good standard of amenity for all existing and future occupants of land and buildings.
- 5.8. Para 18 identifies that the Government is committed to securing economic growth in order to create jobs and prosperity, building on the country’s inherent strengths, and to meeting the twin challenges of global competition and of a low carbon future.
- 5.9. Para 21 demonstrates that local authorities should support existing business sectors.
- 5.10. Para 23 sets out that planning policies should be positive, promote competitive town centre environment and set out policies for the management and growth of centres over the plan period. Local planning authorities should:

- Recognise town centres as the heart of their communities and pursue policies to support their viability and vitality;
 - Promote competitive town centres that provide customer choice and a diverse retail offer and which reflect the individuality of town centres; and
 - Allocate a range of suitable sites to meet the scale and type of retail, leisure, commercial, office, tourism, cultural, community and residential development needed in town centres. It is important that needs for retail, leisure, office and other main town centre uses are met in full and are not compromised by limited site availability.
- 5.11. Chapter 4 promotes sustainable transport.
- 5.12. Para 56 denotes that good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people.
- 5.13. Para 60 denotes that planning policies and decisions should not impose architectural styles or particular tastes and they should not stifle innovation, originality or initiative through unsubstantiated requirements to conform to certain development forms or styles. It is, however, proper to seek to promote or reinforce local distinctiveness.
- 5.14. Para 61 sets out that although visual appearance and the architecture of individual buildings are very important factors, securing high quality and inclusive design goes beyond aesthetic considerations. Therefore, planning policies and decisions should address the connections between people and places and the integration of new development into the natural, built and historic environment.
- 5.15. Para 66 denotes that applicants will be expected to work closely with those directly affected by their proposals to evolve designs that take account of views of the community. Proposals that can demonstrate this in developing the design of the new development should be looked on more favourably.
- 5.16. Para 69 states that the planning system can play an important role in facilitating social interaction and creating healthy, inclusive communities. Local planning authorities should create a shared vision with communities of the residential environment and facilities they wish to see. To support this local planning authorities should aim to involve all sections of the community in the development of Local Plans and in planning decisions, and should facilitate neighbourhood planning. Planning policies and decisions should aim to achieve places which promote:
- Opportunities for meetings between members of the community who might not otherwise come into contact with each other, including through mixed use developments, strong neighbourhood centres and active street frontages which bring together those who work, live and play in the vicinity.
 - Safe and accessible environments where crime and disorder, and the fear of crime, do not undermine quality of life or community cohesion.
 - Para 70 notes that to deliver the social, recreational and cultural facilities and services the community needs planning decisions should:
 - Guard against the unnecessary loss of valued facilities and services, particularly where this would reduce the community's ability to meet its day-to-day needs; and
 - Ensure that established shops, facilities and services are able to develop and modernise in a way that is sustainable and retained for the benefit of the community.
- 5.17. Para 123 notes that planning policies and decisions should recognise that development will often create some noise and existing businesses wanted to develop in continuance of their

business should not have unreasonable restrictions put on them because of changes in nearby land uses since they were established.

- 5.18. The NPPG further expands on this “The potential effect of a new residential development being located close to an existing business that gives rise to noise should be carefully considered. This is because existing noise levels from the business even if intermittent (for example a live music venue) may be regarded as unacceptable for the new residents and subject to enforcement action. To help avoid such instances, appropriate mitigation should be considered, including optimising the sound insulation provided by the new development’s building envelope.
- 5.19. Para 128 sets out that in determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets’ importance and no more than is sufficient to understand the potential impact of the proposal on their significance.
- 5.20. Para 132 denotes that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the assets’ conservation. Significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting. As heritage assets are irreplaceable, any harm or loss should require clear and convincing justification.
- 5.21. Para 133 sets out that where a proposed development will lead to substantial harm to or total loss of significance of a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh harm or loss.
- 5.22. Para 134 where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including securing its optimum viable use.
- 5.23. Para 137 local planning authorities should look for opportunities for new development within Conservation Areas and World Heritage Sites and within the setting of heritage assets to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to or better reveal the significance of the asset should be treated favourably.
- 5.24. Para 140 sets out that local planning authorities should assess whether the benefits of a proposal for enabling development, which would otherwise conflict with planning policies but which would secure the future conservation of a heritage asset, outweigh the dis-benefits of departing from those policies.

The Statutory Development Plan

- 5.25. The development plan for the Site comprises the following:

The London Plan (Revised 2016)

- 5.26. Policy 1.1 sets out the parameters for delivering the strategic vision and objectives for London. The policy sets out growth and change management and how this will be supported across all parts of London.
- 5.27. Policy 2.15 sets out the London Plan’s approach to Town Centre development and seeks to support development which supports and enhances the competitiveness, quality and diversity of town centre retail, leisure, employment, arts and cultural, and other consumer and public services.
- 5.28. Policy 3.16 is key to this application and sets out the policy for the protection and

enhancement of high quality social infrastructure, requiring development proposals to be supported in light of local and strategic social infrastructure needs assessments. Facilities are to be accessible to all sections of the community and be located within easy reach of public transport. Wherever possible, the multiple use of premises should be encouraged.

- 5.29. Policy 4.1 sets out the policy for development London's economy; to promote and enable the continued development of a strong, sustainable and increasingly diverse economy across all parts of London.
- 5.30. Policy 4.3 – Mixed use development and offices states that increases on the amount of office floorspace within the CAZ should also provide a mix of uses including housing, unless this mix would conflict with other London Plan policies. Outside the CAZ, mixed use developments and redevelopments should consolidate and enhance remaining office stock within strategically specified locations.
- 5.31. Policy 4.6 seeks to support London's range of arts, cultural, professional sporting and entertainment enterprises. The policy requires developments: to fulfil a sequential approach and where necessary, complete an impact assessment; be located in sustainable locations; be accessible to all and address deficiencies in facilities.
- 5.32. Policy 4.7 aims to bring forward capacity for retail, commercial, culture and leisure development in town centres. The scale of development proposed should relate to the size, role and function of the town centre and should be focused on sites within town centres. If no town centre sites are available development should be focused on edge of centre sites. Proposals for new or extensions to edge or out of centre sites will be subject to an impact assessment.
- 5.33. Policy 5.3 aims to achieve the highest standards of sustainable design and construction. Developments should demonstrate that sustainable design standards are integral to the proposal and major development proposals should meet the minimum standards outlined in the Mayor's SPG and this should be outlined within a Design and Access Statement. The standards include minimising carbon dioxide emissions, avoiding internal overheating, the efficient use of natural resources and minimising pollution and the generation of waste.
- 5.34. Policy 6.3 development should not affect the transport network.
- 5.35. Policy 6.13 seeks to achieve a balance between promoting new development and preventing excessive car parking. Developments should reference the maximum parking standards set out in Table 6.2. Developments must also ensure that 1 in 5 spaces provide an electrical charging point, provide parking for people with disabilities, meet minimum cycle parking standards and provide for the needs of businesses for delivery and servicing.
- 5.36. Policy 7.3 sets out that developments should reduce the opportunities for criminal behaviour and contribute to a sense of security without being overbearing or intimidating.
- 5.37. Policy 7.4 aims to protect local character by requiring developments to respect the form, function, and structure of an area, place or street and the scale, mass and orientation of surrounding buildings.
- 5.38. Policy 7.6 seeks for buildings and structures to be of the highest architectural quality, utilising appropriate proportion, composition, scale and orientation. The development must not cause unacceptable harm to the amenity of the surrounding land and buildings.
- 5.39. Policy 7.8 sets out that development should identify value, conserve, restore, re-use and incorporate heritage assets where appropriate.
- 5.40. Policy 7.9 reiterates that regeneration schemes should identify and make use of heritage assets and reinforce the qualities that make them significant so that can help stimulate environmental, economic and community regeneration.

CAZ SPD 2016

- 5.41. The application site is on the boundary of the identified Central Activities Zone (CAZ). The CAZ SPG sets out guidance on managing the attractions within the CAZ as a global retail and visitor destination to promote strategic clusters of cluster, arts and entertainment.
- 5.42. It is clearly relevant to apply some of these policies to the proposals, particularly as KOKO is a recognised important venue to Camden and central London alike. The SPG documents the importance of arts, cultural, tourism and entertainment activities which are integral to the function and distinctive character of the CAZ. Such facilities make a vital contribution to London's cultural infrastructure day and night.
- 5.43. London's cultural offer is very strong in comparison to other world cities. These venues and their heritage value are critically important in maintaining London's position as a world city for culture and its appeal as a global visitor destination.
- 5.44. The SPD also recognises the significant contribution that cultural tourism makes to the London economy. GLA research estimates that tourism attributable to cultural activities and services helped to support 80,000 jobs, £7.3 billion in expenditure and £3 billion in gross value added (GVA) during 2013.

Camden Local Plan

- 5.45. The Camden Local Plan was adopted on the 3 July 2017 and replaces the Camden Core Strategy (2010) and Development Management Policies.
- 5.46. The policies relevant to this application are as follows:
- 5.47. Policy G1 states that the Council will create the conditions for growth to deliver facilities to meet Camden's identified needs and harness the benefits for those who live and work in the borough. The Council will deliver growth by securing high quality development and promoting the most efficient use of land and buildings. Development will take place throughout the borough with the most significant growth expected to be delivered in locations including Camden Town.
- 5.48. Policy H2 requires non-residential development to promote the inclusion of self-contained homes as part of a mix of uses. The proposal takes into account the compatibility with the character and operational requirements of the proposed non-residential uses and other nearby uses.
- 5.49. Policy C1 specifies that the Council will improve and promote strong, vibrant and healthy communities through ensuring a high-quality environment with local services to support social and cultural wellbeing.
- 5.50. Policy C3 seeks to protect cultural and leisure facilities and manage the impact of adjoining uses where this is likely to impact their continued operation. If a replacement facility is provided, it should be the same or better standard than the facility which is lost and accessible to its existing users. The Council will also seek opportunities for new cultural and leisure facilities in major, mixed use developments and expect the siting of new facilities to take into accounts its associated impacts. Large-scale facilities should be located where as many people can enjoy their benefits.
- 5.51. Policy C4 seeks to protect public houses which are of community, heritage or townscape value. The Council will grant planning permission where it can be demonstrated that the proposal would not result in the loss of pubs which are valued by the community unless there are equivalent premises available capable of meeting the community's needs. The Council will also seek the retention of significant features of historic or character value where a public house is converted to an alternative use.

- 5.52. Policy C5 aims to make Camden a safer place. The policy will require developments to demonstrate that they have incorporated design principles which contribute to community safety and security, particularly in Camden Town. The Council will promote safer streets and public areas and address the cumulative impact of food, drink and entertainment uses in Camden Town and ensure Camden's businesses take responsibility for crime through effective management and design.
- 5.53. Policy C6 requires proposals to promote fair access and remove the barriers that prevent everyone from accessing facilities and opportunities. This will be achieved by expecting all building and places to meet the highest practicable standards of accessible and inclusive design; locating facilities in the most accessible parts of the borough and expecting spaces, routes and facilities between building to be fully accessible.
- 5.54. Policy E1 sets out to secure a successful and inclusive economy in Camden by creating the conditions for economic growth and harnessing the benefits for local residents and businesses. The Council will (where relevant to this proposal) support businesses of all sizes, encourage the creative and cultural businesses in the borough and recognise the importance of employment generating uses including leisure and tourism.
- 5.55. Policy E2 encourages the provision of employment premises and sites in the borough. The Council will consider sites that suitable for continued business provided that the scheme would increase employment opportunities for local residents, including training and apprenticeships.
- 5.56. Policy E3 recognises the importance of the visitor economy in Camden and will support tourism development and visitor accommodation. The Council will expect new, large scale tourism development in King's Cross and smaller-scale accommodation in Camden Town. All tourism development must be easily reachable by public transport, provide any necessary pickup points for taxis and coaches, not harm the balance and mix of uses in the area and local character.
- 5.57. Policy A1 seeks to protect the quality of life of occupiers and neighbours. Planning permission will be granted unless it causes unacceptable harm to amenity.
- 5.58. Policy A2 Open Space states that the local authority will protect, enhance and improve access to parks. The LPA will seek for a contribution towards open space.
- 5.59. Policy A3 Ecology seeks for development to ensure that there is no disturbance to habitats and species during demolition and construction.
- 5.60. Policy A4 will seek to ensure that noise and vibration is controlled and managed. Development should have regard to Camden's Noise and Vibration Thresholds. Planning permission will not be granted if development is likely to generate unacceptable noise and vibration impacts or, if development sensitive to noise is proposed in locations which experience high levels of noise, unless appropriate attenuation measures can be provided. The Council will also seek to minimise the impact on local amenity from deliveries and from the demolition and construction phases of development.
- 5.61. Policy A5 states that the Council will permit basement development where it is demonstrated it will not cause harm to neighbouring properties; the structural, ground, or water conditions; the character and amenity of the area; the architectural character and the significance of heritage assets.
- 5.62. Policy D1 sets out the design requirements to secure high quality design in development. The Council will expect excellence in architecture and design and resist development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions.
- 5.63. Policy D2 states that that the Council will preserve and, where appropriate, enhance

Camden's rich and diverse heritage assets and their settings. This policy reiterates the requirements of the NPPF.

- 5.64. Policy CC1 requires all development to minimise the effects of climate change and encourage all developments to meet the highest feasible environmental standards that are financially viable during construction and occupation. The policy sets out several requirements including the promotion of zero carbon development and the encouragement of sensitive energy efficiency improvements.
- 5.65. Policy CC2 requires development to be resilient to climate change and should adopt appropriate green infrastructure. The Council will also promote and measure sustainable design and construction.
- 5.66. Policy CC3 will seek to ensure that development does not increase flood risk and reduces the risk of flooding where possible.
- 5.67. Policy CC4 states that the Council will ensure that the impact of development on air quality is mitigated and ensure that exposure to poor air quality is reduced in the borough. Development that involves significant demolition and construction will also be required to assess the risk of dust and emissions impacts in an Air Quality Assessment and include appropriate mitigation measures to be secured in a Construction Management Plan.
- 5.68. Policy CC5 seeks to make Camden a low waste borough. The Council aims to reduce the amount of waste produced and make sure that development include facilities for the storage and collection of waste and recycling.
- 5.69. Policy TC2 will promote successful and vibrant centres throughout the borough to serve the needs of residents, workers and visitors. The Council will seek to protect and enhance the role and character of each of Camden's, ensuring that new development is of an appropriate scale and character for the centre in which it is located. It will also provide for and maintain food, drink and entertainment and other suitable uses to provide variety, vibrancy and choice and make sure that they do not have a harmful impact on residents and the local area.
- 5.70. Policy TC4 states that the Council will ensure that the development of town centre uses, including food, drink and entertainment uses, do not cause harm to the character, function, vitality and viability of a centre, the local area or the amenity of neighbours. The Council will determine the impact using the criteria set out within the policy.
- 5.71. Policy T1 promotes sustainable transport by prioritising walking, cycling and public transport in the borough.
- 5.72. Policy T2 states that the Council will limit the availability of parking and require all new development in the borough to be car-free.
- 5.73. Policy T4 will promote the sustainable movement of goods and materials and seek to minimise the movement of goods and materials by road.

Camden Town Conservation Area Appraisal and Management Strategy

- 5.74. The Camden Town Conservation Area Appraisal was fully adopted in 2011. In terms of the application site, it includes a listed building which is also identified as a focal building and two positive contributors in terms of the Hope and Anchor and 1 Bayham Street/65 Bayham Place.
- 5.75. Within the document KOKO is noted as:

"On the north corner stands Koko, until recently named the Camden Palace, and built as a popular early 20th century venue, the Royal Camden Theatre, with a seating capacity of 3000. The building was

designed by W G R Sprague and dates from 1900-01. It has a lively frontage decorated with ionic columns, sharply curved broken pediments and an unusual copper dome. Opposite, the Crowndale Centre occupies the corner of Eversholt Street and Crowndale Road. A large Edwardian former Post Office building, it was converted to Council offices in 1987-89 by Rock Townsend architects. It has fussy Post-Modern inspired trimmings on an already busy stone and brick exterior. Its wide, curved cantilevered roof is visible in long views up the High Street.

In terms of key views, this includes:

- The Views south along Camden High Street from raised ground north of junction with Delancey Street, with views of Koko (former Camden Palace) and the Crowndale Centre, and upper storeys of Greater London House above roofline of Camden High Street are noted as important views.
- Views south along Camden High Street from raised ground north of junction with Delancey Street, with views of Koko (former Camden Palace) and the Crowndale Centre, and upper storeys of Greater London House above roofline of Camden High Street.”

Supplementary Planning Documents and Guidance

5.76. Other documents relevant to the proposals include:

- London Plan – Town Centres (July 2014);
- London Plan – Sustainable Design and Construction (April 2014);
- London Plan – Social Infrastructure (May 2015);
- London Plan – Accessible London: Achieving an Inclusive Environment (October 2014);
- Energy efficiency planning guidance for conservation areas;
- CPG 1 – Design;
- CPG 3 – Sustainability;
- CPG 5 – Town Centres, retail and employment;
- CPG 6 – Amenity;
- CPG 7 – Transport; and
- CPG 8 – Planning obligations.

6. Key Considerations

Principle of development

The protection and enhancement of a music and cultural venue

- 6.1. The proposed development will ultimately strengthen and enhance KOKO and ensure it remains as a major asset to London's economy, attracting the best talent into Camden Town. Its role in the past, present and future are critical to the wider success of the night-time economy within Camden Town.
- 6.2. The benefits of KOKO are not solely reserved to Camden Town; the artists attracted to perform at the venue in turn draws visitors from across London, the UK and the rest of the world. This enables KOKO to attract significant numbers of local, national UK residents and international visitors into Camden Town.
- 6.3. KOKO is therefore a very special asset to Camden Town and the Borough of Camden, offering a unique, high quality venue giving a range of grassroots musicians, all the way up to the top talent the opportunity to perform.
- 6.4. The applicant recognises the unique value which the KOKO brand can offer, and the proposals seek to enhance, enrich and advance the offering at the site to ultimately deliver a unique cultural institution for future generations. The applicant recognises that there is a strong balance between the protection of the KOKO offering, whilst ensuring that it remains a viable and sustainable business in a challenging climate for live music venues.
- 6.5. The NPPF supports the development of a strong and vibrant economy and to support strong healthy communities. Indeed Para 17 supports "sustainable economic development to deliver the homes, business and industrial units, infrastructure and thriving local places that the country needs".
- 6.6. The site is located within Camden Town centre, an area recognised within NPPF para 23 as crucial to the vitality and viability of communities. Town Centres are to be competitive locations which provide customer choice and a diverse range of offer to support the individuality of the town centre. Camden has a strong music heritage, which is key to its town centre and overall character. The proposal therefore accords with aspiration of the NPPF and London Plan policy 2.15, 3.16 and 4.1. It also meets Camden policy G1.
- 6.7. Likewise, the proposals will create a new cultural hub which the general public can benefit from. The development will enable interactions with different parts of the community by reinstating the Hope and Anchor public house, jobs for local people, spaces for the community to utilise e.g. rehearsal space, alongside a globally renowned music venue attracting people from all over the UK, Europe and the rest of the world. This meets with the expectations of Para 69 of the NPPF.
- 6.8. The aspiration for this application is fully supported by the London Mayor and the policies within the London Plan (Policy 4.6 London's economy) which recognises the intrinsic link between the continued success of London's diverse arts, cultural, entertainment enterprises and the economic benefits that they can offer to residents, workers and visitors.
- 6.9. This is further supported by the outcome of the live music venues taskforce, who published "London Grassroot Music Venue Rescue Plan" in October 2015, and a progress report in January 2017. This report further identifies the need for grassroots venues to be supported within London, to ensure that the talent stream for future acts is maintained.

- 6.10. The retention of important cultural venues within Camden is also iterated within Policy C3 and associated supporting text. This policy supports the retention of theatres within Camden and recognises their important contribution into the cultural fabric of the Borough. This supports the proposal for the retention and upgrade to the KOKO theatre and ensures compliance with the policy.
- 6.11. Developments should be located on sites where there is good or planned access by public transports and be accessible to all members of the community, including disabled and older people. Most importantly the London Plan seeks for developments to address deficiencies in facilities and provide a cultural focus to foster more sustainable communities. The site is well accessed within a PTAL 6b location.
- 6.12. This sense of a sustainable development is the main drive behind the proposals. KOKO already offers a very strong arts programme into Camden Town community. The application seeks to provide complementary facilities and services to harness and cultivate the offering of the live music venue. The private members, restaurant and bars will ensure the offer of KOKO is enhanced in a sympathetic and sustainable manner.
- 6.13. London Plan policies 4.6 and 4.7 identifies that London's cultural and creative sectors are central to the city's economic and social success. The Mayor seeks to maintain the capital's status as one of the greatest world cities for culture and creativity. London's internally renowned historic environment, natural landscape and cultural institutions, including museums, galleries and theatres, are a defining part of the capital's heritage.
- 6.14. Culture plays a valuable role in place shaping, especially by engaging younger people in wider community activity. This engagement of all sectors of society is fully endorsed by the London Plan. The aspiration for KOKO is to continue to deliver the best talent on the music circuit to ensure that they remain a relevant cultural venue for future generations. The proposals are supported by policy C3 which seeks to protect cultural facilities important to the identity of the borough.
- 6.15. The London Plan also recognises the importance of the night time economy and the need for entertainment and socialising venues to remain within appropriate locations. The endorsement to the KOKO operation through this application and ultimate delivery of a world class music venue with supporting facilities is therefore supported.

Private Members Club

- 6.16. The proposed private members use is considered to be entirely appropriate given its location within Camden Town Centre. This is the most appropriate location for a private members club development. This is supported by London Plan policy 2.15, 4.1 and 4.5. Indeed, LP policy 4.5 promotes the growth of visitor accommodation. The proposals also meet with LB Camden policy TC4 and TC2.
- 6.17. The private members development is considered to be an appropriate use within Camden Town Centre, in line with policy E3.
- 6.18. The development will create an active frontage at ground floor, with members able to access via Crowndale Road and also through the Hope and Anchor Pub. This will assist in natural surveillance along Bayham Place, Crowndale Road and Bayham Street reducing the opportunity for crime.
- 6.19. The site is well connected to public transport and will remain car free. A transport assessment has been prepared which covers servicing including taxi drop off and pick up arrangements and is considered in more detail at 6.155.
- 6.20. The private members club will create a unique asset to support the creative and cultural hub of Camden Town. The private members will also promote the daytime and evening uses at the site. During the day, the private members club will provide flexible floorspace for

members to utilise, to dine, meet clients, have corporate events, study/work; whilst in the evenings the venue will provide leisure space for drinking, dining and socialising. On KOKO events, the private members will be vitalised by the live music, and any leakage of sound from the KOKO venue will be part of the experience.

Re-use and revitalisation of the Public House

- 6.21. The Hope and Anchor Public House closed in late 2013. It has since been vacant, although squatters did temporarily gain possession.
- 6.22. The pub originally ceased to trade following a planning application for consent to convert the Public House in residential flats. Evidence submitted as part of the planning application demonstrated that the business had been failing for some time with rising beer rates and rents.
- 6.23. The public house is to be retained within the scheme, but utilised within the development to provide a better community facility. The pub will be reinstated as a restaurant to provide a 'gastropub' style food/drink facility. Whilst the offer will be slightly different than historically, the new offer will secure the future of this facility and reinstate a public house to benefit the community. The restaurant will be open to local residents, KOKO customers and private members. This is a benefit to the local community and is in line with aspirations for LB Camden policy C1 and C4 to retain the role of public houses.
- 6.24. The ground floor will also include some floorspace for ancillary retail such as merchandise for KOKO, gig tickets, band merchandise. This is entirely ancillary to the operation at the site.

Loss of Office accommodation

- 6.25. Part of the proposed development includes for the redevelopment of 65 Bayham Place and 1 Bayham Street. These buildings are intertwined, turning the corner between Bayham Place and Street.
- 6.26. The private members club will provide meeting and workspace for its members during normal working hours. It is estimated that this could easily re-provide the amount of workspace that was historically provided on site, albeit in a more modern and flexible form to meet the requirements of modern businesses.
- 6.27. As set out within the planning history, No.1/No.65 were previously occupied for office accommodation.
- 6.28. In addition, the London Borough of Camden have previously granted consent for the loss of this office space in the Option A planning scheme. The Economic Development team accepted that the re-provision of office floorspace would not be feasible and this position should therefore remain.
- 6.29. Whilst new homes are recognised as the top priority land use within Camden, policies E1 and E2 seek to protect existing employment sites and premises that meet the needs of modern industry and other employers. The London Plan policy 4.3 also recognises that mixed use developments and redevelopment outside of the CAZ should enhance remaining office stock within strategically specified locations. As the site is not designated within local policy for office accommodation, its location within Camden town centre identifies that the site is appropriate for a range of uses.
- 6.30. Equally NPPF Para 22 supports that there may be alternative uses of land and building and that applications for such change should be treated on their merits having regard to market signals and the relative need for different uses to support local communities.
- 6.31. Whilst the proposals result in some loss of office accommodation, the poor quality of the

existing accommodation coupled with the wider economic benefits associated with the proposals will clearly outweigh this loss. A full assessment of the proposals against policy E2 and Camden Guidance CPG5 is set out in the following table:

Criteria of Paragraph 6.4 of CPG5	Assessment
The age of premises	The accommodation does not represent modern office floorspace. The premises were constructed in the 1800's and have undergone modifications during the late 20 th century to convert them to offices.
Whether the premises include features required by tenants seeking modern office accommodation	<p>The change of use to residential was approved by the Council under previous ownership for 3 residential apartments. Whilst the conversion was not completed, the premises have been stripped out of internal fixtures and fittings and partly converted. The purchase of the property by the applicant has prevented further conversion.</p> <p>The premises are not considered to include features required by tenants seeking modern office accommodation.</p> <p>The office accommodation is very minor and could only have provided a maximum of 337sqm GIA of office accommodation.</p> <p>This was set over 3 floors. The premises could not be considered to be high quality accommodation and would likely have provided jobs at a reduced ratio of workers to floorspace. It is considered at best that a maximum of 15 full time employees would have been employed within this space.</p> <p>The continued use of the property in its existing form will require substantial works of refurbishment to address disrepair. The building also fails to meet modern performance standards for offices.</p> <p>The historic nature of the premises has restricted floor plates and ceiling heights at third and fourth floors as a result of the mansard roof.</p> <p>The premises were not constructed at modern office worker to floorspace ratio. Indeed, it is estimated that due to the traditional layout of the building, maximum occupancy could not be reached (result of lower ceiling heights and fragmented floorplate).</p>

The quality of the premises and whether it is purpose built accommodation	The existing building is not purpose built for offices. They have undergone internal changes to accommodate a range of businesses.
Whether there are existing tenants in the building and whether these tenants intend to relocate	The premises are vacant.
Evidence of marketing evidence on loss of office	<p>A marketing assessment is not considered to be appropriate as it fails to recognise the unique and complex nature of the re-provision across the wider site.</p> <p>The overall scheme and associated benefits will deliver more jobs than historically generated from the office accommodation. This coupled with the other community benefits such as making KOKO's facilities available to the community i.e. recording studio. The development therefore leads to more significant benefits that outweighs the perceived loss of an empty and derelict building.</p>

- 6.32. In essence, the existing premises are very low quality and provide a very minor amount of office accommodation.
- 6.33. It could be argued that the prior approval for change of use from office to residential is a material consideration to the 'loss' of the office accommodation. Indeed, the office accommodation had already stopped operating and the premises considered unfit for purpose. The site was then acquired by the applicant to prevent the change of use. In essence, as the development proposal will enable additional jobs across the site, along with some replacement office floorspace through the proposed facilities, the redevelopment of this building has greater benefits to the character of the Town Centre.
- 6.34. In terms of actual numbers of jobs created by the development, the proposed development is supported by policies E1 and E2 to secure a strong economy in Camden. This policy recognises and encourages the creative and cultural businesses along with development of the tourism sector.
- 6.35. The retention of 65/1 Bayham Place has been explored but cannot be achieved without impacting on the deliverability of the proposals.
- 6.36. The development includes:
- The private members club will provide conference facilities and workspace, which whilst not formally recognised by Camden should be regarded as B1 floorspace.
 - The development proposals will create informal areas for private members, local residents, tourists and visitors to utilise. Spaces such as bars/restaurants are key informal employment spaces within London, specifically for flexible and agile working, such space whilst not recognised in planning policy is a key element of 21st Century office

stock.

- Re-provision of office for the re-provision of office and meeting accommodation to be utilised by both the private members and KOKO.
- The scheme will also make an important contribution to the wider aspiration to create a cultural quarter in Camden.
- The proposed development will enable the Koko Club to thrive in the long term, against a backdrop of music venues closing across London as a whole. KOKO currently employs 46 FTE staff.
- The development will lead to the creation of between 70-100 full and part time jobs (this may fluctuate after displacement, leakage and substitution).
- The development will also create jobs in the construction phase, expected to create 96 new jobs within one year.
- Provision of significant opportunities for skills development and training, both during the construction phase of the development and once new space at the proposed development has been let.
- Food and Beverage space within the site will be open during the day and usable for informal work space.

6.37. In summary, whilst policy E2 seeks to protect the loss of office accommodation, the application proposals will lead to significant economic benefits including an increase in jobs for the local economy well in excess of what is currently generated from the site. The existing accommodation is of poor quality and is unfit for purpose. This minor loss of poor quality office accommodation will be outweighed by the significant benefits that the development proposals will bring to the local Camden and wider London economy.

Mixed use

6.38. Policy H2 sets out that where a proposal will increase the total gross floorspace of a site in the Central London Area or within a town centre by 200sqm, a contribution to the supply of housing will be sought. Where appropriate, the council will negotiate up to 50% of the net uplift of gross floorspace (GIA) as housing. The council will require any secondary use to be provided on site, particularly where 1,000sqm (gross) of additional floorspace or more is proposed. Where inclusion of a secondary use is triggered by the policy but cannot practically be achieved on the site, the Council may accept a contribution to the mix of uses elsewhere in the area, or exceptionally, a payment in lieu.

6.39. Applying this policy to the site, Table 1 provides information on the proposed land use:

Land Use	Existing Floorspace sqm	Proposed Floorspace sqm	Difference + sqm	50% Uplift
Non-residential	6055	7279	1224	612

Table 1

6.40. Policy H2 states that in considering whether a mix of uses should be sought, whether it can practically be achieved on the site, the most appropriate mix of uses, and the scale and nature of any contribution to the supply of housing and other secondary uses, the Council will take into account the following criteria:

- a. The character of the development, the site and the area;

- b. Site size, and any constraints on developing the site for a mix of uses;
 - c. The priority the Local Plan gives to the jewellery sector in the Hatton Garden area;
 - d. Whether self-contained housing would be compatible with the character and operational requirements of the proposed non-residential use and other nearby uses;
 - e. Whether the development is publicly funded or serves a public purpose;
 - f. The need to add to community safety by providing an active street frontage and natural surveillance;
 - g. The extent of any additional floorspace needed for an existing user;
 - h. The impact of a mix of uses on the efficiency and overall quantum of development;
 - i. The economics and financial viability of the development including any particular costs associated with it; having regard to any distinctive viability characteristics of particular sectors such as building-to-let housing; and
 - j. whether an alternative approach could better meet the objectives of this policy and the Local Plan.
- 6.41. The feasibility of providing on-site residential accommodation as part of the application proposals is considered against the main criterion of policy H2 below:
- a. The character of the development, the site and the area**
- 6.42. Camden Town (the area) is described in the Core Strategy as a vibrant centre which has three broad character areas; the commercial heart in the markets and around Camden tube station, the southern area which provide a more traditional high street shopping experience, and Chalk Farm to the north with its mixed uses of restaurants, bars and specialist shops.
- 6.43. The site is located within the commercial heart of Camden. KOKO is a significant local and regional employer as well as a key regional and international tourist destination. KOKO has both a physical and cultural heritage which is of value and contributes to the wider character of Camden Town.
- 6.44. The site and its immediate neighbours are commercial in character. Whilst the Hope and Anchor Public House and 65 Bayham Place have been vacant for some time, they were previously in commercial use. Whilst Camden policy gives priority for housing, this is not to the detriment to protect some non-residential uses across the borough. It is also noted that priority for housing needs to be considered, the context of the characteristics of specific areas, sites and properties.
- 6.45. The supporting text to policy H2 recognises that there are a number of circumstances where a mix of uses may not be sought, in particular, paragraph 3.48, bullet point two. This includes situations where a secondary use is not compatible with the primary use.
- 6.46. Given the nature and character of the application site as one of the most important independent live music venues in London and the important role it plays in contributing to the commercial and cultural well-being of Camden, the site is not considered to be an appropriate location to accommodate a mix of uses that includes residential because this would impact detrimentally on its commercial viability. Ultimately, KOKO is a live music venue. By association this leads to noise and vibration, which would be a nuisance to a permanent residential use at the site that could prejudice KOKO's operations as a leading music venue.
- 6.47. On this basis, we do not consider that KOKO and residential uses are capable of co-existing effectively on the site. The Grade II listed nature of the KOKO venue means that full

insulation to prevent the leakage of noise/vibration cannot be mitigated without extensive intrusive works into the historic fabric of the listed building. This has been explored within the accompanying heritage statement, design and access statement, noise impact assessment and structural investigation.

- 6.48. The location of permanent residents in such proximity to a live music venue would likely result in the decline of the operation of KOKO. These concerns were the principle reasons behind the applicant's acquisition of the Hope and Anchor and 1/65 Bayham Place, following grant of residential uses.
- 6.49. Notwithstanding the constraints of the site in providing on site residential uses, the application proposals will introduce new complementary uses that will further diversify and enhance the character of the site and create new employment opportunities and benefits to the local economy.

b. Site size, the extent of the additional floorspace, and constraints on including a mix of uses

- 6.50. The site has a number of physical and heritage/townscape related parameters that limit the extent to which it can accommodate additional development that is feasible. The heritage and design analysis set out within the Design and Access Statement and Heritage Statement provide a comprehensive analysis of the key development parameters and associated constraints.
- 6.51. As a consequence, the proposed physical interventions (which include the demolition of an existing building) and the reconfiguration and development of other buildings and spaces) represent the optimum sustainable development solution.
- 6.52. In terms of providing the maximum level of viable development whilst ensuring the design endures that the special significance of the Grade II listed building and character of the surrounding Conservation Area is preserved. Through comprehensive discussions with key stakeholders, including Historic England and LB Camden the design and extent of the development has evolved to meet the applicants own aspirations for the site, whilst balancing these with all other material considerations, including heritage, viability, sustainability, access, amenity requirements.
- 6.53. Alongside the delivery of a new cultural hub, there is also an objective to deliver enhancements to the experience of the building. The circulation spaces within KOKO are poor and these will be enhanced providing new routes through the Grade II listed building.
- 6.54. The creation of the private members club along Bayham Place will upgrade the appearance of the Mews, building on the back of house and unattractive plant space currently serving KOKO. This will improve the current security for pedestrians with additional surveillance.
- 6.55. The physical requirements of residential accommodation such the need for separate cores, access, entrances, amenity space, waste storage facilities would erode the ability to fit all the elements of the private members and food and beverage space on the site.

c. The priority the Local Plan gives to the jewellery sector

- 6.56. Criterion C of Policy H2 is not applicable to this development proposal, as the site is outside the Hatton Garden area.

d. Whether self-contained housing would be compatible with the character and operational requirements of the proposed non-residential use and other nearby uses

- 6.57. For the reasons set out at paragraph 6.42- 6.49 of this statement, self-contained housing would not be compatible with the character and operational requirements of the proposed non-residential use due to the prominence of KOKO as an important grassroots music

venue, and for the impacts on residential amenity, including noise and vibration as set out in the justification under part a.

e. Whether the development is publicly funded or serves a public purpose

- 6.58. The development is not publicly funded but does generate a series of public benefits centred on improving the vitality and viability of Camden Town centre.
- 6.59. The funding of the development is between the landlord and tenant. The development of the private members club and associated food and beverage space is necessary to supplement the income of KOKO. The maintenance costs associated with a functioning music hall is demanding and therefore requires significant income. The private members club and food and beverage spaces, therefore, act as enabling development to ensure longevity of KOKO.

f. the need to add to community safety by providing an active street frontage and natural surveillance

- 6.60. The mix of uses on site does not preclude the development from securing active frontages and ensuring natural surveillance exists. The current layout of the site, due the vacant nature of the Hope and Anchor public house and the 65 Bayham Place limits the amount of natural surveillance here.
- 6.61. KOKO has a strong active frontage on Camden High Street, and Crowndale Road benefits from queuing visitors to the site, along with on-site security. KOKO is therefore a self-regulating space where activity and natural surveillance prevail.
- 6.62. The proposed development will elongate the operational hours of the music venue and provide active uses in buildings to the rear of the site. At present activity at KOKO is heavily focused on performances in the evening, predominantly at the weekend. The applicant is looking to ensure the optimum use is made of the site, trading over a longer period of time. KOKO will be able put on performances during the day, and over increased number of days across the week. In terms of daytime usage, there is an aspiration for a range of daytime activities such as film screenings, exercise classes, art shows, tea dances and educational lectures.
- 6.63. The private members club and restoration and reopening of the Hope and Anchor Public House to the rear of the site will clearly upgrade the activity at the site. The additional uses will give greater natural surveillance and create a safer environment for both local residents and users of the site.

g. The extent of any additional floorspace needed for an existing user

- 6.64. The urban design, townscape and heritage analysis has identified that the site is very constrained. The Grade II listed status of KOKO limits the interventions that can take place at the site without harming the character of the building and wider conservation area. The extension of gross floorspace is needed to help ensure the economic viability of the site for future use.
- 6.65. The limited space at the site through the proposals needs to be directed towards the cultural hub requirements of KOKO rather than residential use.

h. The impact of a mix of uses on the efficiency and overall quantum of development

- 6.66. The site comprises predominately a live music venue (Use Class D2). The proposed development has been carefully designed to promote complementary uses to secure the long term viable future operation of KOKO as a live music venue. Residential uses would not be a compatible secondary use on the site for the reasons set out above, relating to viability and design considerations. Clearly a conflict would exist between the residential dwellings and the operation of KOKO for its live music status.

- 6.67. Policy C3 demonstrates the Council's commitment to protecting cultural and leisure facilities within the borough. In particular, the policy recognises the important contribution that live music venues provide to the attractiveness of Camden. It also recognises (para 4.52) that some of Camden's cultural and leisure facilities are considered to be at risk from demolition or a change of use due to the high values generated by alternative uses, particularly housing.
- 6.68. The development of residential units would strongly threaten the operation of KOKO as a live music venue and it is not considered a compatible use. A private members club along with food and beverage outlets are much harmonious with KOKO's offer.

i. the economics and financial viability of the development including any particular costs associated with it, having regard to any distinctive viability characteristics of particular sectors such as build-to-let housing

- 6.69. The appointed architects, Archer Humphries and Stephen Levrant Heritage Architecture, have undertaken analysis of the site and townscape as part of the design process. Moreover, extensive consultations have taken place with LB Camden's own Consultation and Design officers, together with other Key Stakeholder including Historic England, the Victorian Society, the Theatres Trust and Local Conservation and Amenity Societies.
- 6.70. The proposals represent the optimum level of development that will complement and enhance the overall offering of KOKO as a leading music venue.
- 6.71. The additional development will result in a more sustainable and viable use of the site. Reducing the proposed complementing uses to include residential would impact upon the optimum mix, rendering the overall proposals unviable, notwithstanding all other implications associated with providing residential uses onsite.
- 6.72. Firstly, by incorporating up to 612sqm of residential uses within the development, the reduction in the amount of available floorspace to facilitate the growth and refurbishment of Grade II listed KOKO could undermine its viability. There is a clear need for refurbishments to KOKO as demonstrated within the Schedule of Works. These works are necessary to ensure the long term sustainable future for the site. The economic sustainability would be threatened where additional floorspace or site capacity considered vital to support the KOKO operation needed to instead be made available for residential provision.
- 6.73. As previously set out, issues would arise in terms of the compatibility of residential use and a live music venue to operate side by side. In design terms, the need to address the established quality standards relating to residential accommodation (in particular noise and vibration) could not be sustained.
- 6.74. A full schedule of cost together with a viability assessment has been produced and forms part of the application submission. This indicates that given the significant heritage constraints of the site, coupled with the high maintenance costs and unique nature of the site as a leading independent music venue, the financial viability of the proposed development is unable to provide a contribution towards housing provision and further explanation of this is provided at paragraph 6.77 of this statement.
- 6.75. This assessment of alternative sites mirrors our previous application in which officers requested the application to explore off-site delivery in the wards of Regents Park, Camden Town with Primrose Hill, Cantelowes and St Pancras and Somers Town.
- 6.76. Full details of this search are provided within **Appendix 3** however, in conclusion, the search indicates that no other sites have been found to be suitable, available or achievable. Equally, the applicant does not own any other sites within the borough which could be utilised for off-site provision.

g. Payment in Lieu

- 6.77. The final criteria of the policy is contained within paragraph where it states that in exceptional circumstances, the Council may accept a Payment in Lieu. Based on the evidence submitted and the circumstances of the site, it was considered that residential floorspace is required as part of the application then the exceptional circumstance of a payment in lieu towards housing should be reached.

Viability

- 6.78. A viability assessment has been prepared by ULL. This document assesses the development proposals and the associated costs associated with the refurbishment and maintenance of the Grade II listed venue.
- 6.79. The viability assessment has been prepared to assist in the consideration of H2 policy. The viability assessment fully assesses the options of a payment in lieu instead of provision onsite, which cannot be delivered as set out above.
- 6.80. The viability assessment indicates that given the significant heritage constraints of the site, coupled with the high maintenance costs and unique nature of the site as a leading independent music venue, the financial viability of the proposed development is unable to provide a contribution towards housing provision.

Design

- 6.81. The design of the proposal has been informed by extensive pre-application and consultation with LB Camden officers and other key stakeholders including Camden Town Conservation Area Committee, Historic England, Victorian Society and Theatres Trust.
- 6.82. Design discussions with the Council and the above stakeholders helped to inform the consented scheme and many of the design considerations remain the same. The proposal continues to seek high-quality design whilst enhancing the Grade II listed status of KOKO. The proposal therefore accords with Policies D1 and D2.
- 6.83. The accompanying Design and Access, Heritage and Structural Reports set out the overall design rationale and should be read together. Overall, the proposals can be broken down into the following key elements:

The Dome

- 6.84. The Dome is currently an underutilised space within the KOKO building. It is used to store the old water tanks to the building. The development scheme therefore proposes to restore and refurbish the dome to enable its use as part of the KOKO venue. The dome bar provides a unique opportunity to use this attraction space.
- 6.85. The utilisation of the dome for a drinks bar will facilitate the use of a heritage asset to be enjoyed by all. Through a creation of a small doorway within the existing tower, access can be provided via an interconnecting corridor through the sky lobby. Level access to the dome bar will be taken via the guest lifts within the private members club.
- 6.86. The limited loss of historic fabric is considered to be of less than substantial harm to the overall calibre of the listed building. There are no external changes to the dome on the main elevation fronting Camden High Street. As such, the dome will remain a prominent local landmark (albeit restored and refurbished to its former glory).

The Sky Lobby

- 6.87. The sky lobby is part of the private members club and therefore operated by The Hope Private Members Club. The sky lobby will provide drinking and dining facilities, with indoor

and outdoor access onto terraces overlooking Crowndale Road.

- 6.88. The skylobby has been designed of predominantly glazed features to enable visitors to fully experience the attractive roofscape of KOKO, its dome and reinstated cupula. The sky lobby is accessed by the lifts within the private members building.
- 6.89. The sky lobby has been designed to bridge the gap in the roofscape between the dome and the flytower. Its scale and proportions have been carefully designed to cause the minimum harm to the historic building below, whilst providing an attractive revenue generating space to support the operation of KOKO.
- 6.90. The sky lobby is formed with an exposed steel frame clad with a patent glazed roof and Crittall doors and windows. These materials are wholly appropriate in detail and materiality against the Grade II listed building.
- 6.91. The structural survey explores the support required within the KOKO premises to enable the rooftop development. The roof top lobby, one storey below rests on a plinth set above the existing roof of the KOKO auditorium. The pavilion has a hipped pitched roof and the roof is entirely glazed. The structure is supported by a 2no. 2 deep trusses from which the new floor and roof joints span.

Internal/External Upgrades to Theatre

- 6.92. The application includes for minor refurbishment and upgrades to both the interior and exterior of the building.
- 6.93. In particular, the development proposals include the refurbishment of the main façade of the building fronting onto Camden High Street.
- 6.94. These minor improvements are critical to ensuring the building remains an attractive venue for visitors, performers and artists alike. The Grade II status of the structure is a heavy economic burden and therefore enabling development such as the private members club, leisure uses will help to improve the cash-flow to facilitate the stability of KOKO's operation.
- 6.95. Overall, the proposed development has been the subject of extensive consultations with LB Camden, Historic England, Victorian Society the Theatre Trust and Camden Town CAAC. The design has evolved in response to the feedback received to ensure that the design is of a very high quality that will restore, replace and ultimately enhance the site's contribution to the character of this part of Camden.

Townscape

- 6.96. The application site is not located within a Viewing Corridor as set out in the London View Management Plan.
- 6.97. However, a full analysis of views has been undertaken as part of the design process for the scheme. A number of key views were agreed with Camden Council and their impact tested. This has been set out within the supporting Design and Access Statement and Heritage Assessment. The proposal is considered to have a low adverse impact on key views within the Conservation Area. Overall the proposal respects the grain of the wider town and conservation area.

Heritage

- 6.98. As a result of the Grade II status of KOKO and the sites location within the Camden Town Conservation Area, the development proposals and design has been informed by extensive pre-application consultation with LB Camden Officers and other key stakeholders including Camden Town Conservation Area Committee, Historic England, Victorian Society and Theatres Trust.

- 6.99. The Planning (Listed Buildings and Conservation) Act 1990 provides the legislation that is used to assess the impact of proposals on listed buildings and conservation areas.
- 6.100. Section 66 of the Act requires that decision makers shall have special regard to the desirability of preserving a listed building or its setting or any feature of special architectural interest which it possesses, when considering whether to grant planning permission.
- 6.101. Section 72 of Act 1990 requires that, in the exercise of their planning functions, local planning authorities shall pay special attention to the desirability of preserving or enhancing the character or appearance of conservation areas.
- 6.102. In accordance with the NPPF Para 126-141, applicants are required to assess the impact of any new development on any heritage assets affected, including any contribution made by their setting and 'the level of detail should be proportionate to the assets' importance and more than is sufficient to understand the potential impact of the proposal on their significance.'
- 6.103. Setting is not a heritage asset, nor a heritage designation. Its importance lies in what it contributes to the significance of the heritage asset. This depends on a wide range of physical elements within, as well as perceptual and associative attributes, pertaining to a heritage asset's surroundings.
- 6.104. The proposals fully accord with the objectives of policy D2.

Principle of demolition

- 6.105. The proposals seek consent for the demolition of 65 Bayham Place, a 3-storey building on the corner of Bayham Place and Bayham Street. The building is not statutorily listed but is identified as a positive contributor to the Camden Town CA.
- 6.106. As part of the pre-application discussions, the architect and heritage architect have examined the justification for the demolition or retention of this building. It has been concluded that the building cannot be retained without severely impacting on the delivery of floorspace and ultimately the viability of the proposals.
- 6.107. 65 Bayham Place will be replaced by a building of exemplar design utilizing sympathetic materials, massing, scale and heights, along with the retention of the 1 Bayham Street façade. The changes proposed do not diminish the aesthetic quality of the listed building or the Hope and Anchor Pub. The mixed use proposed within the scheme are characteristic of the area and relate to other buildings within the wider context.
- 6.108. The proposed design of the replacement building creates a sympathetic contemporary interface with the existing buildings whilst maintaining a clear distinction between the new development and the historic significance of the listed building, pub and its surrounding.
- 6.109. The NPPF recognises that not all elements of the Conservation Area will contribute to its significance (Paragraph 138). The Heritage Assessment accompanying this application assesses the Heritage significance of this part of the CA and the buildings within the site.
- 6.110. 65 Bayham Place is the surviving mews facades, which has undergone substantial internal alterations when adapting the building to different uses. Whilst externally, the building retains the characteristics of a workshop, substantial internal alterations have reduced the illustrative historical value. Historic value is therefore low. The buildings in Bayham Place are recognised that their historic character derives from the use of yellow stock brick. The buildings, however, were not built with features of architectural or artistic merit and have undergone alterations, thus eroding the historic character. The aesthetic value of the buildings is therefore medium to low.
- 6.111. Overall, the positive contributor is considered to be of low historic value, medium to low

aesthetic value and due to its vacant status, low communal value.

- 6.112. Moreover, the building has been subject to consideration alteration, following its conversion to offices, with limited if any of the original fabric remaining. The Heritage Statement concludes that whilst Bayham Place has evidential value, it is not historically significant or rare. It is therefore concluded that its demolition will lead to 'less than substantial harm' to the significance of the Conservation Area. Therefore, the policies within paragraph 134 of the NPPF should be applied, which sets out that any harm should be weighed against the public benefits of the scheme. These public benefits can be summarised as including, but are not limited to:
- The provision of a high quality private members club to complement and support the long term viable future of KOKO as a leading music venue, that will make a significant contribution to the local economy in generating new jobs and promoting Camden as a hub for Creative and Media Industries provision in Camden Town.
 - Bringing forward whole scale redevelopment of underutilised site to ensure the longevity of the KOKO music venue.
 - Sensitive high quality refurbishment and bringing back into use Hope and Anchor Public House and high quality refurbishment of Grade II listed music venue to ensure its future operation.
 - Sympathetic design approach which responds appropriately to the surrounding context and enhances the sites relationship with nearby heritage assets.
 - The provision of a high quality cultural hub to be open to local residents, businesses and tourists, attracting visitors into Camden Town and protecting the musical legacy of the Town Centre and Borough.
 - The wider benefits arising include increased employment generation, economic spend and community benefits.

Heritage Assets and their significance

- 6.113. Furthermore, the redevelopment of the KOKO block seeks to enhance and better reveal the significance of the designated heritage asset and the wider conservation area.
- 6.114. The heritage assessment prepared by Stephen Levrant Heritage Architecture sets out that the proposals do not constitute harm to either the conservation area or other heritage assets in the vicinity of the site. The architectural ethos generated by the brief and the opportunities and constraints of the place, have inspired the architects to produce a scheme of high quality. The design is compatible with the area's characteristics in terms of scale, articulation, materiality, height and form. The mixed uses are a distinctive feature of the area and relate to other buildings in the wider context. Overall, it is considered that the proposal will not harm the setting or the heritage assets in the vicinity.
- 6.115. Camden Town attracts both local and international visitors for its music venues, pubs, markets, shops, cafés and restaurants. Its economic vibrancy arises from a combination of the special historic character and the wide range of attractions and entertainment on offer. KOKO is a world leading music venue and cultural attraction. The proposed works will maintain and sustainably enhance KOKO's activities and safeguard its future as a music venue. The proposed works, which would affect the character of the site to a minor and moderate degree, are desirable to facilitate the site's sustainable future and use, while retaining features of special interest, particularly in the listed building. It is considered that the proposed works would assist in the long-term use of the site.
- 6.116. The proposal will also enable the Grade II listed KOKO to be restored in a sustainable and viable way.

- 6.117. The proposal makes the most sustainable use of the building, KOKO is not especially economically viable on its own – this proposal would bring the site into use 24 hours a day which in turn will strengthen Camden's local and night time economy. This secures the making the best of the site. The music venue in itself may not be viable but the overriding benefits to London's economy are significant.
- 6.118. Further information has been provided within the Design and Access and Heritage Statement.
- 6.119. In light of the above, it is considered that the proposals will result in an exemplar development of the highest design quality that will entirely meet the aspirations of Policy D1 to provide a high quality place in Camden Town which respects the local context and character of the area. Similarly, application proposals will preserve and enhance the character and appearance of the area in line with policy D2.

Basement

- 6.120. The scheme proposes to excavate the existing basement for stair and elevator access to the KOKO basement. A Basement Impact Assessment has therefore been prepared by RSK to support the planning application in accordance with Camden policy A5 and CPG4.
- 6.121. The Impact Assessment concludes that the relatively small ground movements on the adjacent highways is likely to be negligible.
- 6.122. Similarly, the results of the assessment on adjacent properties fall into 'Category 0' defined as 'negligible damage' and the LUL asset assessment predicts ground movements will be less than +/- 1mm.
- 6.123. This document will be fully reviewed by an independent third party in accordance with Camden's planning guidance.

Accessibility

- 6.124. The proposal will ensure that KOKO remains an important community asset to all in both the local area, wider borough of Camden and London. This meets the expectations of London Plan policy 3.16, 4.6, 5.3.
- 6.125. In accordance with Camden's policy C3 and C6, the proposed development achieves the highest levels of inclusive design.
- 6.126. Due to the Grade II listed status of KOKO, access will remain as at present. A removable ramp is available for visitors to mount the external stairs from Camden High Street into the venue.
- 6.127. The Hope and Anchor Pub and Private Members will be accessible for all. Private Members and guests can gain access via the designated entrance on Bayham Place/Bayham Street, or through the Crowndale road entrance.
- 6.128. It is proposed that a dropped kerb will be created outside Bayham Place, to allow easy access into the building from a vehicle. Any highway works and reinstatement will be covered within the S106 agreement.
- 6.129. The scheme includes for 2no. lifts servicing the Private Members roof top lobby, all four floors and basement level to enable full accessibility across all floors.

Building Services Equipment

- 6.130. RTKA have prepared Mechanical and Electrical information to support the planning application. This confirms that all building services equipment will be contained within the

building envelope, relocated to the Bayham Place elevation.

- 6.131. This includes a mixture of refurbished existing plant and the installation of new equipment.
- 6.132. This has been assessed by Scotch Partners as some of the plant is located on the Bayham Place elevation.

Designing out crime

- 6.133. The proposals have been designed to promote an active street frontage to the rear of the application site, which is currently vacant. The addition of private members, dining areas and back of house, servicing access and storage along Bayham Place will increase the level of natural surveillance at the site. This meets the expectations of NPPF Para 69.
- 6.134. A Site Management Plan will be prepared to cover how the development will deal with any anti-social behaviour at the site. This meets with the expectations of local policy C5 to ensure that appropriate anti-crime and safety measures are included within the development proposals.
- 6.135. Further information has been provided within the Design and Access Statement. The proposal is also supported by emerging LB Camden policy C5 to promote safer streets and address the cumulative impact of food/drink and entertainment uses.

Amenity

- 6.136. The proposal includes for the provision of external terraces at third and fourth floors. The private members function room benefits from a terrace, on the corner of Bayham Place and Bayham Street.
- 6.137. A larger terrace, overlooking Crowndale Road will be provided to supplement the floorspace within the skylobby. This space will be open to those utilising the skylobby.
- 6.138. Visitors to the music venue will utilise terraces overlooking Camden High Street as per the current operation.
- 6.139. It is anticipated that a planning condition would be attached to any planning consent to control the operation of the terraces. The operation of the terraces will be controlled and managed through the KOKO management plan.
- 6.140. The proposed development has been assessed in line with London Plan policy 7.6, A1, A4 and TC4 to protect the amenity of occupiers of neighbours.
- 6.141. A study of the terraces has been provided within **Appendix 5**. This confirms that suitable mitigation measures have been included to minimise overlooking or loss of privacy for existing neighbours.

Noise

- 6.142. A full Noise and Vibration assessment has been prepared jointly by Big Sky Acoustics and Scotch and Partners.
- 6.143. Scotch Partners have prepared a Noise Impact Assessment to review the acoustic quality of the plant which is due to be installed along Bayham Place. This concludes that all proposed new building, plant and operations are designed to fully meet the noise vibrations thresholds set out in Table D of **Appendix 3** of the Local Plan.
- 6.144. In respect to the management of the terraces, the proposed hours of use replicates the hours approved as part of the original consented scheme. In applying these same hours, and based upon the same capacity of guests, the terraces will fully accord with the Lowest

Observable Effect Level (green) in Table D of **Appendix 3** of the Local Plan. Further controls over the operation and management of guests is set but within the draft Operational Management Plan.

- 6.145. The proposals are in line with Policy A4.

Sunlight and daylight

- 6.146. A full sunlight and daylight report has been prepared by GVA Schatunowski Brooks. The conclusions of this assessment confirm that the design of the extension along Bayham Place do not have any sunlight/daylight concerns. This Daylight and Sunlight has been undertaken in accordance with the BRE Report 209 'Site Layout Planning for Daylight and Sunlight- A Guide to Good Practice' (second edition 2011) and the British Standard- BS 8206: Part 2.
- 6.147. The Daylight Results for Bayham Place do not show a reduction as against existing levels but whilst this is noted the retained levels of Daylight and Sunlight are of a similar standard to similar urban locations. Otherwise the development is fully compliant with BRE guidance.
- 6.148. A good level of sunlight will be achieved. The scheme is considered improve against the recently consented scheme and for the majority of neighbour's building is fully BRE compliant.
- 6.149. This meets with the expectations for Policy A4 which seeks to protect the quality of life of occupiers and residents.

Overlooking and privacy

- 6.150. The replacement building replaces the built form as previously on the site. However, the proposals do result in an increase in glazing along Bayham Place. The distance between No. 1 Bayham Place and 48-56 Bayham Place has not changed. In comparison to the consented scheme, there is significantly less development on the Bayham Place elevation, with stair and core, back of house and reception space at ground, kitchen and dining room at 1st floor, toilets and function room at 2nd floor and plant with private members at 3rd floor. The skylobby remains set back at fourth floor. The perceived loss of privacy will therefore be lower given the uses on this elevation.
- 6.151. The development includes for two separate terrace areas, which serve different parts of the development which will be managed via planning condition.
- 6.152. At first floor the existing flat roof above the Hope and Anchor pub will not be utilised.
- 6.153. At third floor, the private members will have a private terrace space of 16.5sqm. The terrace at fourth floor will be utilised as a blue roof and will therefore not be accessible to building users.
- 6.154. Remaining at fourth floor, but overlooking Crowndale Road, the skylobby will also have private food and beverage terrace space (131sqm). The terrace overlooks Crowndale Road and is the furthest from any residential dwellings as potential noise receptors. A full assessment of the impact on the closest resident units has been provided within **Appendix 5**.
- 6.155. Further information has been provided within the Acoustic report and Site wide management plan.

Transport

- 6.156. The site is located within a highly sustainable location with excellent transport links. The site has a PTAL rating of 6b.

- 6.157. A full transport statement and travel plan has been prepared by ADL Traffic & Highways Engineering to accompany the application.
- 6.158. The report indicates that the traffic generated by the proposed development could generate 15 two-way pedestrian/public transport trips during AM peak hour and 62 two-way pedestrian/public transport trips during PM peak hour.
- 6.159. This equates to a net reduction in person trips during the AM peak hour and a marginal net increase of only 27 two-way pedestrian/public transport trips during the PM peak hour when compared to the permitted uses. This increase equates to one additional walk/public transport trip every two minutes.
- 6.160. Taxi drop offs will take place on Bayham Street or Crowndale Road in the similar way as in the permitted development scenario. This equates to four, two-way trips.
- 6.161. Existing pedestrian and public transport infrastructure could accommodate an increase in pedestrian and public transport trips resulting from the proposed development. There will be no additional traffic associated with the refurbishment of the KOKO offices and the recording studio.

Car Parking

- 6.162. There is no car parking proposed with this development, in accordance with Camden policy T2 and London Plan policy 6.13.

Cycle Parking

- 6.163. The proposal will provide a total of 10 internal cycle parking spaces which exceeds the expectations of the London Plan minimum cycle parking standards. The proposals accommodate the needs of pedestrians, cyclists and public transport and therefore accords with Policy T1.
- 6.164. It is concluded that there are no transport or highways grounds to refuse this planning application.

Waste and Servicing

- 6.165. An Interim Delivery and Servicing Management Plan, prepared by ADL Traffic & Highways Engineering accompanies the planning submission.
- 6.166. In accordance with policies CC5 and T4, the development will include facilities for the storage and collection of waste and recycling.
- 6.167. The service entrance will be provided on Bayham Place. This entrance will be used to receive deliveries and also to access the proposed office unit which will be associated with the KOKO venue. Up to seven delivery trips are anticipated with the proposed development.
- 6.168. The bin store is proposed at ground floor level and will also be accessed from Bayham Place. The store will be served by up to three refuse collections each week.
- 6.169. The restaurant operator will work with a waste contract firm to co-ordinate refuse collection trips to coincide with KOKO and will explore the possibility of avoiding servicing during peak hours. The development will not be serviced on a Sunday and would be limited to 10am-4pm on Saturdays to minimise any impact on local residents.
- 6.170. In order to minimise the number of deliveries to the site, the frequency, size and duration of stay of each servicing vehicle will be monitored by way of a daily log book.
- 6.171. The total number of delivery and servicing trips generated by the development are more or

less similar to the consented development and as such are considered not to be significant and hence imperceptible. The delivery and servicing of the music venue KOKO will remain as current.

- 6.172. Sufficient space for the separation of waste and recyclables has been included within the scheme. Again, the operation of the music venue will not change. In accordance with CPG1, dedicated spaces have been provided for the storage of waste and recyclables.

Flood Risk

- 6.173. The development site is not located within a flood zone and does not breach the threshold to require a flood risk assessment.

Drainage and SuDS

- 6.174. In accordance with LB Camden requirements, the application includes the Camden Pro Forma on SuDs. This has been included under Appendix H3 to the Heyne Tillett Steel report.
- 6.175. Drainage at the site has been explored by Heyne Tillett Steel. This report confirms that the proposed/post development surface water drainage meet the requirements of the London Plan. All SuDS methods have been assessed to establish whether they are feasible onsite.
- 6.176. Due to the size and nature of the site, and as well as the ground conditions, the use of wetlands, ponds, detention basins or infiltration structures are not feasible SuDS options for the development site.
- 6.177. The most viable SuDs features for the development flow control and attenuation. This will be in the form of an orifice or similar and cellular blue roof storage can be designed to restrict the peak surface water runoff rate and prevent flooding on site. The proposed development will incorporate water efficiency measures, avoid harm to the water environment and utilise SuDS to ensure it will comply with the requirements of policy CC2 and CC3.

Air Quality

- 6.178. An Air Quality Assessment of the proposal has been undertaken by RSK which concludes that the development will not increase exposure to air quality not meeting relevant standards.
- 6.179. The emissions were estimated in accordance with the GLA's Air Quality Neutral Planning Support Update and found them to be lower than the derived building and transport emissions benchmarks. The development is therefore considered air quality neutral.
- 6.180. The report does however recommend a dust management plan (DMP), which we would seek to secure by means of condition. The report states that with effect implementation, the impacts of the construction work on air quality are likely to be 'not significant'.
- 6.181. The air quality neutrality of the proposal, and the recommendation to minimise dust emissions ensures the development would accord with Policy CC4.

Sustainability and Energy

- 6.182. An energy and sustainability statement prepared by Eight Associates has been submitted to accompany the planning application. This assesses how the proposal accords with policies and principles for sustainable development and energy efficiency. The Strategy focuses on relevant policies and guidance contained in the NPPF, London Plan and Camden's adopted policies.

Sustainability

- 6.183. The development will be constructed in accordance with policy 5.3 of the London Plan which seeks to achieve the highest standards of sustainable design and construction. This includes the minimising of carbon dioxide emissions, avoiding internal overheating and the efficient use of natural materials.
- 6.184. The proposal has also been assessed in accordance with policy CC2.
- 6.185. Eight Associates have been appointed to carry out an assessment of the proposed refurbishment and extension of KOKO, the Hope and Anchor and Bayham Place. The assessment has been completed under the BREEAM 2014 Refurbishment and Fit-Out.
- 6.186. The site reviewed currently achieves a score of 66.8%, which equates to a 'Very Good' rating.
- 6.187. Similarly, Eight Associates have also undertaken a preliminary assessment that covers the private members club under BREEAM 2014 New Construction. The site scores 74.5%, which equates to an 'Excellent' rating. The proposal includes a green roof and blue roof in order to improve biodiversity credits. The inclusion of CHP has been explored, but a connection is not currently possible. Indeed, the heat profile of the private members is not suitable for CHP, as for the systems to be viable they need to run for at least 5000 hours per year. This would not be possible based on the hot water demands of the scheme. However, the private members will be made connection ready through the appropriate specification of domestic hot water service and distribution network.
- 6.188. The site is constrained by the nature of the unique mix of uses comprising Grade II Listed music venue, as such, the ability to meet key energy and sustainability policies is difficult to achieve. This unique position has been discussed with LB Camden's planning and sustainability officers throughout the pre-application discussions.
- 6.189. Overall, the development will seek to meet the expectations of CC2 to minimise the effects of climate change. This is further set out in the supporting sustainability statement.

Energy

- 6.190. The overall energy strategy aims to measure the buildings performance against the stages within National Energy Hierarchy of 'Lean, Clean and Green' in accordance with the London Plan 2015 – Energy Planning Guidance.
- 6.191. The energy statement has been prepared and assessed against Building Regulations Approved Document Part L2b, 2013. This approach has been discussed and agreed with LB Camden Building Control and Sustainability officers ahead of submission as the new build extension accounts for less than 25% of the overall useable floorspace.
- 6.192. The energy strategy for the proposed development is as follows:
- Upgrade existing thermal elements and ensure new thermal elements achieve the minimum U-Values under Building Regulations ADL2b - Table 4. This will aim to reduce the initial energy demand for the development.
 - Draught-proofing the existing thermal envelope to reduce air infiltration.
 - Replace outdated plant equipment with new high efficiency building systems.
- 6.193. Given part of the application sites is Grade II Listed, Historic England guidance for upgrading buildings has been adopted in the first instance. For the refurbishment of KOKO, it is proposed to upgrade the existing air handling equipment to avoid any damage to the building's original fabric, along with lighting being upgraded to high performance fluorescent

or LED fittings. Draught-proofing will improve the building envelopes thermal efficiency.

- 6.194. The Hope and Anchor will aim to install a new ventilation system with efficient supply/ extract air handling equipment with heat recovery for the private members.
- 6.195. Stage one improvements would typically involve insulating external thermal elements; upgrading roofs, suspended floors, cavity walls, insulating shutters and installation of secondary glazing.
- 6.196. Consideration has been given to the micro-generation of carbon neutral energy and identified two possible technologies which could be incorporated into the development, including Air Source Heat Pumps and Solar Photovoltaic (PV) roof panels. These technologies will be given further thought in the detailed design stage.
- 6.197. The above proposals demonstrate the applicant's commitment to providing improvements to energy efficiency and ensuring accordance with the requirements of policy CC1

Geo-environmental

- 6.198. A geo-environmental assessment has been prepared by RSK. This report has assessed the potential pollutant linkages at the site, it concludes that no specific remediation or pollution control measures are required as part of the proposed redevelopment.
- 6.199. No hazardous waste was identified at the site.
- 6.200. The groundwater analysis has identified that piles are to be considered the most suitable foundation solution for the new private members building. Alternatively, consideration could be given to a basement raft foundation. The ground conditions onsite are not suitable for the adoption of soakaways.

Archaeology

- 6.201. The application site is not located within an Archaeological Priority Area. The site is located within a Conservation Area and has limited redevelopment over the last century. The proposals include for the minor extension to an existing basement. It is unlikely that any archaeological remains would be discovered. However, it is suggested that an Archaeological Watching Brief is assigned to any planning consent to monitor any discoveries during construction.

Ecology

- 6.202. A site survey and Phase 1 Habitat Survey have been undertaken by Eight Associates to inform the ecology credit allocation within the BREEAM 2014 New Construction assessment. The site has been found to have low ecological value, and no further surveys have been recommended.
- 6.203. In addition, a Preliminary Bat Roost Assessment has been prepared by Arbtech to support the Phase 1 Habitat Survey. No bat evidence has been found in or on any part of the building. It concludes that due to the poor quality of the surrounding habitat and lack of roosting opportunities within the building, it is highly unlikely that bats will be using the building.
- 6.204. The ecological reports therefore demonstrate that the proposals are in accordance with Camden Local Plan Policy A3. Overall, the proposed scheme seeks to significantly improve the building's performance in respect to Energy, Sustainability, Biodiversity perspective, whilst delivering an exceptionally high quality designed scheme that will create new jobs and economic growth for the local economy, whilst servicing the long term viable future of KOKO as a leading music venue and cultural hub. The proposed development therefore fully accords with the aims and objectives of Camden's Local Plan policies CC1, CC2, CC3, CC4,

CC5, A1 and A3.

Construction

- 6.205. The applicant expects that the scheme will be developed within one phase. The applicant will not require any road closures during construction.
- 6.206. A draft Construction Management Plan accompanies this planning application submission to ensure accordance with Camden policy A1. A full Construction Management Plan would form part of a S106 legal agreement.

Planning Obligations

- 6.207. A draft Heads of Terms has been prepared as part of this planning application.
- 6.208. The package of s106 obligations is likely to include:
 - a. Affordable Housing;
 - b. Amenity;
 - c. Basement Impact Assessment;
 - d. Car free development;
 - e. Construction Apprenticeship;
 - f. Community Agreement of use of Rehearsal;
 - g. Community Safety;
 - h. Demolition and Construction Management Plan (CMP);
 - i. Energy and Sustainability Plan;
 - j. Employment and Training;
 - k. Hard landscaping/Highways Contribution;
 - l. Heritage Assets;
 - m. Level Plans;
 - n. Legal and preparation charges;
 - o. Open Space contribution;
 - p. Processing and monitoring charges;
 - q. Servicing Management Plan;
 - r. Soft Landscaping and Ecology; and
 - s. Travel Plan.
- 6.209. The development will require Mayoral CIL and Camden CIL payments in accordance with the expectations of Community Infrastructure Levy Regulations 2010 as amended.
- 6.210. It is anticipated that Camden CIL will be charged at £25 per sqm, with Mayoral CIL at £50.

7. Conclusions

- 7.1. KOKO is an internationally renowned live music venue and a key contributor to the Camden Town night time economy. KOKO has tenanted the Camden Palace site since 2004, building on the history of the entertainment venue following its original opening in 1900.
- 7.2. The music venue generates a modest income but has significant overheads to cover the running of a large and relatively inefficient Grade II listed heritage asset. The venue currently caters for a number of weeknight events, with usage predominately focused on Friday and Saturday nights. During the daytime, KOKO is not open to the public. This lack of facility during the daytime is a clear lost opportunity to increase activity at the site.
- 7.3. Live music venues face an uncertain future as music trends and night time pursuits change. As a staple of the Camden Town live music circuit and the wider London music scene, KOKO needs to evolve to remain relevant in an ever-changing market.
- 7.4. In bringing the proposals forward, the applicant has extensively consulted key stakeholders, including LB Camden, Historic England, Camden Town Unlimited, Victorian Society, Theatre Trust, Camden Town CAAC and local residents and community providers. The feedback received through this consultation has been carefully considered and informed the evolution of the development that comprises the application proposals.
- 7.5. The application proposals seek to secure the sustainable long term viable future of KOKO as a world leading music venue that will deliver a high quality development that will restore and enhance the Grade II Listed KOKO music venue and site's contribution to the character of the surrounding Camden Town Conservation Area.
- 7.6. The proposed private members club will form a cultural and creative hub that will compliment KOKO as a leading music venue, whilst supporting and enhancing Camden's creative and media industries through the creation of flexible space to work, meet and relax within. The applicant has recognised the unique opportunity to redevelop buildings to the rear of the site, to provide a mix of complementary uses that will enhance and diversify the overall offer of KOKO and will be integral to the future operation and optimisation of the live music venue. The additional income streams generated by the proposed range of uses at the application site will provide the tenant to supplement the running costs for the music venue, and ensure the upkeep and enrichment of the KOKO venue area together with delivering significant employment and economic benefits to Camden and the wider London economy.
- 7.7. This in turn will ensure that KOKO can continue to operate as a sustainable private business with no requirement to rely on charitable funding through heritage or lottery grants as other live music venues have had to rely on (for example the Camden Roundhouse).
- 7.8. The application meets with the expectations of national, regional and local planning policy and should be approved without delay.

Appendix 1

Appendix 2A



Aldermay House, 10 - 15 Queen Street
London, EC4N 1TX

T: 020 3848 2500

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Mr D Peres Da Costa
London Borough of Camden
2nd Floor,
5 Pancras Square
London
N1C 4AG

By email
planning@camden.gov.uk

3 August 2017

let.004..DP.24900002

Dear David

**CAMDEN PALACE, HOPE & ANCHOR & 65 BAYHAM PLACE, LONDON,
NW1**

Further to our recent discussions in respect to the above and on behalf of our client, Vevil International Limited, we hereby enclose a pre-application submission for the restoration of Camden Palace, Hope and Anchor and 65 Bayham Place to provide private members club (Use Class Sui Generis), with associated restaurant, recording studio and private roof top terraces.

Planning consent was recently secured for the development of a 32 bed hotel to the rear of KOKO. Following further design review and as a consequence of the rising costs of the consented scheme, our client Vevil International Limited is exploring the potential of a revised scheme that seeks to reduce costs whilst at the same time securing the sympathetic restoration and long term viability of KOKO as a leading independent music venue. The principle revision comprises the removal of the hotel element of the scheme as a consequence of the substantial costs associated with this element of the consented scheme.

As previously, the proposal will deliver a high quality, sensitive scheme to provide a range of complementary uses to support the operation and longevity of the KOKO business and ensure that Camden Palace (KOKO) venue continues to make a valuable contribution to Camden Town and London's night time economy.

In addition to this covering letter, the pre-application submission is packaged as a single document incorporating the following:

- Site Location Plan;
- Existing, Demolition and Proposed drawings prepared by Archer Humphryes Architects;
- A Townscape and Heritage Appraisal prepared by Stephen Levrant Heritage Architecture;
- Sketches/CGI images prepared by Archer Humphryes Architects;
- Area Schedule prepared by Archer Humphryes Architects;

Registered office: Indigo Planning Ltd
Aldermay House, 10 - 15 Queen Street
London, EC4N 1TX
Registered number: 2078863
VAT number: 449246134

- Structural Statement prepared by Heyne Tillett Steel (HTS);
- Sustainability Statement prepared by Eight Associates;
- Transport Statement prepared by ADL Traffic Engineering Ltd;
- MEP drawings prepared by Ralph T. King & Associates
- Pre-Application fee paid via BACS of £9,744 (including VAT)
- A Planning Performance Agreement will also be sought separately.

Background context

As you are aware, the Council recently resolved to grant planning and listed building consent, subject to a s106 Agreement (LPA Ref: 2016/6959/P) for the redevelopment of the site to provide a 32 bedroom boutique hotel with associated extensions, roof terraces and bars to secure the long term future of KOKO. You will be aware that we are currently in the process of finalising the completion of the s106.

Following further design review over the last few months, our client has been considering an alternative revised scheme as a result of rising construction costs. As a consequence, we are seeking pre-application discussions to review a revised scheme which is detailed further below.

Proposed Development

In summary, the proposed development seeks:

“Demolition of 65 Bayham Place, 1 Bayham Street (retention of façade) and rebuilding with extension to the rear and additional basement to provide a live music venue, recording studio, private members function rooms, and an ancillary bedroom suite; retention and refurbishment of the Hope & Anchor Public House (Use Class A4) to provide restaurant and bar with first floor dining rooms, minor reconfiguration to circulation space within KOKO. Installation of fourth floor extension over the existing Camden Palace to provide amenity space for guests with terrace restaurant and bar, the restoration of the KOKO dome, reinstatement of cupola and general refurbishment and restoration to the building.”

Having regard to the recently approved scheme, this scheme seeks to keep the proposed extensions within the approved height and massing so that the building envelope remains very similar to the approved scheme. The proposals have been refined to provide a more modest scheme requiring less direct physical intervention within the building, the omission of works infilling the flytower and more appropriate uses than overnight accommodation.

Summary of proposed revisions

The key changes relate to the mix of land uses, and internal configuration as well as an amended design for the fourth floor roof extension and terracing. Each floor has been assessed in turn:

Basement:

- Layout changes to basement to facilitate toilets and storage space to the Hope and Anchor operation.

Proposed Ground Floor:

- The ground floor slab is to be replaced across the Hope and Anchor, Bayham Street and Bayham Place floorplate.
- The internal layout within the Bayham Place, Bayham Street part of the site will be redesigned to create an open plan circulation space. A breakthrough between the back of the stage and Hope and Anchor improves permeability. This open plan space can then be utilised for a range of uses to include reception desk and additional drinking/dining spaces for the Hope and Anchor Public House.
- The scheme will no longer provide for a boutique hotel (C1 Class), substituting some of the rooms for a private members club and associated ancillary uses.

First Floor:

- The first floor will now be fully utilised by the Hope and Anchor Public House. This also includes a function room to be utilised for private dining at the Hope and Anchor.
- The existing artists gallery which overlooks the stage, will be refurbished to enable access for music artists and private members to overlook the stage.
- Two new openings between existing pub and KOKO back of house will be created to improve the circulation for artists.

Second Floor/Third Floors:

- The second and third floors will be utilised for private members in association with the KOKO operation. Whilst the private members club will be run as a separate entity, it will be closely linked with KOKO. As the private members club will not be self contained, and have access into KOKO, we consider that it is recognised as an ancillary use to the music venue, although recognised as a sui generis use in its own right.
- This space can be utilised in a flexible way, with daytime uses including working spaces, meeting spaces, seminars spaces predominately for creative industries. The range of function rooms can also provide spaces for art exhibitions/screenings/classes etc.
- During the evenings, the spaces can be utilised for seminars, events, art exhibitions, readings rooms, leisure space, screening rooms etc.

The rooms also enable for relaxed dining and drinking for members only.

- The recording studio has been relocated to the third floor and enlarged to enable a better facility for the venue. The recording studio can also be utilised as a space for press and meet and greets at events. The recording studio will continue to be available to the local community.
- The scheme includes for a single suite, located on the Bayham Place elevation with associated terrace. The suite serves the same function as the executive suite in the consented scheme allowing for members and artists plus entourage to stay at the venue.
- Built mass is no longer sought along the Bayham Place elevation, which is to be now utilised for plant intake and extract equipment.

Fourth Floor:

- The fourth floor has been simplified to remove additional mass along Bayham Place. The Green roof is retained above the Hope and Anchor building.
- The consented skylobby has been redesigned to include additional openings within the glazed room. The skylobby is still to be used as a dining, drinking facility for private members. It retains the link between the Dome, which will be refurbished as per the consented scheme.

Key Planning Policy designations

Throughout the initial design phase we have taken into consideration the following documents in order to shape the scheme as it is now;

National Planning Policy Framework

The National Planning Policy Framework (NPPF) was adopted in March 2012 and is the national planning policy documents which guides plan-making and decision-taking. The NPPF includes a set of core planning principles at para. 17 which underpin plan-making and decision-taking. Core planning principle two states that planning should:

“Not simply be about scrutiny, but instead be a creative exercise in finding ways to enhance and improve the places in which people live their lives.”

Paragraph 21 advises that investment in business should not be over-burdened by the combined requirements of planning policy expectations.

Ensuring the vitality of town centres (para. 23) states:

“It is important that needs for retail, leisure, office and other main town centre

uses are met in full and are not compromised by limited site availability.”

Para. 58 sets out the criteria for good design quality and states that development should:

“Optimise the potential of the site to accommodate development, create and sustain an appropriate mix of uses...”

As the proposal also involves partial redevelopment and extension of a listed building within a conservation area the scheme has used paras. 128, 132, and 134 of the NPPF to inform the evolution of the design.

The London Plan

Alterations to the London Plan were published in March 2015. Relevant policies include:

Policy 2.15 (c) identifies the need to support the vitality and viability of town centres by introducing complementary uses.

Policy 4.5 which states that London seeks additional hotel rooms by 2036. The Plan supports further intensification of hotel rooms in areas of concentration provided that local amenity is protected. Equally this policy recognises that development should ensure that at least 10% of bedrooms are wheelchair accessible.

Policy 4.6 seeks to support and enhance provision of arts, culture, sport and entertainment.

Adopted Camden Local Plan (2017)

Camden Local Plan Submission Draft 2016 Policies

- G1 Delivery and location of growth
- H2 Maximising the supply of self-contained housing from mixed-use schemes
- C1 Health and wellbeing
- C3 Cultural and leisure facilities
- C5 Safety and security
- C6 Access for all
- E1 Economic development
- E2 Employment premises and sites
- E3 Tourism
- A1 Managing the impact of development
- A2 Open space
- A3 Biodiversity
- A4 Noise and vibration
- A5 Basements
- D1 Design
- D2 Heritage

- CC1 Climate change mitigation
- CC2 Adapting to climate change
- CC3 Water and flooding
- CC4 Air quality
- CC5 Waste
- TC4 Town centres uses
- T1 Prioritising walking, cycling and public transport
- T2 Parking and car-free development
- T4 Sustainable movement of goods and materials

Documents required for submission

In order to provide sufficient supporting information to make a determination, we would be pleased if you could confirm the suite of documents, we anticipate, will be required for a full planning and listed building consent application;

- Design and Access Statement, including Crime Impact Statement
- Heritage Statement
- Photographs
- Structural Report
- Statement of justification
- Schedule of works
- Planning Statement
- Sunlight and Daylight Report
- Regeneration Statement
- Sustainability and Energy Statement
- Transport Statement
- Servicing Management Plan
- Statement of Community Involvement;
- Landscaping proposals
- Waste storage and collection
- Lighting Assessment
- Noise impact assessment
- Noise, vibration and ventilation assessment
- CIL forms
- Application forms
- Full package of drawings
- Air Quality Assessment

I understand that a pre-application meeting is scheduled for 21 August 2017 and that representatives from Conservation and Transport will also be in attendance. If you require any further information, please do not hesitate to contact me.

Yours sincerely

A handwritten signature in black ink, appearing to read 'Nick Belsten', with a long horizontal flourish extending to the right.

Nick Belsten

Enc. Koko_Pre Application July 2017+ Appendix Stage 3 Work in Progress

Koko + Hope & Anchor, 1 Bayham St and 65 Bayham Place

Pre Planning Application
July 2017

" a great space is performance in progress."

ARCHER HUMPHRYES ARCHITECTS



Contents

Design & Access Statement
Archer Humphries Architects

Heritage Statement
Stephen Levant Heritage Architecture Ltd (SLHA)

Location Plan

Proposed Plans

Demolition Plans

Area Schedules

Structural Report
Heyne Tillett Steel

Mechanical, Electrical & Plumbing (MEP) Report
RTKA

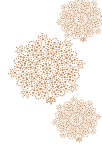
Noise Breakout Report
Scotch Partners LLP

Sustainability Report
Eight Associates

Traffic Statement
ADL Traffic and Highways Engineering Ltd

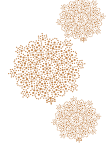
Appendix
Stage 3 Work in Progress

ARCHER HUMPHRIES ARCHITECTS



Design & Access Statement
Archer Humphries Architects

ARCHER HUMPHRIES ARCHITECTS



Archer Humphryes Architects Ltd
142 Central St
London
EC1V 8AR

PH: 0207 251 8555
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DESIGN & ACCESS STATEMENT

Job No: KKC
Job: Koko + Hope&Anchor, 1 Bayham St and 65 Bayham Place
Date : June 2017
Revision: B

Executive Summary

The proposed development comprises the sensitive refurbishment and extension to the block bounded by Camden High Street, Crowndale Road, Bayham Place and Bayham Street containing the Grade II Listed venue known as Koko, the abandoned Hope and Anchor Public House and a dilapidated corner building comprising of 1 Bayham Street and 65 Bayham Place.

The proposal will deliver part new and refurbished high quality entertainment accommodation, food and beverage spaces, recording studio and enhanced live music venue and performance space. These symbiotic uses will ensure the longevity of the live music venue and allow for the grade II listed building's refurbishment and maintenance.

The new building works along Bayham Street and Bayham Place are of exceptional design quality and will result in a significant enhancement of the buildings relationship and contribution to the character of the surrounding streetscape.

The original proposals for the site were submitted to the council in December 2016 and received consent on the 27th May 2017 under applications reference 2016/6959/P and 2016/6960/L.

The proposals have been revised to provide a more modest proposal requiring less direct physical intervention within the building, the omission of works in filling the fly tower which will be retained as a complete historic volume and a revised programme of uses omitting the overnight hotel room accommodation and introducing more compatible ancillary use to the existing venue.



Image 1: Indicative Proposed View 1 from Camden High Street

Contents

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2.0	Site and Context
3.0	Existing building
4.0	The Proposals
5.0	Design Proposal
6.0	Access
7.0	Crime Prevention
8.0	Schedule of Areas
9.0	Sustainability and Energy
10.0	Conclusion



Image 2: Indicative Proposed View 2 from Camden High Street looking down Crowndale Road



Image 3: Site location plan

1.0 Introduction

The site is located within Camden Town Centre and the Camden Town Conservation Area. It is made up of a cluster of buildings, which are located to the rear of Grade II Listed KOKO, formerly known as Camden Palace. These include, Hope & Anchor Pub, 65 Bayham Place and 1 Bayham Street.

Background, Context and History:

The building is Grade II Listed and was completed in 1900 by WGR Sprague who was a prominent theatre architect in London at the time. It has had a colourful history and has been a live music venue since the beginning of the 1970's. The building fabric has not been well maintained and the building is now in dire need of a refurbishment. Similarly the buildings surrounding KOKO have been recently occupied by squatters and have fallen into disrepair. Furthermore KOKO has also been threatened through various development proposals seeking residential use on the site. In these circumstances the conflicting use would directly threaten the operational hours and uses within KOKO.

The Brief:

The proposal for the development of the "KOKO block" including the Hope & Anchor, 1 Bayham Street and 65 Bayham Place has been put forward as a positive response to solve a number of social and physical difficulties that have blighted the site in recent years. Following its closure the Hope & Anchor has fallen into disrepair and dereliction and was until recently occupied by squatters misusing the building and preventing any possible positive connection with the neighbourhood. 1 Bayham St and 65 Bayham Place have suffered similarly and the site has only recently been relinquished from squatters, while the building remains in a derelict condition. In addition to these problems KOKO has also been threatened through various development proposals seeking residential use on the site. In these circumstances the conflicting use would directly threaten the operational hours and uses within KOKO. Seeking to address these issues KOKO and its owners have purchased both sites and have brought forward the enclosed proposals as a viable and long term solution and means to secure a long and stable future for the KOKO building. The property is large, old and delicate requiring a significant level of investment to maintain it as an important music venue as well as the upkeep to the fabric of the listed building.

Koko Private Members Venue:

The proposed private members venue is conceived as a separate building and business from KOKO, which both about the club and in certain areas penetrate its public areas. The proposed entertainment uses are both sympathetic and symbiotic to the KOKO venue. The private members accommodation is located on the 1st to 3rd floors and provides dining, lounge, functions rooms and accommodation for members, guests, artists and crew.

The Hope & Anchor:

At ground floor the reinstated public house provides bar and dining accommodation with an open kitchen in addition to a retail space.

The Dome:

The new wing will find its unique quality through the physical relationship of the public areas located on the upper floors. The first of these is the connection and opening up of the KOKO dome. This currently contains the original water tanks, but will be provided with entrances both from the theatre's second circle and the new rooftop lobby. The dome will provide a new bar and function room available to both KOKO, private members and guests.

The Rooftop Lobby:

The second new area open to the public is the proposed roof top lobby. This sits directly above the KOKO auditorium in a space created between the existing dome and the flytower and is currently used to house plant equipment. The roof top lobby is reached by two public lifts that lead directly off the ground floor reception. The lobby is contained by a glazed pavilion that provides dramatic views of the

KOKO dome and re-instated cupola as well as south over the west end and east across the city. The roof top lobby will be central to the Koko private members unique character, experience and the revenue projections under pinning the project's viability.

The Flytower:

The third unique space contributing to the development is the interior of the flytower; which can be viewed from below. This view shows the original sceneographic lattice, open queen post truss roof structure and the theatre's gigantic flywheel all of which are to be retained and displayed to visitors. Members will be able to appreciate the space and structure from the gallery bar, which occupies the historic gallery running around 3 sides of the open fly tower at the theatre's second floor level. The flytower will also be accessible from the Hope and Anchor and will be used to host events and booked diners services from the main kitchen and supporting accommodation. This will provide one of London's most distinctive and atmospheric theatrical spaces and is indispensable within the projects overall programme and inventory.

Other areas of connectivity between the theatre and venue are the second floor gallery, which leads directly to the boxes on the second circle and the rear staircase from the green room linking the green room with the Hope and Anchor and the theatre stage.

While the proposal to re-use an existing 19thC entertainment and leisure building has much in common with other intelligent, recent conservation projects, the brilliance of the KOKO project is that it sets itself apart by also maintaining the actual original use of the building, as an entertainment venue, as well as retaining and enhancing the physical fabric of the structure. Beyond the building's use and physical extension replacing derelict and redundant parts of the local street scape the development further enhances the over all character and quality of the conservation area, including the re-instatement of the dome's crowning cupola, retention of the Hope & Anchor and re-modelling of the Bayham St / Bayham Place corner building.



Image 4: Historical photograph of the Camden Palace facade



Image 5: Historical photograph of the Camden Palace facade



Image 6 : Proposed section AA through the dome, rooftop lobby, flytower and the Hope & Anchor.

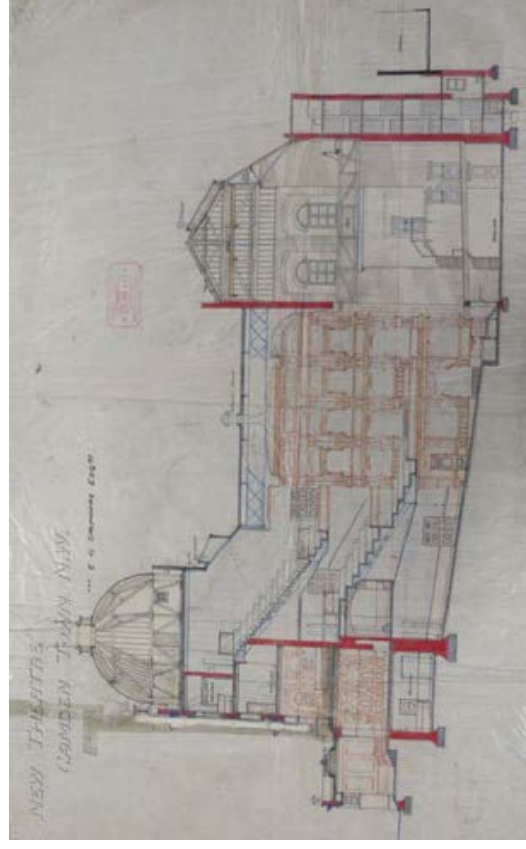


Image 7: Historical section AA through the dome, rooftop and flytower.

2.0 Site & Context

The KOKO venue and night club sits at the foot of Camden High St and marks the entrance to Camden Town when approaching from South along Hampstead Rd. The building is emblematic of Camden's character and place in London as a home to theatre events, music, artists and alternative culture and political thought.

The application site covers a range of buildings: the original Camden Palace now KOKO night club and music venue, the Hope & Anchor public house, 1 Bayham Street and 65 Bayham Place. Four roads, three of which are thoroughfares, surround the site: Camden High Street, Crowndale Road, Bayham Street and Bayham Place. Bayham Place defines the Northern edge of the site and provides access to the rear of the commercial buildings that sit to the north of KOKO on Camden High St and to the residential building opposite KOKO's north elevation.

The site has excellent transport links and is located opposite Mornington Crescent Underground Station, which serves the Northern Line (Charing Cross branch) as well as sitting in close proximity to a number of bus routes. The Site is PTAL 6b which is the highest rating for proximity to public transport.

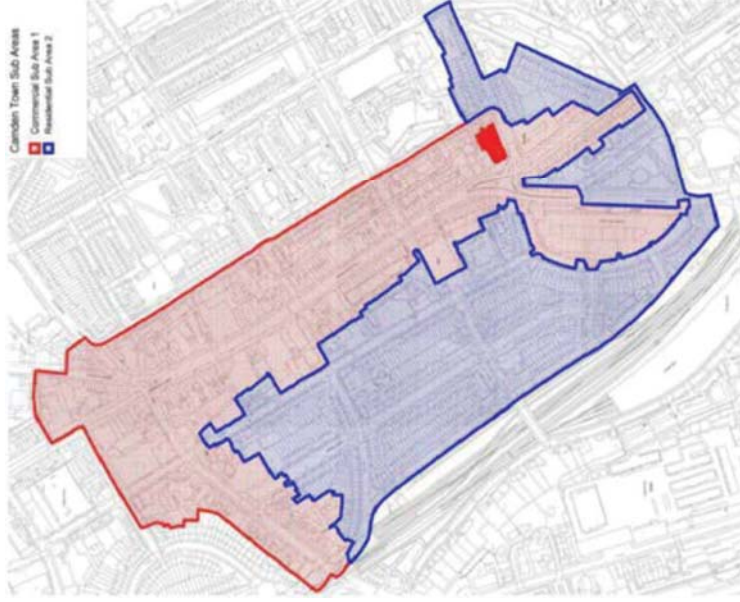


Image 8: Map of the Camden Town Conservation Area with the subject site highlighted red

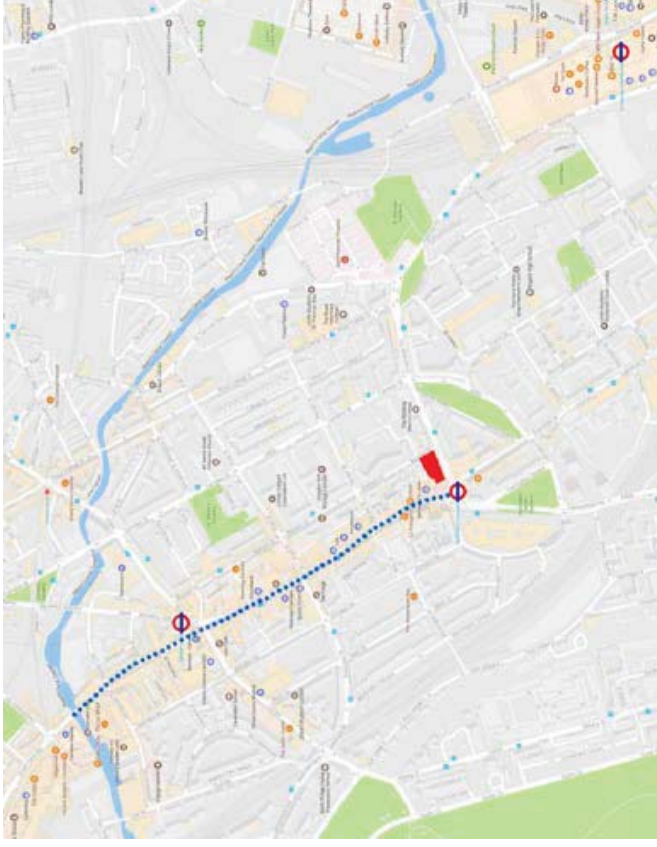


Image 9: Site context including Mornington Crescent and Camden Town tube stations, Camden High Street leading to the Camden Market



Image 10: PTAL map

3.0 Existing building

The building is Grade II Listed and was completed in 1900 by WGR Sprague who was a prominent theatre architect in London at the time. The building is a local landmark and focal point within the conservation area. The building's history as a venue is equally rich; closing as a theatre and opening as a cinema in 1928 before closing in 1940. The BBC took over in 1945 and recorded shows there including the "Goonies" and "Rhythm & Blues". The building became a music venue in 1970 from when it fell into an increasing state of disrepair. It opened as KOKO in 2004 from when it has remained central to London's live music and entertainment life. Today it acts as host to global music acts as well as continually supporting local and emerging talent in London and Camden in particular.

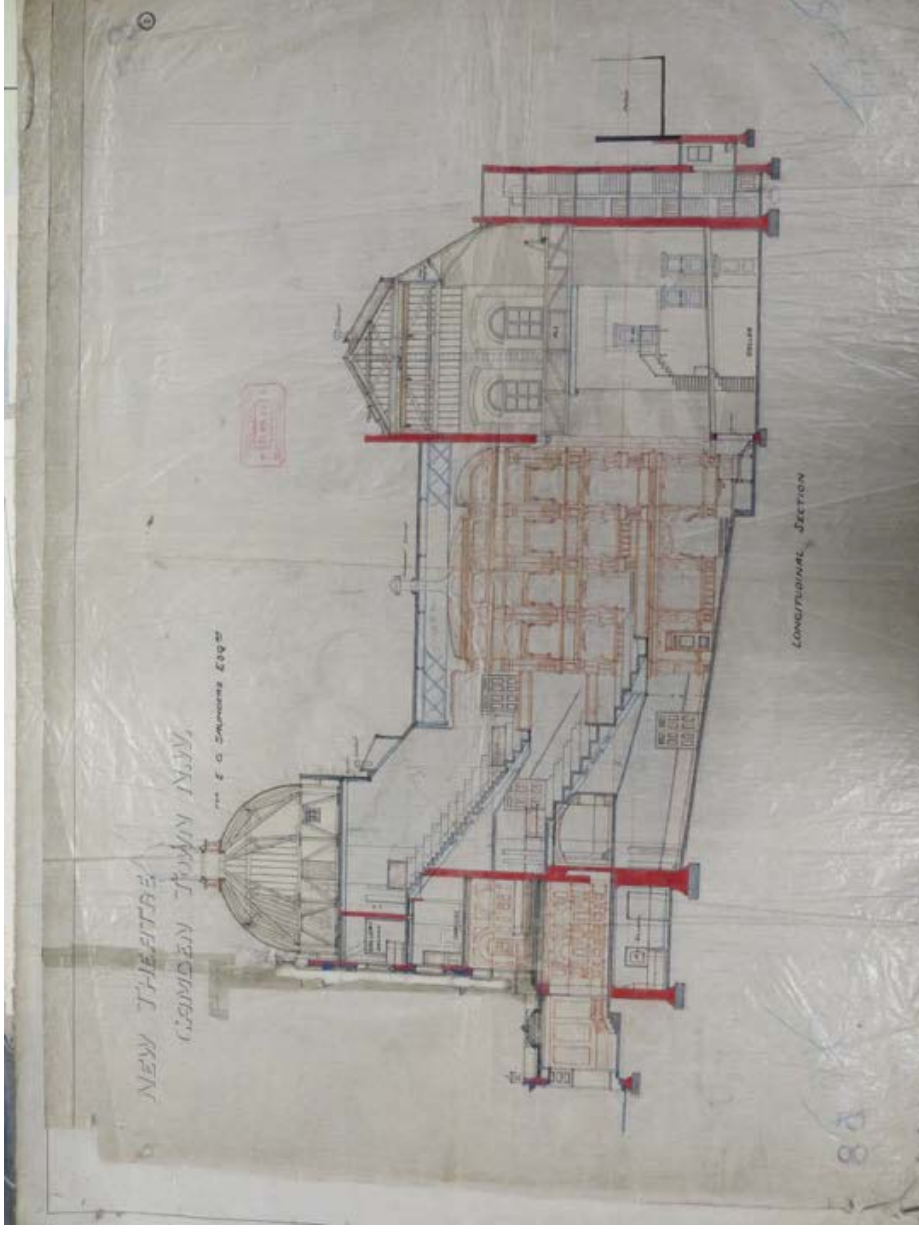


Image 11: Original drawing of section AA

4.0 The Proposals

Detailed items and benefits influencing the proposal include:

- A refurbishment and re decoration of the KOKO façade.
- The adjustment of the colour scheme to the Hope & Anchor.
- Detailed analysis and development of the infill façade to Bayham Street.
- The extension of the modern attic story from Bayham Place to the Bayham Street façade.
- Introduction of the ribbed glass panels on the Bayham Street and Bayham Place façade providing rhythm and texture.
- The carefully scaled window dimensions and selection of materials and details informing the positive contributor on the corner of Bayham Place and Bayham Street.
- The new infill façade recessed 200mm behind existing building line to maintain the memory of the original void.
- The increased set back of all glass balustrades from the façade of the building.

Variations from the original proposal include:

- The inclusion of two fabric canopies to the Camden High Street Façade and Crowndale Rd façade of the building at ground level to protect customers arriving and leaving the venues
- The retention of the existing door frames and fan lights to the theatre's 1st floor terrace
- The retention of the existing horizontal coping details at the theatre's parapet level
- Omission of the two levels of accommodation planned to occupy the fly tower and its retention in its original form. The removal of the accompanying steel frame and concrete pile foundations that supported the planned floors of accommodation.
- The opening up of a doorway linking the flytower with the Hope and Anchor public areas.
- The omission of dormer windows to the mansard roof extension of the Hope + Anchor.
- The addition of a roof top terrace area at fourth floor level addressing Bayman St.
- The omission of the hotel rooms and removal a storey of accommodation on Bayham Place , being replaced with mechanical plant and a lowered screen.
- Removal of the basement level below Bayham Place.

The result is a scheme that respects, enhances and secures the long-term future use of the historical building as a world leading music venue and leading cultural attraction.

5. Design Proposal

The following is to be read in conjunction with the drawings referred to in the heading and schedule of works.

5.01 AHA/KKC/GA/099 Proposed Basement Floor AHA/KKC/GA/098 Proposed Sub Basement Floor

- The external walls of the existing basements will be retained where possible and will be insulated and lined to make them water tight.
- The existing basement to the Hope & Anchor is to be excavated down to utilise existing footings and provide clear ceiling heights of 2120mm.
- The existing lightwell to the rear of Bayham St is to be excavated to receive the new concrete lift and stair core.
- The existing basement below the KOKO storage is to be retained including its existing staircase. The new core will also penetrate this area and provide access via the service lift and staircase.

5.02 AHA/KKC/GA/100 - Proposed Ground Floor

- The front entrance, staff entrance and means of egress to KOKO are to be retained as existing. The ground floor perimeter walls to the Hope & Anchor and 1 Bayham St are to be retained. The green glazed brick facade to the Hope & Anchor is to be protected, made good, repointed and cleaned. New fixed fabric canopies are fitted to the Camden High St and Crowndale Rd elevations of Koko to protect people when arriving and leaving the venue. The canopy to the Crowndale Rd elevation agrees with the stripped elevations of the auditorium and flytower.
- The Hope & Anchor and Bayham St will be fitted with new joinery doors entrance doors
- The existing internal walls and partitions will be removed to form the new cooking, retail and ancillary spaces and Hope & Anchor public areas. The new core incorporating the 2no. lifts, escape stair and risers will be formed adjacent to the KOKO party wall at grid line 10 and between E+G.

Ref. AHA/KKC/GA/100

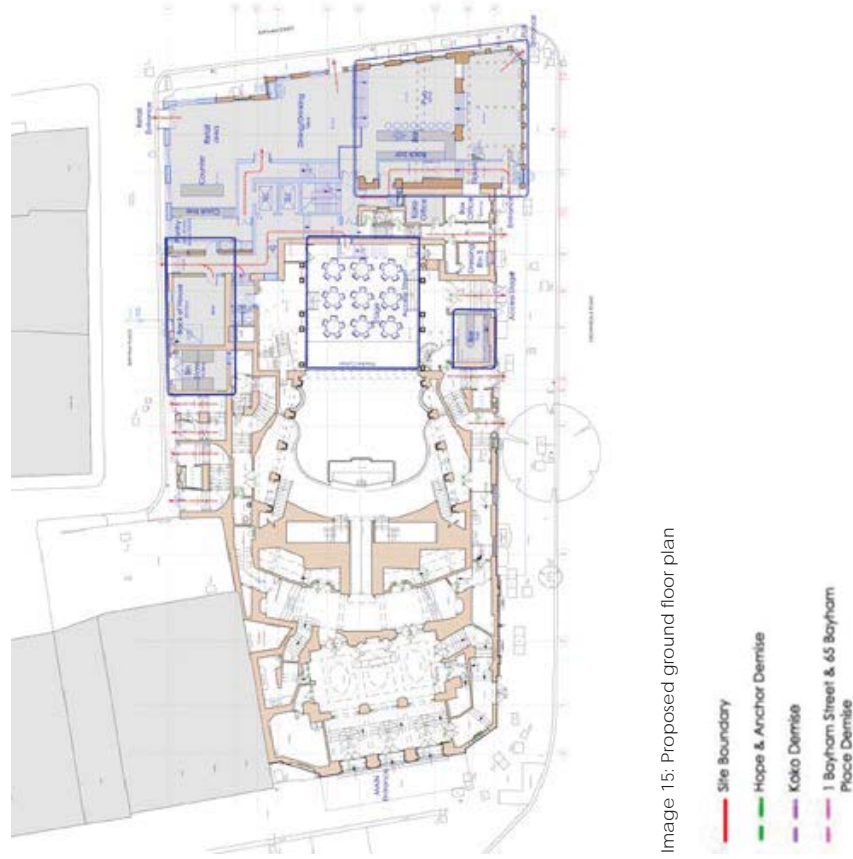


Image 15: Proposed ground floor plan



Image 16: Indicative Proposed view 6



Image 17: Existing view 6

- The existing 3 storey building on the corner of Bayham Street and Bayham Place is to be removed. It is of little architectural merit and is currently derelict. While its architectural detail and condition are poor it is important in respect of its visibility when descending south down Bayham St. Its prominence as the corner building of the "KOKO" block means it is significant in regards to Bayham St as well as its overall contribution to the general townscape. A new 3 storey brick building will replace the existing. This will reflect the scale and detail of the buildings to the east on the continuation of Bayham Place which are former 19thC Plano workshops. Large casement windows are set within a punctured brick façade. The brick lintels are sprung and the brick coursing is Flemish bond. The upper part of the new building will be built in reclaimed London stock bricks to match the adjacent building 1 Bayham Place and the existing GF walls of KOKO to be retained to the west along Bayham Place.
 - The ground floor will be finished in black/blue engineering bricks forming a plinth. Both materials agree with the expression of the side elevation of the theatre and corner public house and so provide a clear distinction from the surrounding architecture of the domestic residential terraces. Ref. AHA/KKC/GA/100, AHA/KKC/GA/101, AHA/KKC/GA/102 + AHA/KKC/GA/103
 - The corner building provides the venues second entrance and retail area. The corner entrance door is clearly expressed within the block with a glazed double height door. The door is visible as you move down Bayham Street due to the projection of the block from the neighbouring buildings.
 - The remainder of the ground floor along the Bayham Place appears as the retained façade of the KOKO building, this elevation is in fact comprised of the original walls of the Bayham Place plano workshops predating the KOKO's original construction. This provides support areas for the new wing including the service entrance, the required bin store, associated accessing arrangements and the exit doors from the various escape stairs that discharge into Bayham Place from the KOKO auditorium. Ref. AHA/KKC/GA/100 +
- 5.03 AHA/KKC/GA/101 - Proposed 1st Floor
- The upper floors and interior partitions to the Hope & Anchor, Bayham St and Bayham Place buildings will be retained. The external roof terrace at the corner of Crowndale Rd and Bayham St will be removed and replaced with a new asphalt roof finished in timber decking. Ref. AHA/KKC/GA/101 + AHA/KKC/PR/203
 - The existing windows to the Hope & Anchor above ground floor will be retained and made good. The building's first floor will provide Hope and Anchor dining accommodation.
 - The Hope & Anchor extends north along Bayham St at ground floor level. This leaves a "tooth gap" within the upper façade between the public house and 1 Bayham St. This elevation will be completed with a new construction above the ground floor, recessed to sit behind the building line established by 1 Bayham St and 65 Bayham Place. It will separate itself from the Hope and Anchor building using this 200mm set back and by replicating the size of the Hope & Anchor windows but treating them as a more modern double hung window. The façade will be new London stock brick. These elements together will create the effect of a set back infill ghost of a building referencing those adjacent, yet remaining markedly modern. Ref. AHA/KKC/GA/101, AHA/KKC/GA/102



Image 18: Indicative Proposed View 5 from Bayham Street



Image 19: Existing View 5 from Bayham Street

- The façade of 1 Bayham St is retained, brickwork will be made good and modified as required to agree with the surrounding new build structures. The Bayham St building and 65 Bayham Place, contains the dining room and function rooms above.
- The kitchen and back of house accommodation extends at 1st floor along Bayham Place within new construction which completes the upper floors of the Bayham Place elevation between the western domed mass of KOKO and the new Bayham Place corner building. The elevations are markedly modern providing a clear identity to the new wing and in contrast to the existing 19th Century buildings which form the block's external facades. The building is formed within a grid of expressed steel beams and columns forming a rhythmic elevation. The grid is in filled with industrial steel glazing, ribbed in sections for privacy and green glazed brick spandrel panels which match the ground floor of the Hope & Anchor while indicating the consecutive storey heights. The building steps back at its 3rd and 4th floors which at once allows it to read as agreeing in scale with the building opposite and while providing the opening view of the sky with KOKO's re-instated cupola when looking down Bayham Place.
Ref. AHA/KKC/GA/101 + AHA/KKC/GA/102 + AHA/KKC/GA/103 + AHA/KKC/GA/104 + AHA/KKC/GA/203 + AHA/KKC/GA/204
- A new opening will be formed at the end of the internal corridor leading to the north balcony of KOKO's stage giving private members direct access for KOKO events. The function room at the 1st floor corner of Crowndale and Bayham also provides direct access to the KOKO's southern artists gallery.
Ref. AHA/KKC/GA/101

5.04 AHA/KKC/GA/102 - Proposed 2nd Floor

- Works to the Hope & Anchor, Bayham St and Bayham Place at second floor level are similar to those proposed at 1st floor including the bathroom accommodation for floors 1 to 4.
- The existing flytower will be carefully retained. The two modern dropped ceilings sitting within the flytower will be removed and its original spatial importance and character will be re-instated. Guests will be able to use the fly tower for dining and events when the stage is not in use by means of a new door linking the Hope and Anchor to the stage area. Visitors will then be able to appreciate the volume, scenographic equipment and dramatic roof light above. This will significantly enhance the use of the building as the venue can be used either for music or entertainment through out the week.
Ref. AHA/KKC/GA/300 + AHA/KKC/GA/303
- The existing exposed brick work within the flytower will be retained on all 4 internal walls. The retention of the north and south timber galleries and scenographic equipment currently lining the walls will be appreciated from the gallery bar at 2nd floor level which will in turn give guest access to the boxes.
- The KOKO dressing rooms remain at third floor level and link both directly to the artist gallery below and the green room and stage via the existing staircases.
- The KOKO suite and recording studio is also at 3rd floor level. These are carefully located to sit within the new mansard roof with the new construction accommodating the carefully constructed and insulated "box within a box" required to protect the space acoustically as well as prevent noise spillage.



Image 20: View within the flytower looking up through scenographic equipment, lattice and mansard roof.



Image 21: View within flytower showing scenographic equipment

5.05 AHA/KKC/GA/103 - Proposed 3rd Floor

- The dramatic impact of inhabiting the flytower is fully realised at 3rd floor level. Here the single volume is laid out below the scenographic lattice. 3no open queen post trusses support the flytower roof and the original giant fly wheel required to operate the various sets and safety curtains are all retained as are the various pegs and props that adorn the tower's perimeter walls, which all remain on show. Added drama is provided via the restored glazed roof lights allowing natural light to filter through the lattice to illuminate the room below. In order to better effect the passage of light and the appreciation of the equipment and roof structure above, every second plank of the lattice below the skylight will be removed and set aside for later reinstatement if required.
- The fly towers slate roof cladding will be repaired re-using existing slate where possible and using reclaimed slate to match where required.
- Beyond the confines of the flytower the 3rd floor of the Hope & Anchor is formed by the creation of a new mansard roof clad in welsh slate. This accommodates a recording studio and is subject to a previous consent granted in 2014 ref 2014/2621/P
- The new build northern elevation of the 2nd floor provides both bathroom accommodation and a screened plant enclosure incorporated within the building's envelope. This allows the roof to be aside of the rooftop lobby & flytower and essentially retain the existing roof scape and silhouette of the flytower's mansard form.
Ref Views 3 + 4

5.06 AHA/KKC/GA/104 - Proposed 4th Floor

- The entirety of the new 4th floor roof extension is given over to the venues private members and their ancillary requirements. The lobby is located at roof level in the form of a carefully scaled glazed conservatory. It is located between the dome and the fly tower. It is subordinate in size to the dome and is proportionate to the KOKO auditorium elevation sitting above the adjacent flytower. This creates a roof silhouette of separately conceived diminishing objects descending consecutively from the dome, the pavilion and the flytower to the roof terrace located on the corner near the Hope & Anchor. This in turn steps down to agree with the domestic terraces running east along Crowndale Rd.
Ref. AHA/KKC/GA/201
- The new pavilion is set 5m back from the existing roof parapet which further diminishes its impact when viewed from Camden High St and looking East along Crowndale Rd .
Ref. Views 1 + 2



Image 22: Indicative Proposed View 3: from Crowndale road



Image 23: Existing View 3: from Crowndale Road

- The pavilion is visible when looking west along Crowndale Rd where it acts to fill the existing gap in the roof scape between the dome and the flytower. Its scale and proportion mean that it never interrupts the long views of the dome which is itself enhanced with the re-instatement of its original timber and lead cupola. The pavilion is formed with an exposed steel frame clad with a patent glazed roof and crittall doors and windows. These agree in both detail and materiality with the host building. While viewed from the street the pavilion enhances the roof top composition, while viewed from within it offers the drama of both close up views of the dome and flytower and long views looking south to the west end and to the city skyline to the east.
Ref. to View 8
- The interest and atmosphere of the 4th floor is further enhanced by the staircase connection which leads from the roof top pavilion to the KOKO dome, approximately one storey above. Within the dome the existing water tanks will be removed and the existing structure revealed to the public who will gain access from both a new staircase connecting to the KOKO auditorium as well as the staircase link to the pavilion lobby area. Both staircases are required by building code to provide safe means of egress both from the dome and from the 4th floor public areas.
Ref. to View 3

5.07 AHA/KKC/GA/105 - Proposed Roof Plan

- The revised roof plan forms a linear composition of each of the proposed new areas, diminishing in height from the existing KOKO dome to the pavilion, the flytower and the rooftop terrace with its accompanying lifts and ancillary structure.
- The copper work to the dome will be made good and repaired as required. The original cupola illustrated on the original architect's drawings and early photographs will be reinstated completing the theatre's architectural composition and roofline.
- The Rooftop lobby, one storey below the dome rests on a plinth set above the existing roof of the KOKO auditorium. The pavilion has a hipped pitched roof and the roof is entirely glazed. The structure is supported by 2no. 2 meter deep vierendeel trusses from which the new floor and roof joists span.
- The trusses are supported on 4no. new columns threaded through the existing structure. The 2no columns supporting the eastern truss descend through the building sitting behind the reveals of the proscenium arch.
Ref. AHA/KKC/GA/100
- The columns supporting the western truss are located along grid line 3 and are chased within the depth of the wall where possible enclosing the auditorium perimeter. They sit on the external face of the existing wall to avoid any disturbance to the internal auditorium decoration and finishes.
Ref. to engineer's detailed report
- The flytower retains its original form and profile and its ridge sits a further 2m below the ridgeline of the pavilion building.
- The roof scape above the Hope & Anchor is set 5m back from the parapet of the mansard roof addressing its Bayham St elevation. The staircase enclosure providing roof access raises 1100mm above roof level forming a surrounding balustrade and minimises its impact when viewed looking west.
Ref. View 3



Image 24: Original architect's drawing of the front façade

- The lift core reaches roof level at the north east corner of the building and is similarly set back 5m from the roof parapet addressing Bayham St. Access from the lift core to the roof top lobby is via a glazed gallery set back 4.2 meters from the 4th floor parapet which in turn is set back a further 3 meters from the building line. This arrangement provides views of the re-instated cupola when looking into the mews from Bayham St and also respects the roofline of the residential building opposite on the north side of Bayham Place.
Ref. View 5+6
- 5.08 AHA/KKC/PR/200 - Proposed Camden High St Elevation
 - The ground floor of KOKO will be painted off white making good a black plinth along the lower portion of the façade.
 - At first floor level the terrace planters will be removed and the roof lights to the entrance lobby provided with new glazed enclosures. The existing fanlights will be retained and made good and doors replaced to match the architect's original drawings.
Ref. Image 12
 - Modern casement windows will be replaced in line with the architect's original drawings.
 - The copper dome will be refurbished and damaged panels replaced where required with pre-patented copper to match the patina. The Dome will be crowned with the re-instatement of the original timber and lead cupola.
 - The façade will be redecorated between the 1st and the attic storey above the pediments.
- 5.09 AHA/KKC/PR/201 - Proposed Crowndale Rd. Elevation
 - Parapets and cornices will be made good, the superfluous SVPs and RWP's will be removed and the walls made good and the ground floor will be re decorated.
 - A clear frameless glass balustrade will be added, set back behind the parapet at roof level. It will be fixed behind the existing parapet set back 150mm from the inside face of the parapet so as to appear less prominent when viewed from below.
Ref. Views 2, 3 + 4
 - The new glass pavilion at 4th floor level is set 5m back from the existing parapet. The pavilion rises 2.8 meters above 4th floor level to the eaves line and the new ridge level is 5290m above FFL.
 - The pavilion is placed symmetrically within the confines of the Crowndale Rd auditorium elevation
 - The dark green glazed brickwork of the ground floor of the Hope + Anchor will be retained and refurbished including the integral signage and advertising within the fascia on both the Crowndale Rd and Bayham St elevation. The upper floors will receive a painted finish and the joinery sash windows will be retained.
 - The new mansard attic storey within the Hope and Anchor will be clad in welsh slates.

5.10 AHA/KKC/PR/202 - Proposed Bayham St Elevation

- The Bayham St elevation is comprised of 3 no buildings. The Hope & Anchor, 1 Bayham St and 65 Bayham Place. The existing facades of the Hope & Anchor including the glazed brick, ground floor windows and stucco finishes are retained and made good. The upper floor retains its advertising board for beers and ales, which adds to the character of the elevation. The new mansard roof is located above the existing pub premises and the existing gap in the facade above the ground floor adjacent to 1 Bayham St is completed. This is detailed to match 1 Bayham in London stock brick and stucco with joinery sash windows.
- The existing ill proportioned mansard and dormer window on 1 Bayham St will be removed alongside the existing 2 storey plus mansard structure forming the corner of Bayham St and Bayham Place.
- The new corner building forms a complete 3-storey structure. The building's brickwork and window openings are scaled and detailed to agree with the 19C piano workshops indigenous to the area. The brickwork to the upper stories will be London stock brick matching the adjacent buildings. The ground floor is expressed in a black/blue engineering brick and provides a plinth in keeping with the ground floor of the Hope & Anchor. This creates a building, which agrees in scale with Nos. 1-3 Bayham St and provides the lowest element of the streetscape forming the KOKO block. However, the building agrees in character with the commercial uses of the theatre and Hope & Anchor and is set apart from the domestic terrace buildings along Bayham St and Crowndale Rd.
- Set back above the building it is possible to read the 3rd floor return elevation of the new private members suite & lounge and behind that KOKO's dome and reinstated cupola.

5.11 AHA/KKC/PR/203 - Proposed Bayham Place Elevation

- The most significant intervention within the block is expressed on the northwest elevation to Bayham Place. The removal of 65 Bayham Place and its replacement both reinforces and enhances the Bayham St / Bayham Place corner condition. This also provides a point of entry. This is defined by the fully glazed door and 1st floor window within the building's end bay, which belong to the building's double height vestibule within.
- The rear elevation of the KOKO building cascades down along Bayham Place from the high point of the dome to the single storey storage areas and escape doors where the building currently terminates. The void above is currently home to plant equipment and other shambolic and dilapidated structures.
- The proposed elevation retains the original mews brickwork walls and KOKO's escape staircases, which mark the theatre's presence and character and complete the former void with a new wing of private members amenities and new plant above.
- The building contrasts in its expression and is detailed in steel and glass both clear and ribbed and with glazed brick spandrel panels. While the large areas of glazing and exposed structural steel frame indicate both the new use and contemporary nature of the extension the glazed brick work and dark palette agree with the tone of the Hope & Anchor and KOKO elevations. Thus allowing the new wing to sit harmoniously within the overall KOKO block and read comfortably alongside the 19C warehouse building directly opposite.

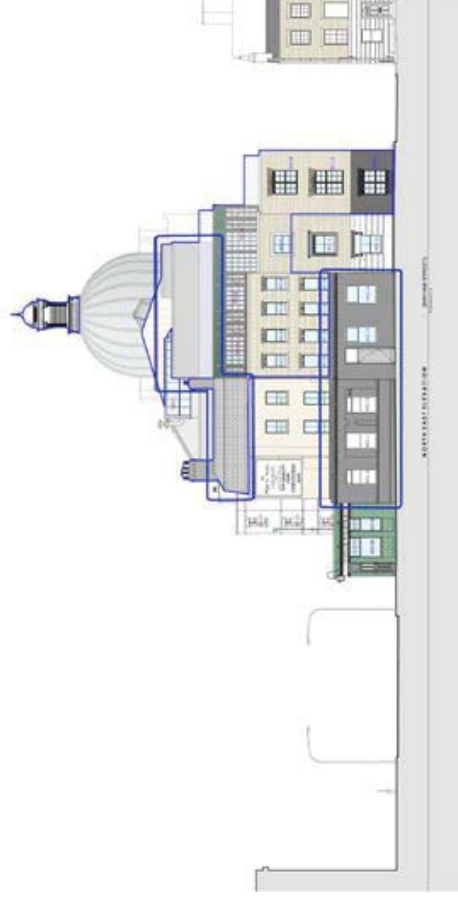


Image 25: Proposed Bayham Street Elevation

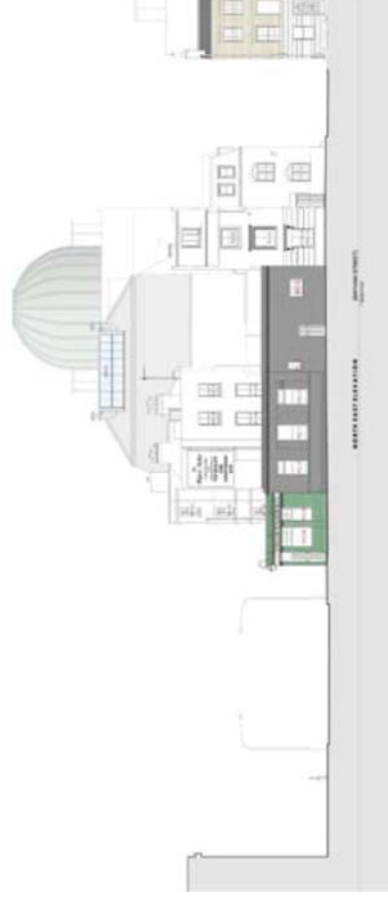


Image 26: Existing Bayham Street Elevation

- The scale of the new wing is diminished stepping back at both 3rd and 4th floor levels to reveal a glazed gallery at roof level that connects the lift core to the Rooftop lobby. The building's stepped section also respects the views looking down Bayham Place where the reinstated cupola is visible. When viewed further back from both Bayham St and Kings Terrace the long views retain both the view of the dome and replaced cupola completing KOKO's architectural composition and significance both with in the site and the conservation area as a whole.
Ref: views 5, 6+7



Image 27: Proposed Bayham Place Elevation



Image 28: Existing Bayham Place Elevation

6.0 Access

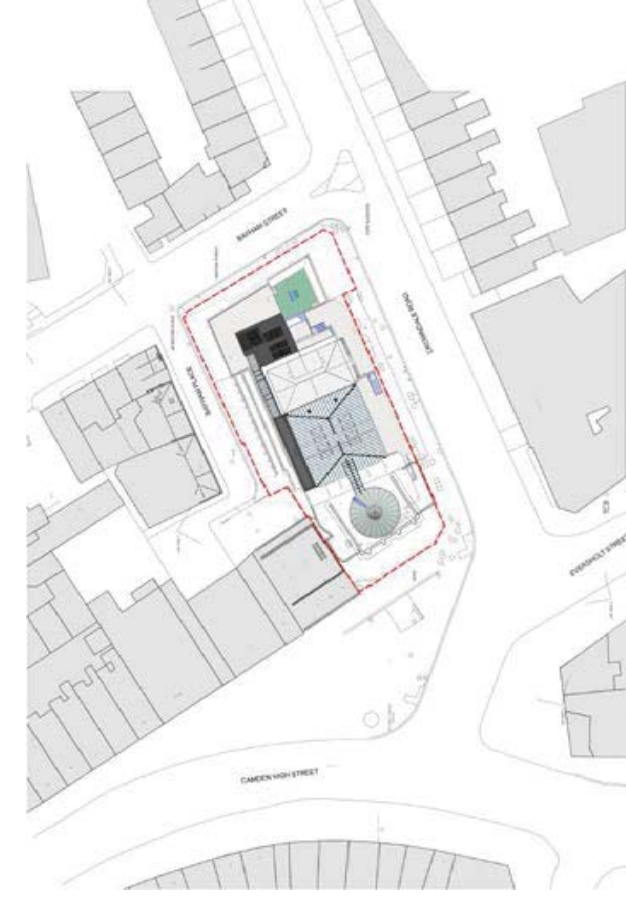


Image 29: Proposed site plan

- 6.01 Visitor access to KOKO, will remain via the front entrance on Camden High St. The stage door on the south elevation addresses Crowndale Rd and the staff entrance and box office sales window marks the end of the KOKO Crowndale road elevation. The Hope & Anchor, which is currently derelict is served by 4 entrances. A new entrance adjacent to the box office, a prominent corner entrance at the intersection of Bayham St and Crowndale Rd, an entrance on the corner of Bayham Place and a further service entrance to the north on Bayham Place. There is also a pavement hatch on Bayham St that provides access to the existing beer cellar. Numerous existing escape stairs from the KOKO auditorium discharge directly into Bayham Place via push bar operated double doors along the remainder of KOKO's north facade.
- 6.02 Disabled access to the buildings is very poor and involves mounting stairs at each of the existing building's entrances. The buildings have no means for wheel chair users to travel between floors. A removable ramp is available for visitors to mount the existing stairs at KOKO's entrance. Due to the buildings Grade II Listed status internal lifts would cause damage to the historic fabric.
- 6.03 Within the proposal access to KOKO will remain as existing. Access to the Hope & Anchor will be via the principle entrance on the corner of Crowndale Rd. Furthest away from the residential dwellings to the east. The open kitchen occupies the North East rooms of the ground floor footprint of the Hope & Anchor and has a dedicated entrance at street level. These new entrances are at grade and as such completely accessible.
- 6.04 The Private members entrance is on the junction of KOKO and the Hope + Anchor. A dropped kerb at the pavement to Bayham Place allowing wheelchairs direct access to the buildings from the corner entrance of Bayham St and Bayham Place.
Ref AHA/KKC/GA/100
- 6.05 2no. 13 person lifts service all five floors in addition to the basement, the southern car also serves the lower basement level. There are 3no separate disabled WC provisions located in the basement, 1st floor and 4th floor, all of which can be accessed via the lifts.
- 6.06 Maintenance to the external elevations and roofs will be via cherry picker.

7.0 Crime Prevention

5.01 All communal entrance doors and opening windows on ground access levels will be to a security enhanced standard and monitored at all hours.

5.02 The doors leading to cycle parking, including the lift, will have fob control and self closing latches.

5.03 Consideration will be given to CCTV and alarm systems.

5.04 Consideration will be given to lighting. The client envisages a submittal of a future planning and listed building application covering proposed signage and lighting. This will provide high level signage for the theatre and pub in line with the buildings uses and characteristics and a comprehensive study of lighting and way finding requirements for pedestrians interacting with the building and its various public and private entrances and doors. Careful attention has been given to the design and management of doorways within the scheme deterring vagrants or problems of urination.

5.05 The project will be subject to a site wide management plan submitted with the application.

5.06 KOKO currently works with Camden Police Licencing on the 'Quiet Streets' initiative, this will continue and encompass the new food buildings.

5.07 The venue will be a member of Camden Business Against Crime as is KOKO currently, all security personnel will have CBAC radios and can communicate with Camden Council CCTV, Police and other venues that are members of the CBAC to prevent crime and disorder in Camden.

8.0 Sustainability and Energy

The proposal can be split into two parts, the refurbishment of the Grade II listed Koko building and the redevelopment of The Hope & Anchor, 1 Bayham Street and 65 Bayham Place. It is proposed to renew the out-dated services within Koko and improve the thermal performance of the building wherever possible unless doing so "would unacceptably alter the character or appearance of the building" in accordance with Section 3.1 of Part L2B of the Building Regulations. The redevelopment of The Hope & Anchor, 1 Bayham Street and 65 Bayham Place and the extensions to Koko will all be constructed in accordance with Part L2B of the Building Regulations.

For further information on Sustainability and Energy please refer to the Sustainability Report prepared by Eight Associates submitted with this application

9.0 Materials

KOKO facade:

- Existing render façade made good.
- Redecoration throughout.
- Existing doors to be stripped to varnished natural timber finish, new door sand windows to match original.
- Cupola reinstated with carved timber detailing and paint finish with lead roof and finial.
- Existing copper dome retained, repaired and made good where required.

Rooftop Pavilion:

- Formed with black gloss crittal windows and patent glazed steel mullions, refer to architects drawing AHA-KKC-DET-530 for details.

Flytower:

- Retained slate roof to be repaired and made good with reclaimed slate to match existing where required

Hope & Anchor facade:

- Existing glazed brick to be retained and made good
- Terracotta fascia and lettering retained and made good.
- Existing windows retained at ground floor, made good eased and adjusted.
- Render finish to upper floors made good.
- New welsh slate mansard roof

Infill building (1st and 2nd Floor between the Hope & Anchor and 1 Bayham Street)

- New London stock brick detailed with Flemish bond and a struck mortar joint
- Gauged brick lintels
- Timber frame double hung windows

1 Bayham Street

- Existing London stock brick facade made good with reclaimed London stock brick as required
- Existing windows to be reinstated with openings adjusted to agree with new floor levels.

65 Bayham place

- Black engineering brick base with reclaimed London stock brick upper floors
- New timber framed casement windows.
- Arched brick lintels

Bayham Street Building

- Exposed rolled steel sections
- Crittal glazing with portions of ribbed glass
- Glazed tile spandrel sections
- Metal louvers surrounding plant

5. Conclusion

The Koko project will perform within the immediate neighbourhood as well as within London's arts and entertainment life in a number of important respects. The Koko club and venue will be supported and thrive retaining its reputation as one of the capitals few preferred independent live music venues for an audience of 1500 people. Alongside the entertainment use the hospitality element of the project will provide Camden and London with a unique venue and experience for music lovers wanting to relax over longer periods of time. The projects conservation goals include the refurbishment and making good works to Sprague's flamboyant façade, iconic dome and reinstatement of the cupola. The project will simultaneously make an important contribution to the improvement of the conservation areas; including the retention of the Hope & Anchor, its careful extension, infilling holes on Bayham Street and the replacement of the derelict corner building at 65 Bayham Place. The projects architectural ambitions are fulfilled with the carefully considered and scaled pavilion sitting delicately between Koko's dome and flytower and the more powerfully expressed contemporary façade intervention above the retained industrial buildings in the typical Camden muse on Bayham place. Holistically the refurbished dome and cupola, repaired facades and new elements of the building will provide a dynamic entertainment and hospitality hub within a gateway building in London's unique Camden town and market.

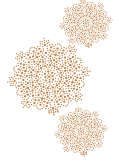
5. Appendices

A. Area Schedule:

LOCATION	Existing Gross External Area	Area Gain	Proposed Gross External Area
	Square Meters	Square Meters	Square Meters
Lower Basement	323	26	349
Basement			
Ground	1285	25	1310
First	1588	14	1602
Second	1222	145	1367
Third	1012	287	1299
Fourth	935	343	1278
	209	574	783
Total	6574	1414	7988

Heritage Statement
Stephen Levant Heritage Architecture Ltd (SLHA)

ARCHER HUMPHRIES ARCHITECTS



HERITAGE STATEMENT

To support Pre - Application for
Planning and Listed Building
Consent for:

The Hope Project

Koko - 1A Camden High Street, Hope and
Anchor Public House- 74 Crowndale Road, 1
Bayham Street and 65 Bayham Place

July 2017



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The Hope Project, Camden, London – Heritage Statement

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1.0 INTRODUCTION

1.1 Aim of this Report

Koko, originally named Camden Palace Theatre, is a grade II listed building located within the Camden Town Conservation Area, in the London Borough of Camden. The buildings at Bayham Street and Bayham Place and The Hope & Anchor pub are part of the proposals under this application. The buildings are adjacent to the rear of the theatre. They are not included in the grade II listing, but are 'positive contributors' in the Camden Town Conservation Area Appraisal, 2007.

Koko is an internationally renowned music venue and a significant contributor to Camden's cultural identity. The Hope & Anchor closed some time ago and is currently vacant.

In December 2016, listed building consent (2016/6960/L) and planning (2016/6959/P) applications were registered and taken to committee in May 2017. The decision to grant both planning and listed building consent was unanimous.

The above LBC and planning applications were for the following development:

"Erection of 4 storey extension above north west side of 1A Camden High Street (Koko) and erection of 5 storey building with basement following demolition of 65 Bayham Place and 1 Bayham Street (retention of façade) to provide 32 bedroom hotel, mansard roof extension to 74 Crowndale Road, conversion of flytower to recording studio and hotel use (with retention of original theatre equipment), creation of terraces at 3rd and 4th floor level,

erection of 4th floor glazed extension above roof of Koko to provide restaurant and bar to hotel, minor reconfiguration to circulation space within Koko, conversion of Koko dome to a private bar and refurbishment and restoration of Koko."

This report has been produced to inform the alterations and additions to the above approved scheme. It sets out a brief description of the proposed alterations and their impact on the buildings and townscape.

There is further information about the site's background, historic development, characterisation appraisal, significance assessment, map regression and local and national policy considerations from the Heritage Statement prepared for applications 2016/6960/L & 2016/6959/P. See Appendix 1.

The design brief for this scheme will bring the buildings together cohesively making more efficient use of the space available and opening more of the buildings up for public use.

1.2 Reference to other documentation

This report is to be read in conjunction with the Design and Access Statement and drawings prepared by Archer Humphryes Architects, the Planning Statement by Indigo Planning, structural drawings by Heyne Tillett Steel and M&E drawings by RTKA.

1.3 Authorship

This heritage statement has been prepared by Stephen Levrant Heritage Architecture Ltd, which specialises in the historic cultural environment.

- Stephen Levrant – Principal/Architect
- Francesca Cipolla – Senior Associate and Architect
- Josephine Roscoe – Architectural Conservation Consultant

1.4 Summary

- The subject site at 1A Camden High Street is a grade II listed building in the Camden Town Conservation Area. It was originally a theatre; then it became cinema; and it is now a music venue.
- The building, situated at a junction, is a local landmark; and thus, it is a positive contributor to the historic character and townscape of the conservation area.
- An assessment of the significance of the site concludes that, despite having been altered over the years, Koko possesses high historical, evidential, aesthetic and communal value. The Hope & Anchor and Bayham Place possess medium to low historical, evidential, aesthetic and communal value, with exception of the Hope & Anchor, which has high communal value.
- The overall impact on the new proposals is considered to be mostly negligible, as much of the work is limited to the new build. The impact on the historic fabric is generally minimal and there are numerous omissions in this proposal that are considered to be an improvement from the previous scheme. This will be discussed in further detail in the impact assessment.

1.5 Area Surveying

Two surveys will be undertaken as part of the assessment of the historic fabric of the building. This is to ascertain the provenance of the fabric and its condition.

Survey 1: Assessment of the concrete slab over the auditorium.

The aim of this is to certify the date of the slab and the trusses and the make-up of the fabric. This is to be confirmed.

Survey 2: Assessment of the plaster ceiling over the auditorium.

Due to the proposed works in this application, the plaster ceiling is at risk of damage during and after the works. Plaster specialists Rod Pratt and Jim Thompson visited the site on 15th June 2017 to inspect the plaster ceiling from above. In summary, the ceiling is fibrous plaster and in good condition with stable supports (reinforced at the centre piece).

2.0 PROPOSED WORKS AND OUTLINE IMPACT ASSESSMENT

2.1 Summary of Proposed Works

In summary, the proposed changes to the consented scheme (2016/6960/L & 2016/6959/P) are as follows:

Koko:

- Addition of two canvas canopies, one to the front elevation and one facing Crowndale Road;
- Additional signage to Camden Street and Crowndale Road facades;
- Omission of the superstructure proposed over the stage to support the fly tower lounge;
- Roof terrace area over the BOH;
- Reconfiguration of circulation (back of house, BOH, space) to the northern elevation of the site; and
- Spaces to be used for recording studios and gallery/bar areas.

The Hope & Anchor:

- Glazed bricks at ground floor level to be retained and cleaned;
- Early/original windows to be retained at first and second floor levels;
- Omission of dormer windows in the proposed mansard;
- Retention of existing fenestration to ground floor (facing Bayham Street); and
- Reconfiguration of internal layout.

65 Bayham Place and 1 Bayham Street:

- New structural glazed balustrade above both buildings;
- New steel Crittall windows facing Bayham Street;

- Core area to new build to be clad in new black engineering brick; and
- Reconfiguration of internal layout.

2.2 Impact Assessment Criteria

The impact assessment on the special interest of the heritage assets considers whether the proposals cause substantial or less than substantial harm by altering or eroding the authenticity and of the heritage values identified in the significance assessment (chapter 4.0 in Heritage Statement – Appendix 1).

For the purposes of assessing the likely impact to result from the proposed development on the fabric of the buildings within the subject site and its subsequent impact on the setting, established criteria have been employed. The impact of proposals can be grouped into three categories: **neutral**, **beneficial** or **adverse**.

Within the three categories there are four different levels that can be given to identify the intensity of impact:

- **"negligible"** – impacts considered to cause no material change.
- **"minimal"** - impacts considered to make a small difference to one's ability to understand and appreciate the heritage value of an asset. A minor impact may also be defined as involving receptors of low sensitivity exposed to intrusion, obstruction or change of low to medium magnitudes for short periods of time.
- **"moderate"** - impacts considered to make an appreciable difference to the ability to understand or appreciate the heritage value of an asset.

- “**substantial**” - impacts considered to cause a fundamental change in the appreciation of the resource.

2.3 Impact Assessment

(Refer to Impact Assessment table in the following pages).

Description and rationale	Extent of Works	Impact / Magnitude	Mitigation
All floors			
Omission of steel columns within the stage area. The proposed lobby below the fly tower scenography equipment is no longer proposed.	There will be no cutting through of original fabric on all floors and no pile foundations needed.	Beneficial / Moderate	Fly gallery will no longer be affected at second floor level – it will remain intact. Furthermore, the area above the stage will be left open, as originally intended. Views from the stage, fly gallery and areas adjacent to the fly gallery will allow users and guests to appreciate the full volume and original equipment within the space.
M&E: Reconfiguration of ducts over the stage (behind proscenium) (refer to M&E drawings)	Minor change from consented scheme. The ducts are located more to the side of the stage for less disrupted views onto the scenography equipment in the fly tower.	Neutral / Negligible	N/A
Structural alterations: Consented superstructures omitted. New structure above auditorium to support the new light weight pavilion. (refer to drawings by HTS)	Removal of the concrete slab above the auditorium and insertion of additional steel trusses. These will require some chasing into the existing brick walls and insertion of new padstones.	Neutral / Moderate - Substantial	The concrete slab appears to be pre-1940s (date TBC). If it is confirmed to be a later addition, its removal will have low impact. The new trusses will have minor impact and is in an area of low significance. Relative to the consented superstructure, the impact of this proposal is significantly reduced.
Rainwater pipes relocated internally	N/A to listed building	Neutral / Minor	N/A
External:			
Addition of glass canopy to Koko frontage and Crowndale Road elevation (first floor	Fixings of the metal brackets at regular intervals.	Neutral – Adverse / Minor	Impact on the historic fabric is minor, however, the visual impact is moderate. Canopies in theatres are common and seen throughout London's West End. Though the

Description and rationale	Extent of Works	Impact / Magnitude	Mitigation
level). 3m in depth.			canopy was not part of the original design, it is considered to be an appropriate addition to the façade and significantly aid business operations during open hours.
Pub door on the corner of Bayham Street and Crowndale Road to be openable.	N/A to listed building	Neutral / Negligible	N/A
New signage to front façade of Koko and Crowndale Road elevation.	Minor fixings at regular intervals to attach the signs.	Neutral – Adverse / Minor	The front façade signage is consistent with the original configuration in terms of dimensions and location. The proposal on this elevation is therefore negligible. The proposed signage to Crowndale Road elevation will have a visual impact, however, it is still consistent with the original and existing use of the listed building. Impact is therefore considered to be minimal.
Dormer windows in the mansard above the pub will be omitted.	N/A to listed building	Neutral / Minor	Townscape will be visually impacted; however, it is reduced due to the height and recess of the mansard.
Omission of three openings to the fly tower (elevation facing Crowndale Road).	Fabric that was going to be removed will now be retained. There will also be no visual disruption of the fly tower from Crowndale Road.	Beneficial / Minor - moderate	Improvement in terms of retention of historic fabric and maintaining the form that contributes to the townscape character.
Fourth floor area above no1 Bayham Street to be extended. Material is black engineering brick. Omission of two glazed doors.	N/A to listed building	Neutral – Adverse / Minor	The mass of this core section will appear heavier in terms of materials. However, the visual impact on the townscape is minimal, as it is set far back and will barely be visible from street level.

Description and rationale	Extent of Works	Impact / Magnitude	Mitigation
Omission of the proposed scallions to the front elevation	N/A to listed building	Adverse / Minor	Though this will not have any impact on the historic fabric, the consented scheme considered this proposal a heritage benefit.
Retention and repair of original/early windows to the pub first and second floors.	N/A to listed building	Beneficial / Minor	Early/original fabric will be retained, thereby preventing the erosion of the historic character of the site. This will not impact the listed building, but it will have a beneficial impact on its setting and the townscape.
Minor alterations in the Bayham Place façade: rainscreen louvres, black engineering brick to circulation core, reconfigured entrance (corner) and render to existing wall.	Minor alterations to Koko's rear façade. The difference in materials between the original/early fabric is still discernible in this proposal. Most importantly, the roofline of Koko's rear is still clearly legible.	Neutral / Minor	N/A
Lower Basement: AHA-KKC-GA-098 [A] Proposed LBF Plan_Rev D			
New circulation core with lift and staircase	N/A to listed building	Neutral / Minor	N/A
New wall (TBC by structural engineer)	N/A to listed building	Neutral / Minor	N/A
Basement: AHA-KKC-GA-099 [A] Proposed BF Plan_Rev D			
Addition of 1no lift + lift pit.	N/A to listed building	Neutral / Minor	N/A
Amended members staircase	Remove courtyard slab and existing sloped roof, new slab to sit 80mm below existing slab level	Neutral / Minor	N/A
Staff change areas altered	Existing slab removed new slab to sit 300mm below existing utilising	Neutral / Minor	N/A

Description and rationale	Extent of Works	Impact / Magnitude	Mitigation
	existing footings.		
Ground Floor: AHA-KKC-GA-100 [A] Proposed GF Plan_Rev D			
Addition of dumbwaiter within new enclosed pantry.	This has now been omitted within the flytower. The flytower grid will no longer undergo any fabric removal for the dumbwaiter.	Beneficial / Minor	
Addition of Retail space with separate external entrance doors.	N/A to listed building	Neutral / Minor	N/A
Addition of 1no lift + lift pit.	N/A to listed building	Neutral / Minor	N/A
New bar area next to stage area.	No implications on the historic fabric.	Neutral / Minor	Optimisation of the use of space.
Relocation of Pub entrance	N/A to listed building	Neutral / Minor	Minor alteration in elevation.
New access stair to the fly gallery between ground floor and 1 st floor with single door opening to BOH at ground floor level.	Opening between Koko stage and BOH will require the removal of original fabric to create a single door opening.	Adverse / Minor	The removal of fabric is located in an area of low significance and will enable permeability and ease of use of the function rooms on the ground floor. Access from Koko to the function room above the pub will facilitate the use of that space by the artists.
Opening through wall at the back of stage for access between stage and the Hope & Anchor.	Minor removal of fabric to create single door opening.	Adverse / Minor	This will allow for the stage area to be used for dining when it is not in use for music events. This will optimise the use of the space and enable guests to appreciate and experience the original fly tower and fly galleries above.
First Floor: AHA-KKC-GA-101 [A] Proposed 1F Plan_Rev D			

Description and rationale	Extent of Works	Impact / Magnitude	Mitigation
Addition of dumbwaiter within new enclosed pantry.	This has now been omitted within the flytower. The flytower grid will no longer undergo any fabric removal for the dumbwaiter.	Beneficial / Minor	N/A
Addition of 1 no lift + lift pit.	N/A to listed building	Neutral / Minor	N/A
New access stair to the fly gallery between ground floor and 1 st floor with single door opening to BOH at 1 st floor level.	Opening between Koko stage and BOH will require the removal of original fabric to create a single door opening.	Adverse / Minor	The removal of fabric is located in an area of low significance and will enable permeability and ease of use of the function rooms on the first floor. Access from Koko to the function rooms above the pub will facilitate the use of that space by the artists.
Addition of new WC adjacent function room.	N/A to listed building	Neutral / Minor	N/A
Two new openings between existing pub (in proposed function room) and Koko BOH.	Opening between Koko BOH and the H&A will require the removal of original fabric to create a single door opening.	Adverse / Minor	The removal of fabric is located in an area of low significance and will enable permeability and ease of use of the function rooms on the first floor. Access from Koko to the function room above the pub will facilitate the use of that space by the artists.
New double opening between proposed artist's gallery and function room. New steps up to function room.	Removal of original wall to create double opening.	Adverse / Minor	The removal of fabric is located in an area of low significance. Though this will have a minor adverse impact on fabric, opening up this space will allow for a more usable social area. More importantly, it will allow guests/artists to appreciate the fly gallery and the fly tower.
Retention of the original rear wall of the pub. New double opening proposed between proposed function room and dining room.	N/A to listed building	Beneficial / Minor	N/A

Description and rationale	Extent of Works	Impact / Magnitude	Mitigation
Addition of entry steps between function rooms.	Opening through Koko BOH and H&A and the other just through rear wall of H&A.	Adverse / Minor	The proposal seeks to link the buildings in order to optimise the uses of spaces and increase the permeability (with minimal impact on the historic fabric). Increased permeability is a key part of the scheme and will facilitate use of all rooms within the H&A and Koko's BOH. It also connects the stage and gallery areas, thereby allowing guests/artists easy access into areas of historical significance that would not normally be perceived or appreciated.
New staircase to north of stage and new single opening to access the dining and kitchen areas.	Single opening to original rear wall of Koko	Adverse / Minor	The removal of fabric is located in an area of low significance. Though this will have a minor adverse impact on fabric, it will allow for a degree of permeability between the rear buildings and Koko. This is key in increasing the use of all four buildings within the site.
Penetration into auditorium omitted.	None	Beneficial / Minor	N/A
Second Floor: AHA-KKC-GA-102 [A] Proposed 2F Plan_Rev D			
Addition of dumbwaiter within new enclosed pantry.	This has now been omitted within the flytower. The flytower grid will no longer undergo any fabric removal for the dumbwaiter.	Beneficial / Minor	N/A
Addition of 2no WC to Private Members 1.	N/A to listed building	Neutral / Negligible	N/A
Addition of 1no lift + lift pit.	N/A to listed building	Neutral / Negligible	N/A
Addition of new fireplace in Dining / Drinking	N/A to listed building	Neutral / Negligible	N/A
Addition of new WC adjacent	N/A to listed building	Neutral / Negligible	N/A

Description and rationale	Extent of Works	Impact / Magnitude	Mitigation
to Private Members 3			
Addition of double set of doors to Private Members 1	N/A to listed building	Neutral / Negligible	N/A
Additional doors to Private Members 3	N/A to listed building	Neutral / Negligible	N/A
Omission of x3 windows with views over the stage onto the dance floor	Removal of original decorative fabric no longer proposed.	Beneficial / Minor	N/A
New retractable fabric ceiling over stage for soundchecks	There will be attachments at intervals to the perimeter of the fly tower walls.	Adverse / Negligible - Minor	Impact to historic fabric is minimal and as there is currently a false ceiling in place between the fly tower and stage, visual impact is negligible.
Original brickwork exposed	No work proposed. Repairs to bricks and mortar where necessary.	Beneficial / Minor - Moderate	Utilitarian area would have had exposed brickwork. The area is therefore left as originally intended.
Fly gallery to undergo necessary maintenance and repairs	Structural engineer to specify works. TBC	Beneficial / Minor – Moderate	Improvement to the condition of the historic fabric, which will allow for the fly gallery to be used safely.
Omission of wall removal to north corner BOH.	That section of the fly gallery will not be disturbed.	Beneficial / Minor	N/A
Gallery Bar: Reconfiguration of dressing rooms to accommodate a gallery bar	Very little historic fabric will be disturbed. The area will be an open space with new set of stairs to reach level and a new single opening onto the fly gallery.	Adverse / Minor	Impact to historic fabric is minor and in an area of low significance. The alteration will have an overall beneficial impact through optimising the use of the space and allowing members to experience part of the theatre's original scenography equipment and perceive the original void above the stage/below the fly tower.

Description and rationale	Extent of Works	Impact / Magnitude	Mitigation
New set of stairs and a single opening to gain access to the 'private members room 3' from the gallery bar.	Some minor removal of historic fabric to create a single opening to Koko's rear wall.	Adverse / Minor	The removal of fabric is located in an area of low significance. Though this will have a minor adverse impact on fabric, it will allow for a degree of permeability between the rear buildings and Koko. This is key to increasing the use of all four buildings within the site.
Third floor: AHA-KKC-GA-103 [A] Proposed 3F Plan_Rev D			
Addition of dumbwaiter within new enclosed pantry.	This has now been omitted within the flytower. The flytower grid will no longer undergo any fabric removal to accommodate the consented dumbwaiter.	Beneficial / Minor	N/A
Addition of new store (for Alcohol)	N/A to listed building	Neutral / Negligible	N/A
New layout for Private Members suite	N/A to listed building	Neutral / Negligible	N/A
Addition of 1no lift + lift pit.	N/A to listed building	Neutral / Negligible	N/A
Addition of new fireplace in Dining / Drinking	N/A to listed building	Neutral / Negligible	N/A
Addition of new W/C adjacent to Private Members 3	N/A to listed building	Neutral / Negligible	N/A
Addition of new staircase to rooftop terrace adjacent to newly proposed WCs	N/A to listed building	Neutral / Negligible	N/A
Suite within the fly tower will be omitted.	The additional structure that was necessary for this proposed suite just below the scenography equipment. The perimeter wall around the flytower will also be	Beneficial / Moderate	N/A

Description and rationale	Extent of Works	Impact / Magnitude	Mitigation
	retained and left intact (consented openings are omitted from this scheme).		
Reconfiguration of plant store	N/A to listed building	Neutral / Negligible	N/A
WC arrangement in the northwest corner of Koko will be retained.	No change in impact from consented scheme	Neutral / Negligible	N/A
New fire escape staircase	Some minor alteration to the third storey floor.	Adverse / Minor	The minor alteration to historic fabric is heavily outweighed by the improvement in safety.
Fourth Floor roof: AHA-KKC-GA-104 Proposed Roof Plan_Rev D			
Minor reconfiguration of the roof space next to the fly tower	N/A to listed building	Neutral / Negligible	N/A
Minor alteration to stair link between private members' terrace and dome.	No change in impact from consented scheme	Neutral / Negligible	N/A
Door openings to existing Crowndale Road elevation within fly tower omitted.	N/A	Beneficial / Minor – moderate	Removal of original fabric is no longer proposed. The original elevation will be retained.
New fire escape staircase and new door formed in existing wall (which leads to staircase).	Some minor alteration to the fourth storey floor.	Adverse / Minor	The minor alteration to historic fabric is heavily outweighed by the improvement in safety. The proposed alteration will not be perceivable from street level and will have no visual impact.
Roof: AHA-KKC-GA-105 Proposed Roof Plan_Rev D			
Patent glazed roof and W20 steel window section over	N/A to listed building	Neutral / Negligible	N/A

Description and rationale	Extent of Works	Impact / Magnitude	Mitigation
Bayham Place elevation.			

2.4 Summary Impact Assessment

Within the site, Koko and the Hope & Anchor (though not currently) are open to the public. Over time they have adapted according to operational requirements; and they will continue to change in order to remain sustainable, welcoming and pleasing. Similarly, 65 Bayham Place and 1 Bayham Street have been subject to change, as they were once for lodgings and a carriage workshop, and later used as offices. The proposed scheme is driven by a need to not only conserve and enhance the site as a whole, but to ensure a sustainable solution that safeguards the future use of all the buildings within the site.

The National Planning Policy Framework contains an express presumption in favour of sustainable development which should be considered when making planning decisions. Change is at the heart of sustainable development. The three dimensions of sustainability: economic, social and environmental, are not static; and neither is the built environment. Buildings need to change in order to adapt to climate change and move towards a low carbon economy (NPPF Para 7).

Removals and Omissions from the Consented Scheme

Overall, the proposed removals in this scheme are reduced, relative to the consented scheme. Most of these omissions are concentrated to Koko's back of house and the new buildings.

The new proposal improves upon the consented scheme as it has been designed in order to further reduce the adverse impact on any historic fabric. Aspects of the two major structural interventions that were to support the lobby within the fly tower and the pavilion above Koko's auditorium have thus been amended. For example, the omission of the lobby within the fly

tower will allow for undisturbed views of the scenography equipment and the fly gallery in the space above the stage. The space will therefore remain open, as originally intended. The pavilion above the auditorium in the consented scheme requires four columns for structural support; and these columns would be chased into the original fabric of the auditorium. The new proposal, however, seeks to avoid any intervention to the original fabric by creating a lighter weight pavilion, thereby negating the need for the columns.

In areas where this scheme proposes removal of original fabric is balanced out by the omission of removals in the consented scheme. Overall, there is less removal of historic fabric in this scheme and therefore less impact on the existing fabric.

Townscape

The impact to the townscape character is minimal. The main alterations comprise the new canopies to Koko's front façade and Crowndale Road façade and signage. Both additions are consistent with the historic use of the building.

Other considerations for this scheme comprise change in materials and omissions, such as the black engineering brick proposed on the Bayham Street/Place buildings and the circulation core. The dormer windows in the mansard above the Hope & Anchor will be omitted. These alterations are mostly set back or at high level, which generally minimise visual impact relative to the consented scheme.

General

Generally, the proposed alterations in this scheme are concentrated to the new builds (no.1 Bayham Street and no.65 Bayham Place). There are also numerous alterations to the interiors of the Hope & Anchor pub. Most of

these alterations have a negligible visual impact on the townscape and negligible impact on the historic fabric of the listed building.

The impact assessment table demonstrates that many of the proposals will have a negligible impact. Proposed alterations to Koko's interior have been localised to areas previously altered, or with lower significance, such as the north circulation wing. The proposed internal alterations have been formulated to ensure the historic, architectural and communal values are not compromised.

3.0 CONCLUSION

per se, does not necessarily induce “harm” to the listed building and historic environment.

Camden Town attracts both local and international visitors to its music venues, pubs, markets, shops, cafés and restaurants. It owes its economic vibrancy to its special historic character and its wide range of attractions and entertainment. Koko is a world leading music venue and cultural attraction. The proposed works will maintain and sustainably enhance Koko’s activities and safeguard its future as a music venue.

The proposed works, which would affect the character of the site to a minor and moderate degree, are desirable in order to facilitate the site’s sustainable future and use, while retaining features of special interest, particularly in the listed building. It is considered that the proposed works would establish the optimum viable use of the site. The mixed uses are characteristic of the area and relate to other buildings in the wider context.

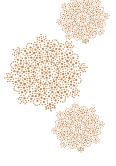
A leading objective of the proposed design is to create a sympathetic contemporary interface with the existing buildings whilst maintaining a clear distinction between the new development and the historic significance of the listed building, the pub and its surroundings.

Overall, the proposed works are considered to have a minor impact on the buildings and the Camden Town Conservation Area, with benefits arising such as the omission of consented proposals such as one of the superstructures.

For the above reasons, it is considered that the proposals would be acceptable in the context of the setting of the grade II listed building and other listed/positive buildings in the immediate surroundings and the Camden Town Conservation Area. The significance of the conservation area and other heritage assets in the vicinity of the site is not challenged. Impact,

Location Plan
Proposed Plans
Demolition Plans

ARCHER HUMPHRIES ARCHITECTS



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PROJECT: KOKO CAMDEN PALACE



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Project title

KOKO + Hope + Anchor + Bayham Place
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Location Plan

Architect's name
 ARCHITECT'S REF: 0001

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PROJECT NAME KOKO + HOPE + ANCHOR + BOYHAM PLACE CAMDEN, LONDON	DRAWING TYPE PROPOSED GROUND FLOOR PLAN	SHEET NO. 001 OF 17	DATE 11/04/19
	DRAWN BY W. J. J. J.	CHECKED BY W. J. J. J.	SCALE 1:100

