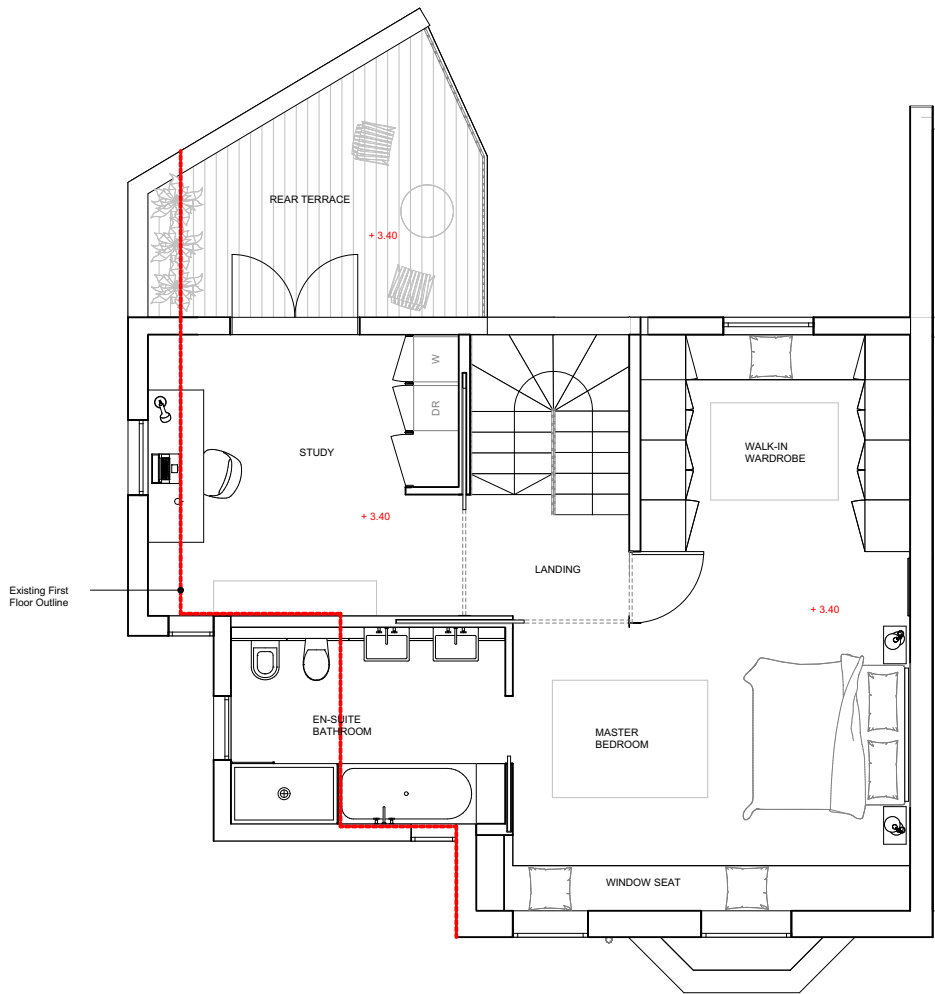


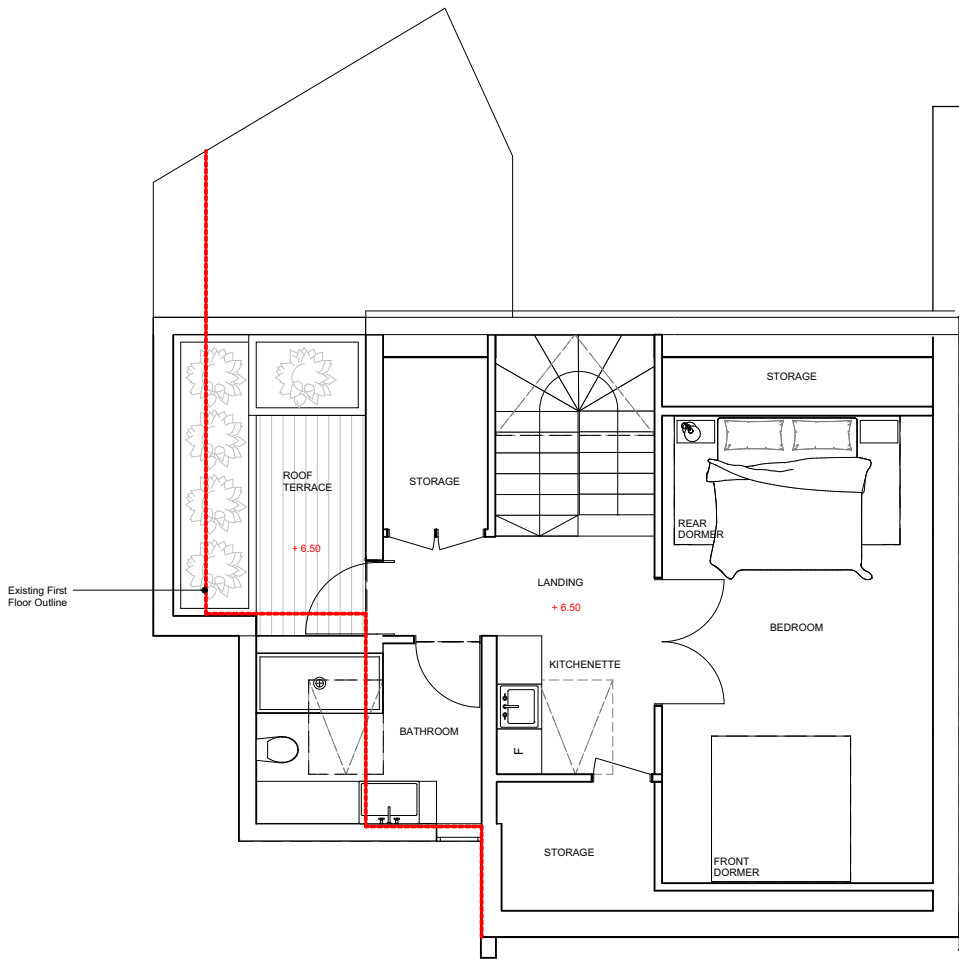
# Layout Plans



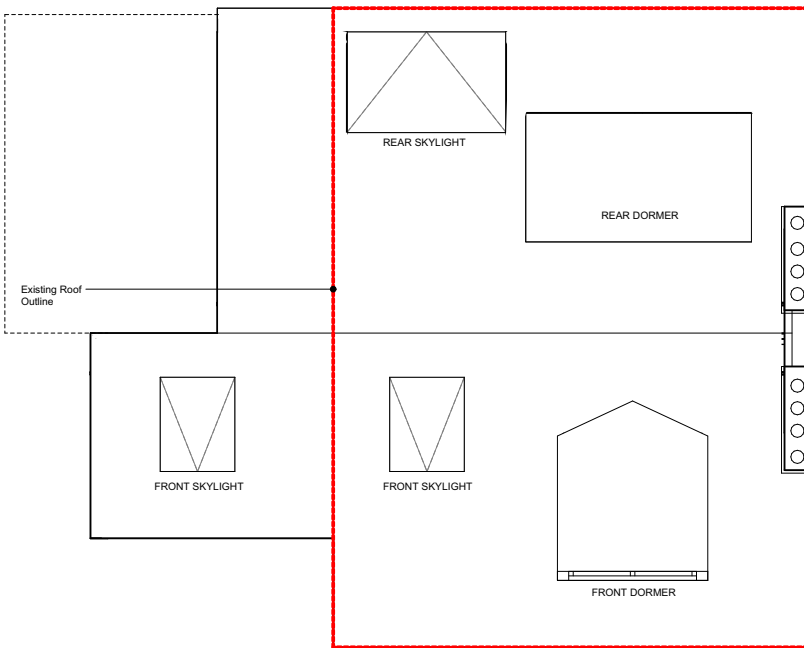
PROPOSED FIRST FLOOR PLAN  
SCALE: 1:100@A3

Total GIA - 297m<sup>2</sup>  
First floor GIA - 69m<sup>2</sup>  
Second floor GIA - 47m<sup>2</sup>

External Amenity  
Rear ground floor balcony - 6m<sup>2</sup>  
Rear first floor roof terrace - 12m<sup>2</sup>  
Second floor roof terrace - 10m<sup>2</sup>



PROPOSED SECOND FLOOR PLAN  
SCALE: 1:100@A3

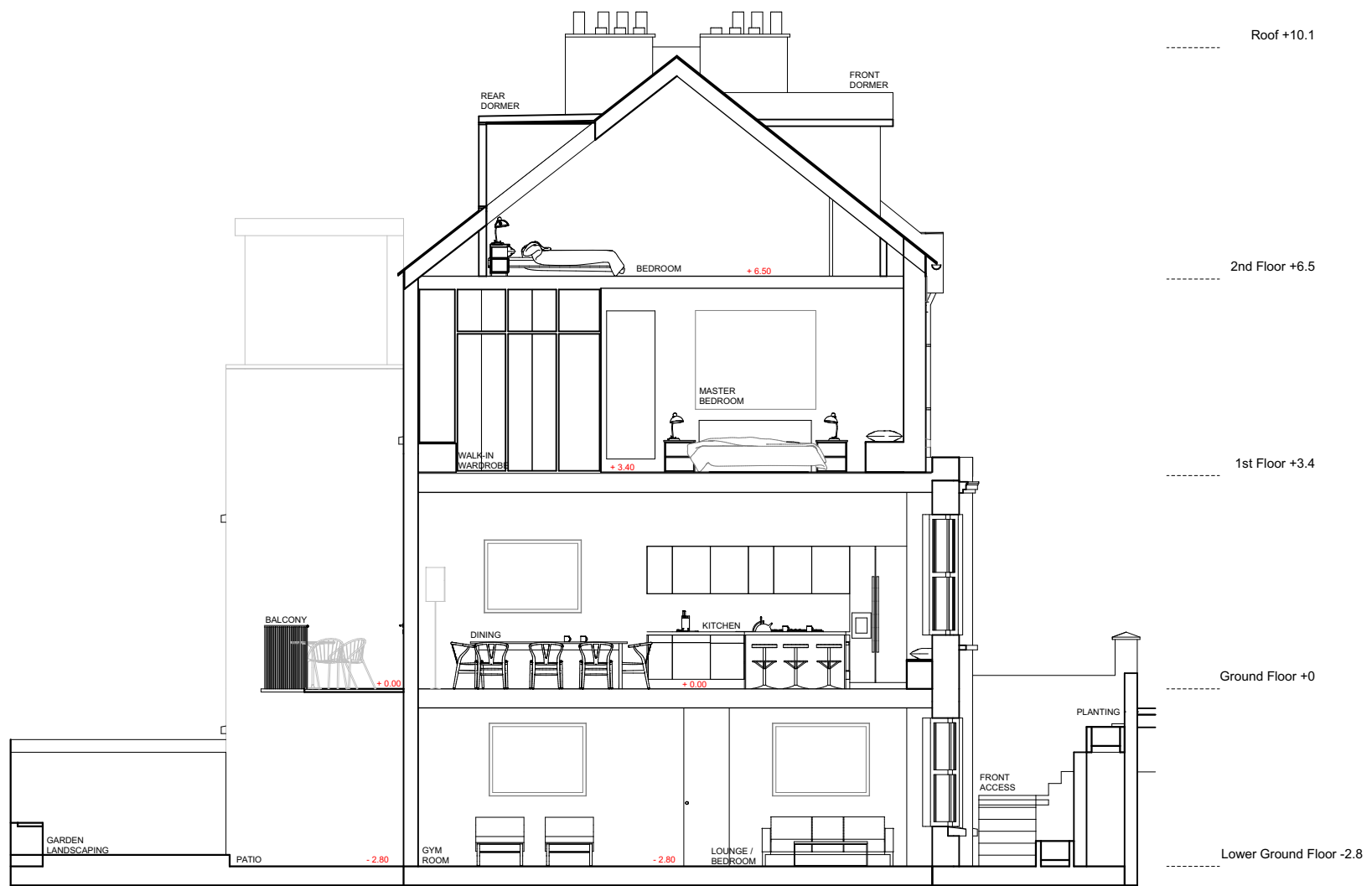
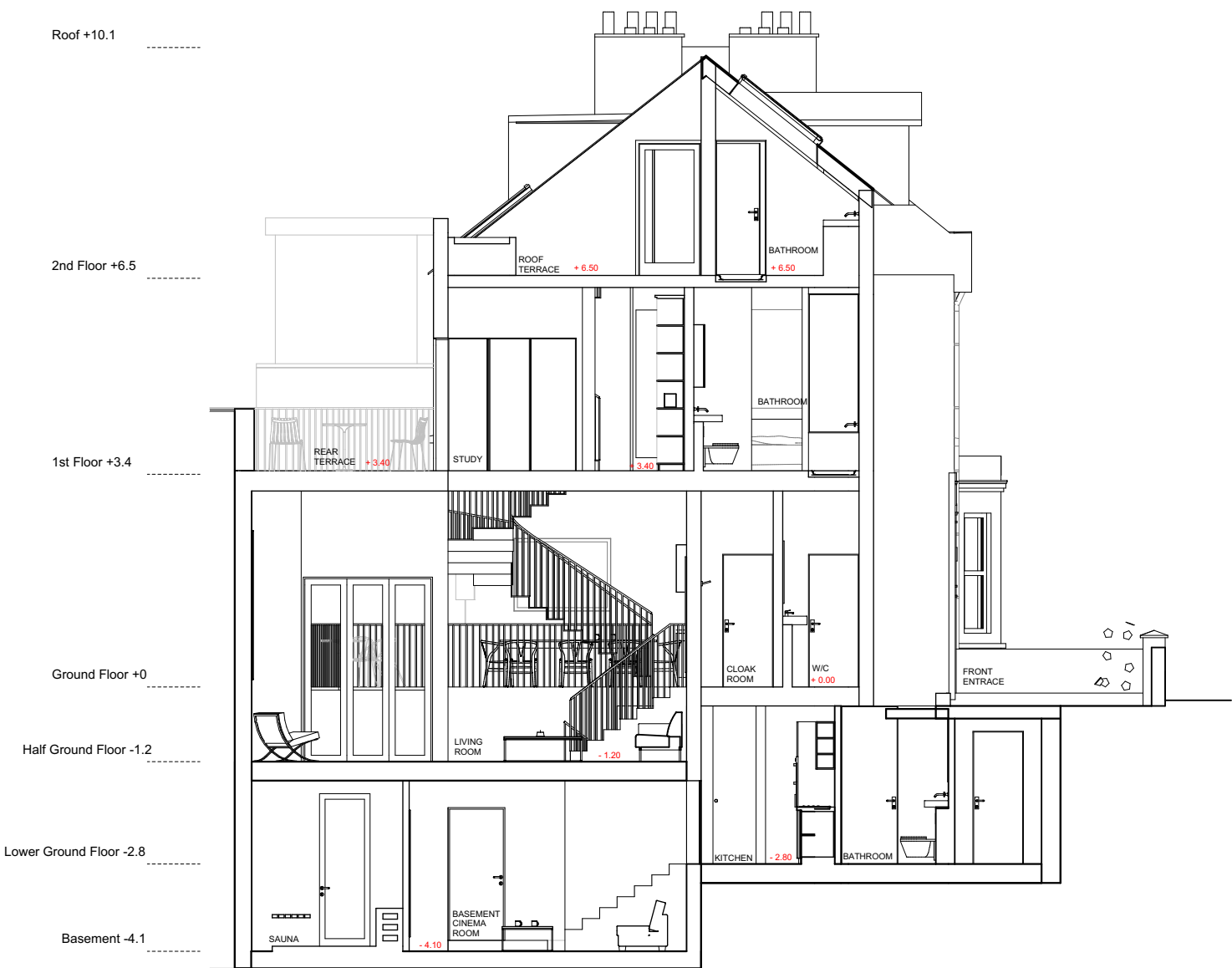


PROPOSED ROOF PLAN  
SCALE: 1:100@A3



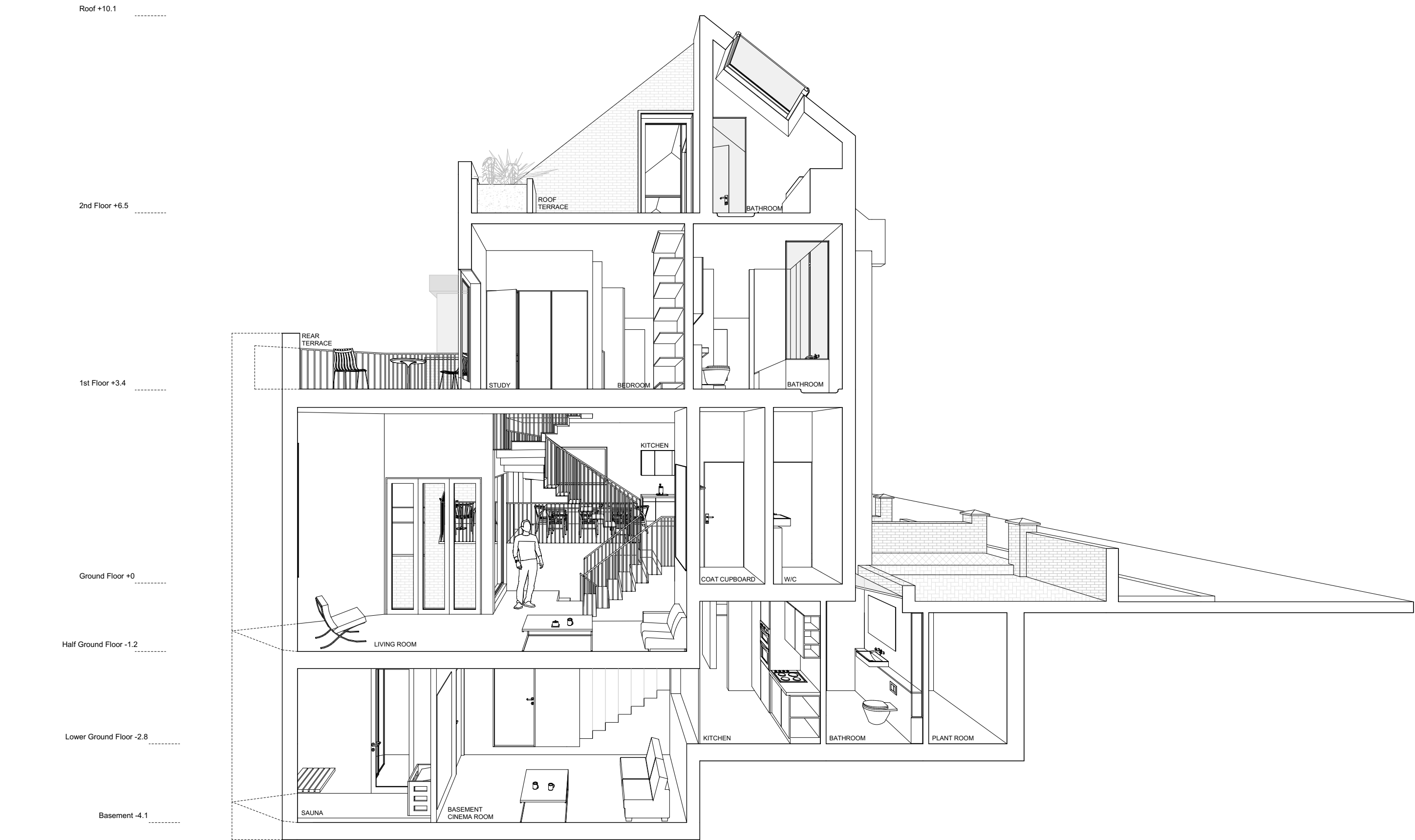
# Developed Option

## Sections



# Developed Option

## Perspective Section



# Developed Option

## Perspective Section



# Appearance

## Contextual Street Elevation Analysis

The design of the proposal seeks to incorporate the adjoining streetscape analysis, focusing on responding to the rhythm of the neighbouring buildings.

- 1. The front facade at No.35 pilgrims Lane is to be retained to maintain the rhythm of the existing terrace.
- 2. The proposed side extension aims to bookend the terrace and rationalise the existing later building additions.
- 3. Vertical strips of glazing and a stepped facade join the proposed volumes to the retained house

