

**41 FROGNAL
LONDON NW3 6YD**



**MMA APPLICATION DOCUMENT
SEPTEMBER 2017**

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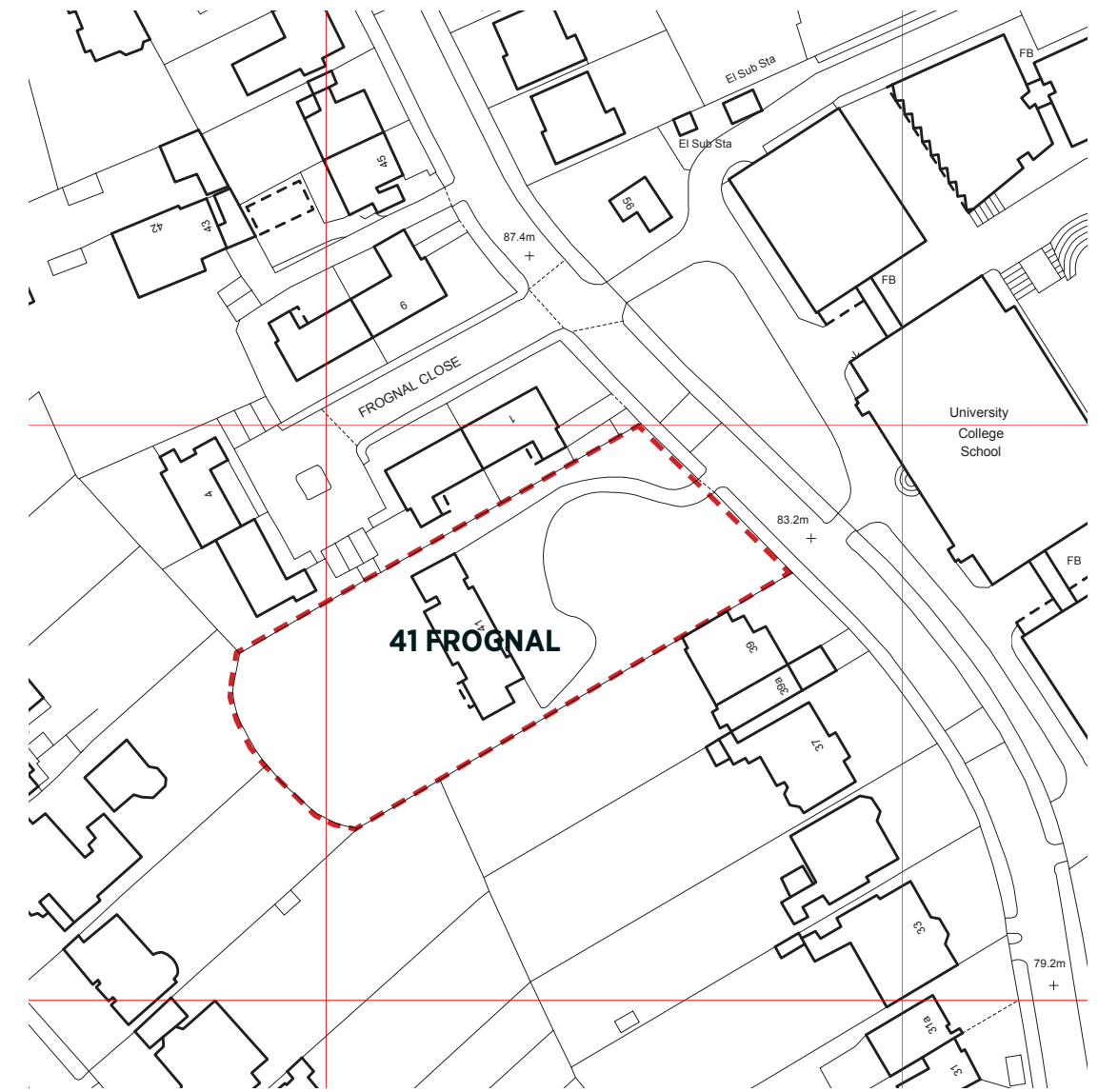
This document has been prepared by KSR Architects to support the latest set of proposals for a revised façade on the main Frognal elevation. The material has been prepared following a pre-application meeting with LBC on 25th July 2017 . Comments made by LBC have been taken on board in the revised proposal.

- **The new proposal now closely aligns with the existing planning consent whilst retaining the part of the building that contributes positively to the Redington and Frognal Conservation Area.**
- **The low horizontal form is retained and enhanced within a revised proposal that seeks to provide a more cohesive design of high quality.**
- **The proposal is sympathetic to the neighbouring listed buildings and this part of the Redington and Frognal Conservation Area.**

It is worth noting that the following items have **NOT** changed from the consented design:

- **Building footprint**
- **Building mass and height**
- **No new windows added**

Further information is outlined within the following pages, which shows comparison plans and elevations of the consented scheme against the latest set of proposals.



SITE PLAN 1:1250



--- Site boundary - 41 Frognal

PLANNING PERMISSION HISTORY

1 - LPA Ref: 2015/2026/P

Planning Permission was granted by the London Borough of Camden (LBC) on the 2nd November 2015 for the partial demolition and full refurbishment of the existing house to provide a six bedroom detached family dwelling and separate one bedroom duplex apartment. Extensions were also proposed to the rear, side and at roof level, as well as introducing a new lower ground floor beneath the footprint of the existing house.



Front façade

2 - LPA Ref: 2015/6538/P

Subsequently, a minor material amendment application (S.73) was granted on the 18th April 2016 for a new build behind the existing front façade. The small change from the consented development has resulted in removing the internal first floor slab which was to be partially retained under the original application, together with lowering of the basement level and creation of a new pool service access at lower ground level.



Lower Ground Floor plan

3 - LPA Ref: 2016/2676/P

More recently, a non-material amendment application (S.96a) was granted on the 21st July 2016 to create a secondary means of escape at basement level linking the new pool service access route to the lower ground floor through the main house stair core, together with the repositioning of the internal swimming pool at lower ground level and rear façade alterations. This permission has now been lawfully implemented and works have recently commenced on Site.



Lower Ground Floor plan

4 - LPA Ref: 2016/4558/P

At the time of writing, a revised full application has been determined by LBC and the S.106 Agreement is currently being finalised to revert back from two units to a single family dwelling. The proposals also require some minor internal reconfigurations on the ground floor linking the former separate unit to the main house in order that a more optimum family home is delivered. Importantly, the proposals do not seek to alter the footprint, height or massing of the consented development achieved under permission 2016/2676/P.



Ground Floor plan



CONSENTED FRONT ELEVATION

- ① New timber cladding to match existing
- ② Existing brickwork
- ③ New double-glazed windows to match existing (Opaque and transparent)
- ④ Pre-oxidised copper
- ⑤ Existing render
- ⑥ New render to match existing
- ⑦ Green wall
- ⑧ New brick
- ⑨ Timber screen
- ⑩ New brick to match existing



- ① New timber cladding to match existing
- ② Existing brickwork retained.
- ③ New double-glazed windows to match existing.
- ④ Pre-oxidised zinc.
- ⑤ Green wall.
- ⑦ New grey brickwork.
- ⑧ New brickwork to match existing.

PROPOSED FRONT ELEVATION



CONSENTED



CONSENTED FRONT ELEVATION



CONSENTED REAR ELEVATION

ELEVATIONS

PROPOSED



PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION

CONSENTED



CONSENTED SIDE ELEVATION (SE)



CONSENTED SIDE ELEVATION (NW)

PROPOSED



PROPOSED SIDE ELEVATION (SE)



PROPOSED SIDE ELEVATION (NW)

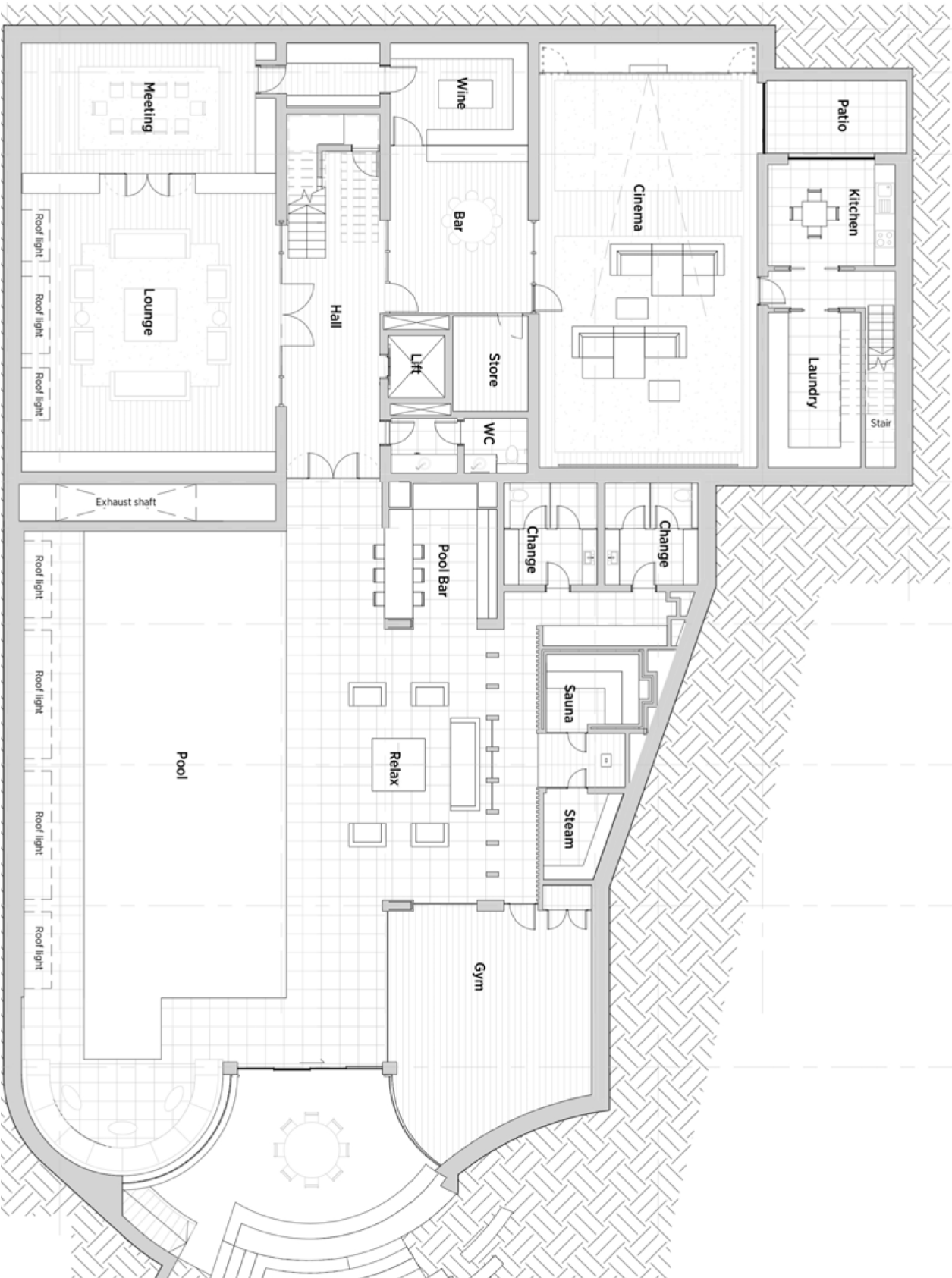
ELEVATIONS

CONSENTED AND PROPOSED FLOOR PLANS - COMPARISON

LOWER GROUND FLOOR

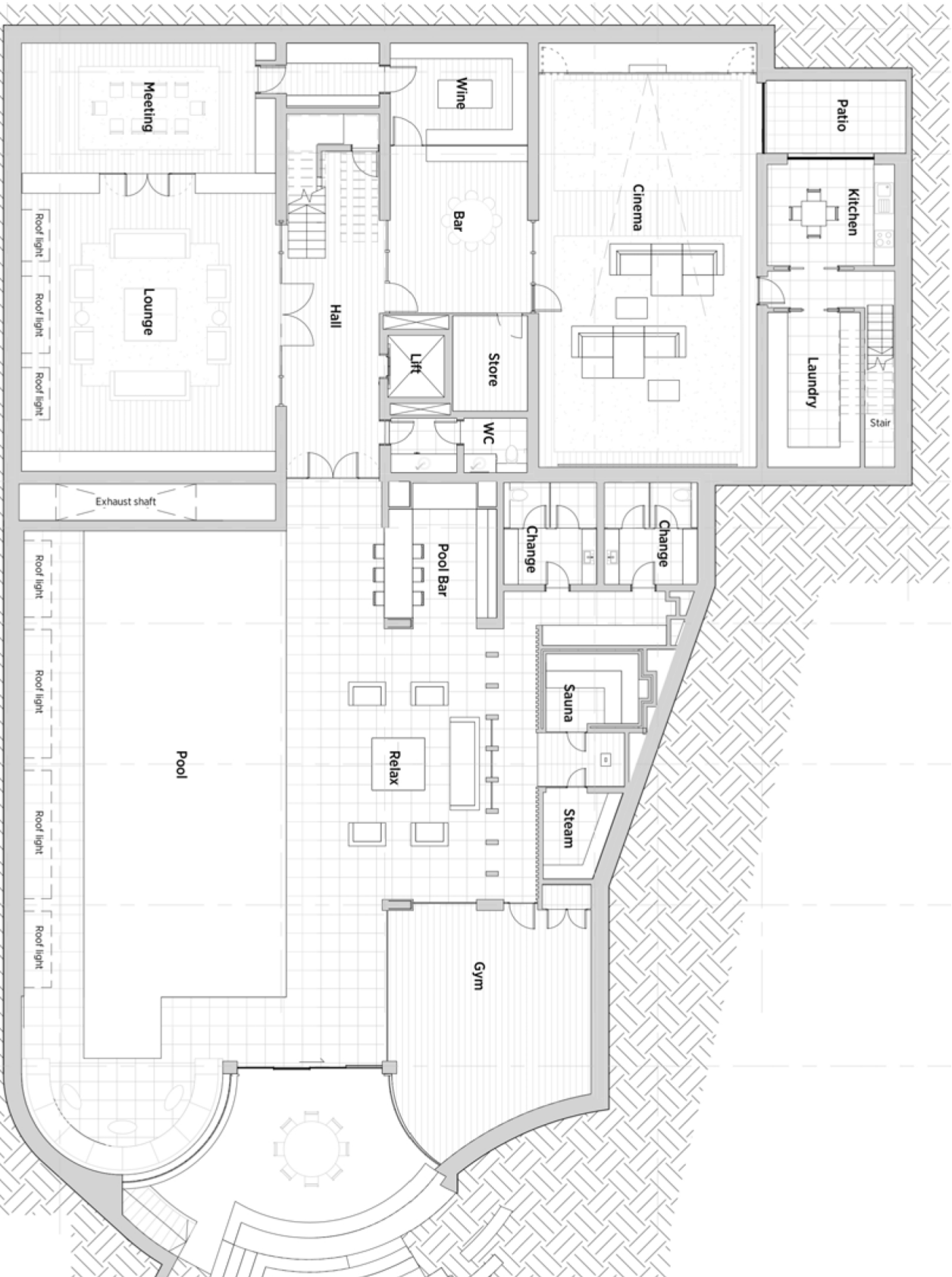
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PROPOSED LOWER GROUND FLOOR PLAN



CONSENTED LOWER GROUND FLOOR PLAN

Planning application Ref: 2016/4558/P



CONSENTED AND PROPOSED FLOOR PLANS - COMPARISON

GROUND FLOOR
 SCALE 1:100@A3

CONSENTED GROUND FLOOR PLAN
Planning application Ref: 2016/4558/P



PROPOSED GROUND FLOOR PLAN



Rationalise window and
 Refine window openings.

Rationalise window and
 Refine window openings.

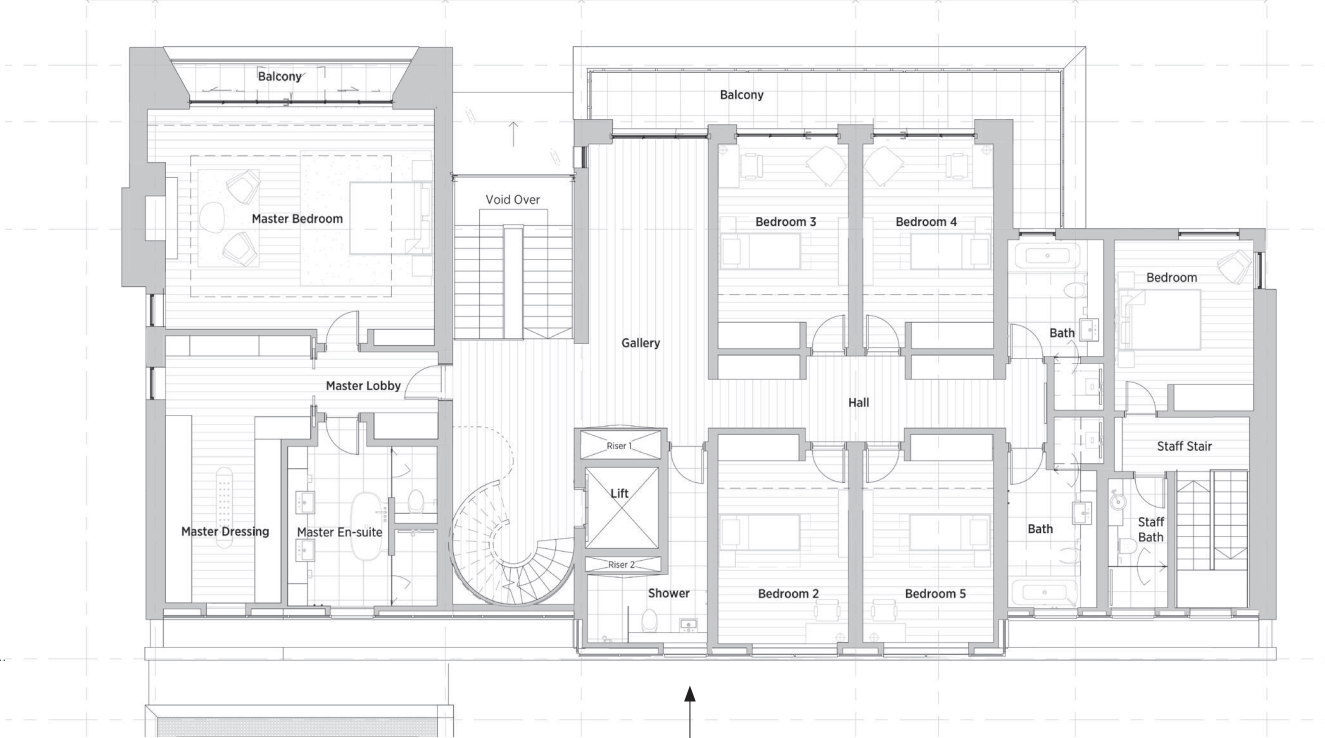
CONSENTED AND PROPOSED FLOOR PLANS - COMPARISON

FIRST FLOOR
SCALE 1:100@A3

CONSENTED FIRST FLOOR PLAN
Planning application Ref: 2016/4558/P



PROPOSED FIRST FLOOR PLAN

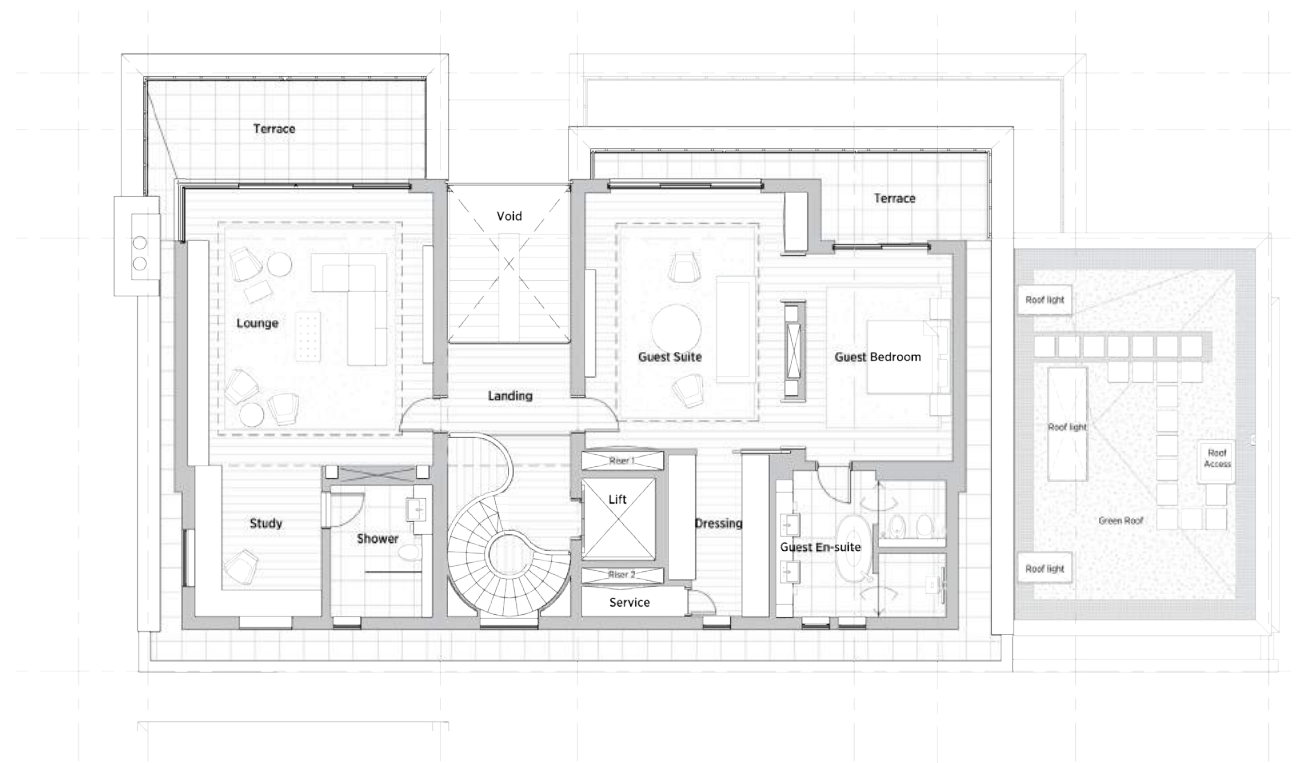


Rationalise windows and
Refine window openings.

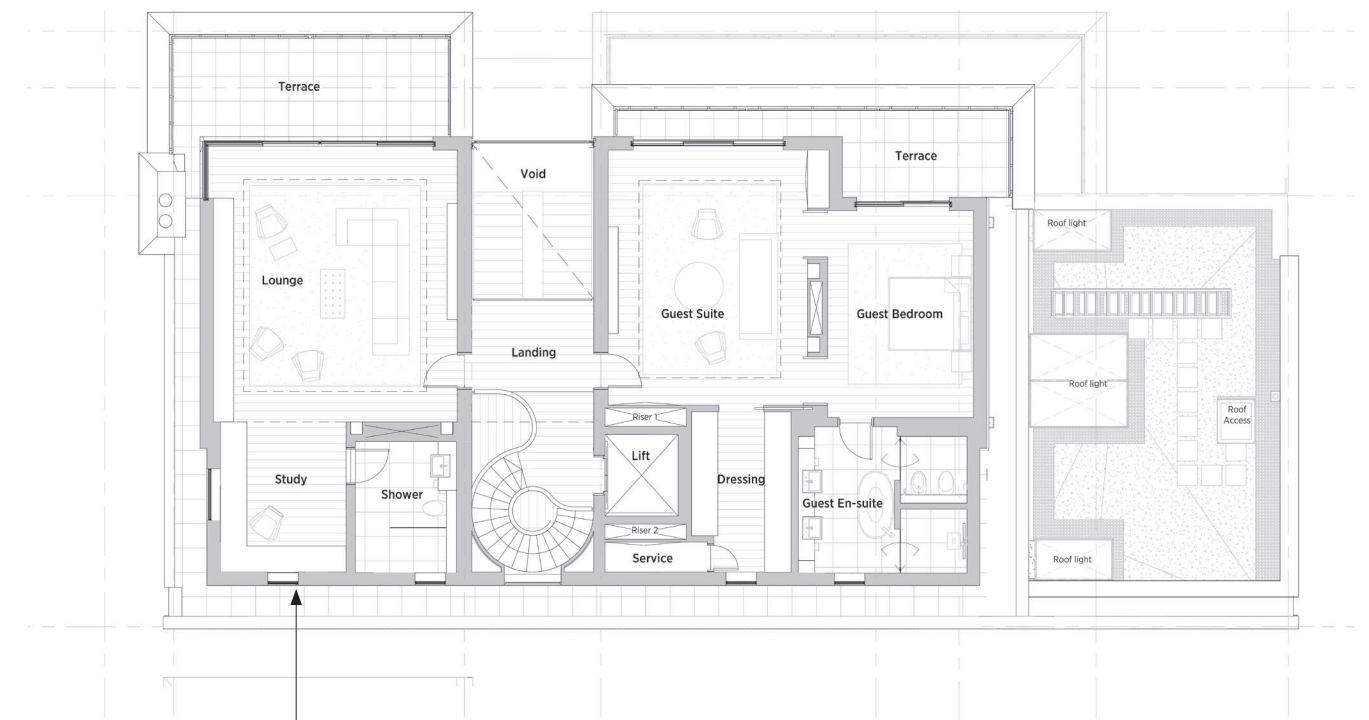
CONSENTED AND PROPOSED FLOOR PLANS - COMPARISON

SECOND FLOOR SCALE 1:100@A3

CONSENTED SECOND FLOOR PLAN
Planning application Ref: 2016/4558/P



PROPOSED SECOND FLOOR PLAN



Rationalise windows and
Refine window openings.