

Floor to be lowered and Under floor heating introduced throughout. Finish to be Engineered timber floor and tiles in utility and WC.

Cross wall to be reinstated to its previous width

Office wall to be reinstated to its previous width

WC to be formed here

Glazed extension with sedum roof

Spiral metal staircase for access to the garden from the kitchen

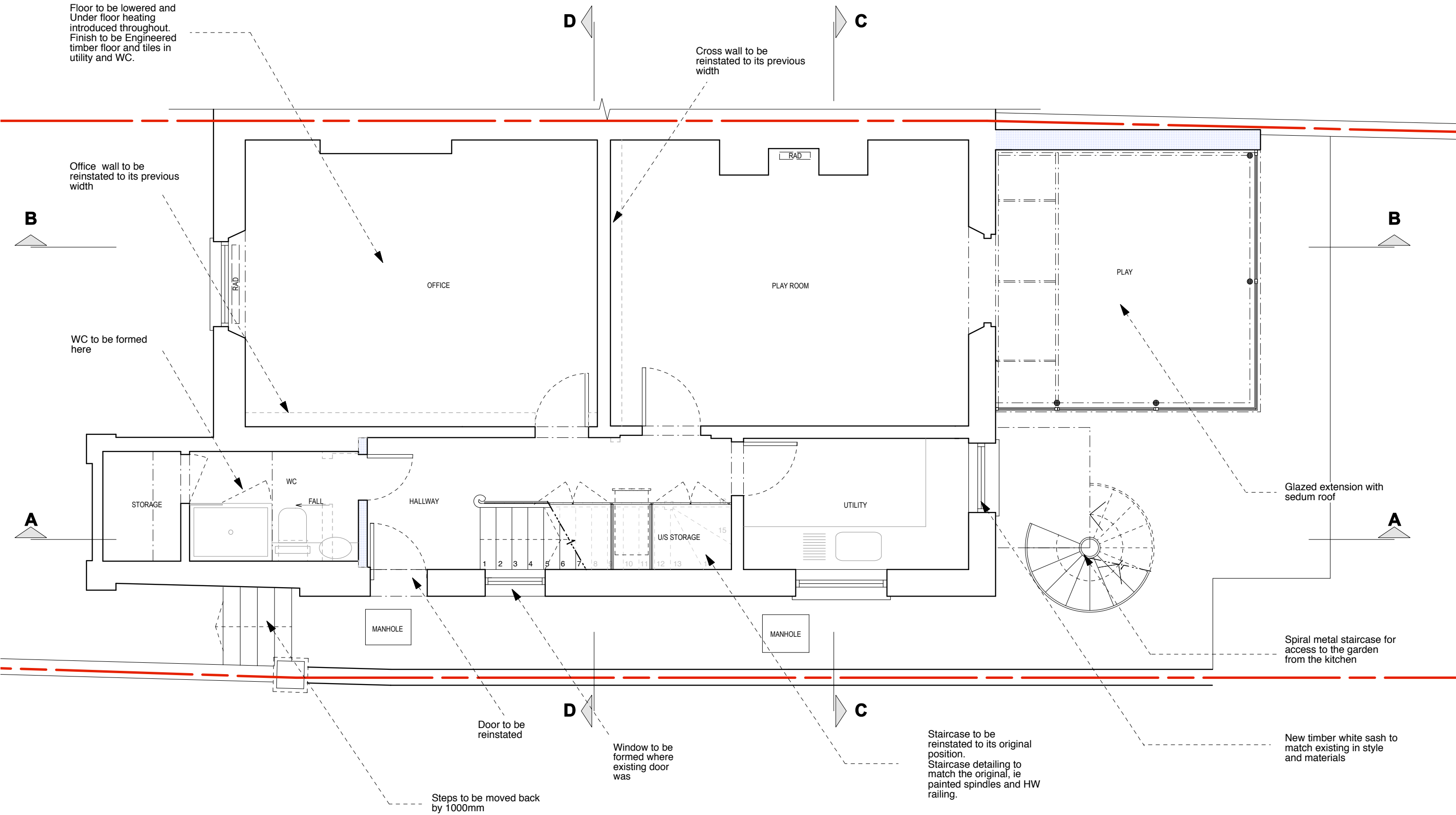
New timber white sash to match existing in style and materials

Staircase to be reinstated to its original position. Staircase detailing to match the original, ie painted spindles and HW railing.

Window to be formed where existing door was

Door to be reinstated

Steps to be moved back by 1000mm



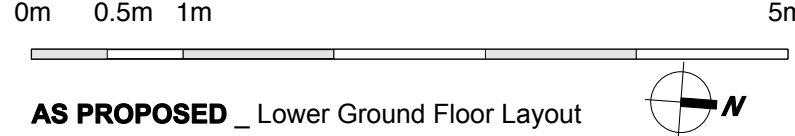
General Notes
 All dimensions to be verified on site
 To be read in conjunction with all relevant documents
 In the event of discrepancy notify the Architect immediately
 This document is copyright of Hugh Cullum Architects Ltd

Issue Status
 SK Sketch
 D Design
 T Tender
 E Existing Condition
 P Permissions
 C Contract

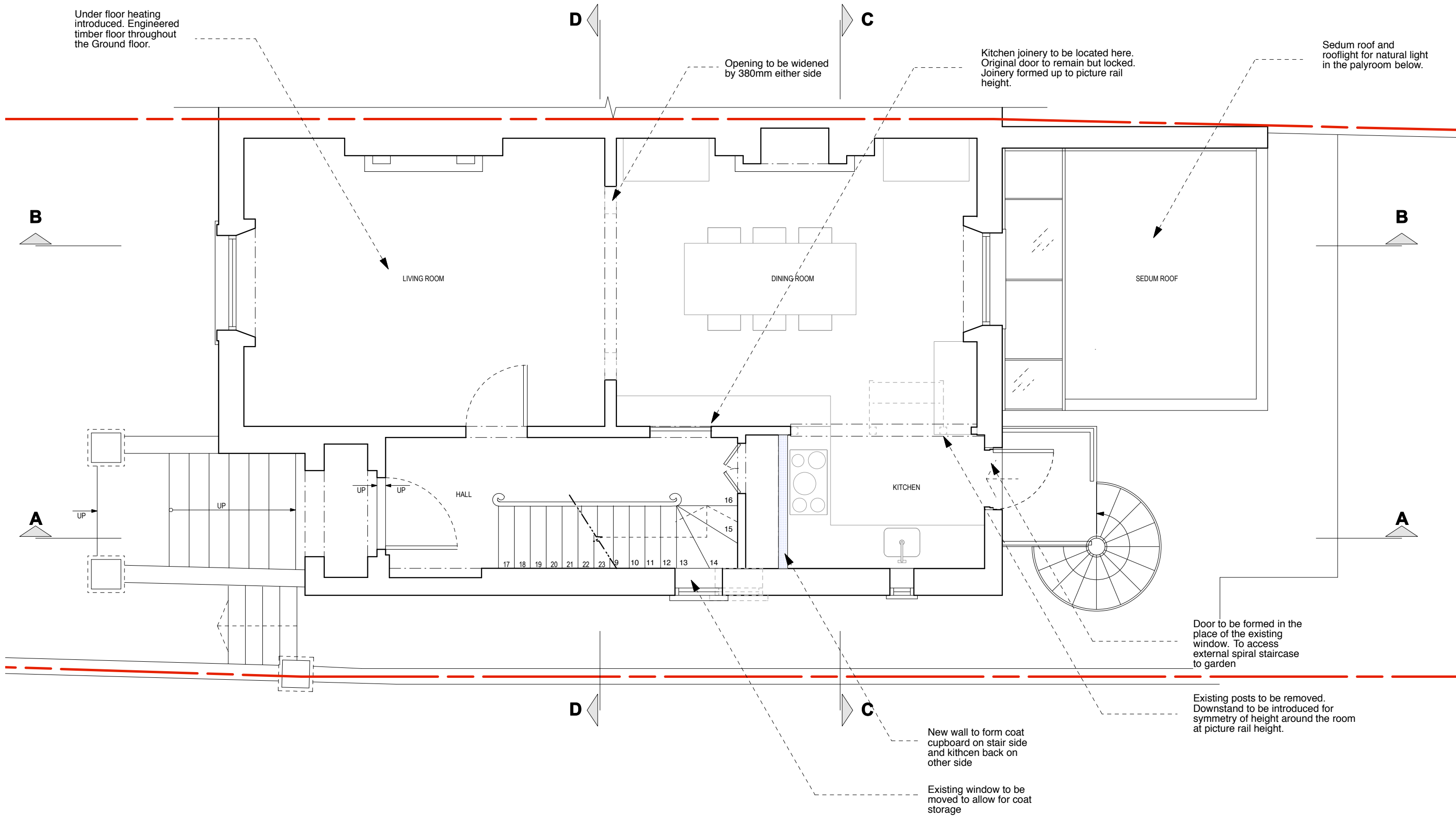
(A): Removed Glazed Canopy, existing opening of rear doors remains (22.09.17/OA/HC)
 (.) Issued for Planning (14.08.17/OA/HC)
 (.) Revision Information (00.00.02/AA/BB)
 Revision: Information (date/drawn by/checked by)

HUGH CULLUM ARCHITECTS LTD
 Bloomsbury Design
 61b Judd Street
 London WC1H 9QT
 t 020 7383 7647
 f 020 7387 7645
 mail@hughcullum.com

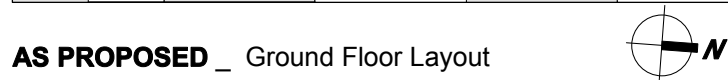
2 Provost Road
 Planning Proposal
 Lower Ground Floor
 1:50@A3 August 2017
PR002-P110(A)



AS PROPOSED _ Lower Ground Floor Layout



0m 0.5m 1m 5m



AS PROPOSED _ Ground Floor Layout

General Notes
 All dimensions to be verified on site
 To be read in conjunction with all relevant documents
 In the event of discrepancy notify the Architect immediately
 This document is copyright of Hugh Cullum Architects Ltd

Issue Status
 SK Sketch
 D Design
 T Tender
 E Existing Condition
 P Permissions
 C Contract

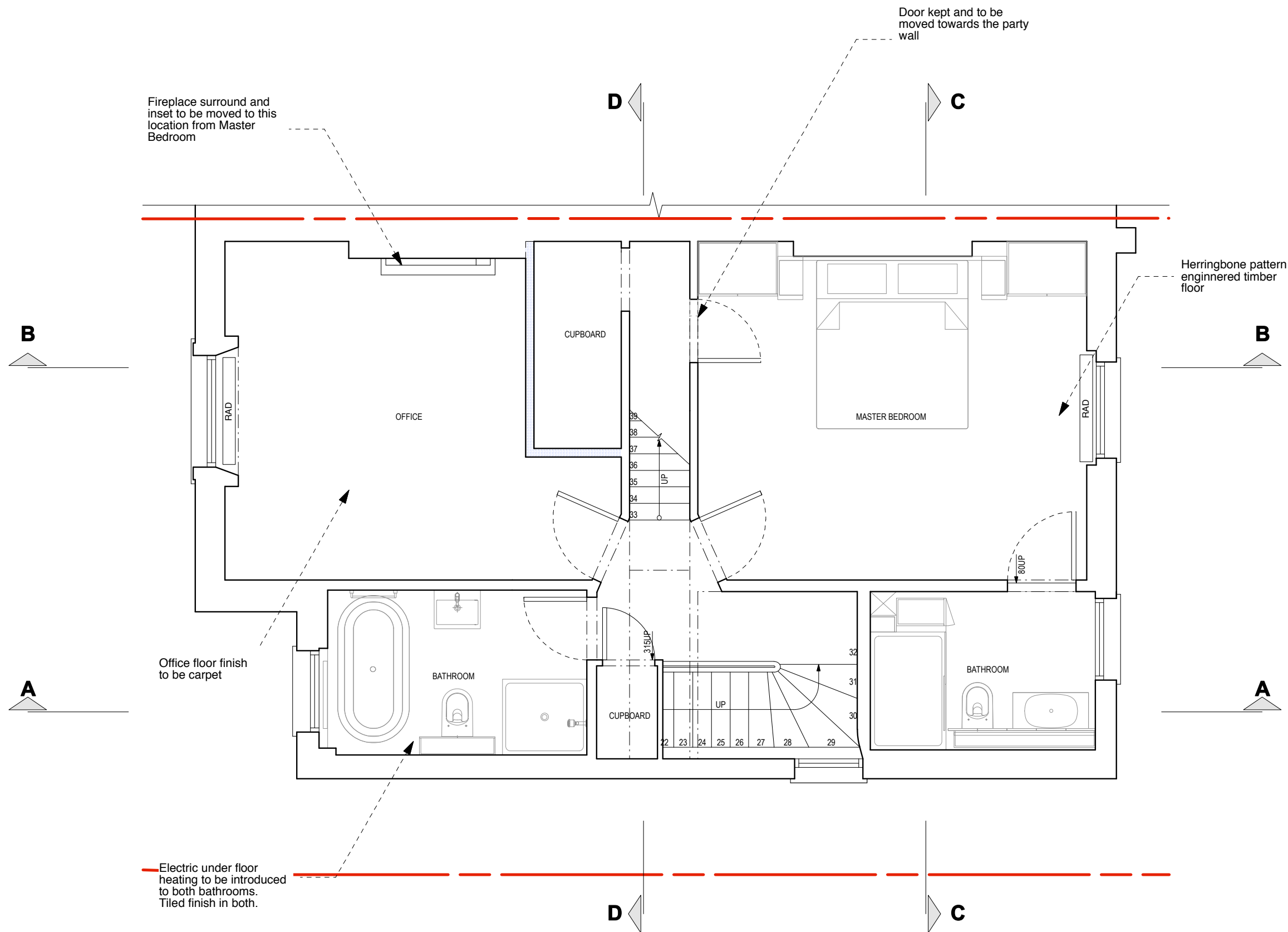
(A): Removed Glazed Canopy (22.09.17/OA/HC)
 (.) : Issued for Planning (14.08.17/OA/HC)
 (.) : Revision Information (00.00.02/AA/BB)
 Revision: Information (date/drawn by/checked by)

HUGH CULLUM
 ARCHITECTS LTD
 Bloomsbury Design
 61b Judd Street
 London WC1H 9QT
 t 020 7383 7647
 f 020 7387 7645
 mail@hughcullum.com

2 Provost Road
 Planning Proposal
 Ground Floor
 1:50@A3 August 2017
PR002-P111(A)

General Notes
 All dimensions to be verified on site
 To be read in conjunction with all relevant documents
 In the event of discrepancy notify the Architect immediately
 This document is copyright of Hugh Cullum Architects Ltd

Issue Status
 SK Sketch E Existing Condition
 D Design P Permissions
 T Tender C Contract



(A): Cupboard Reconfigured (22.09.17/OA/HC)
 (): Issued for Planning (14.08.17/OA/HC)
 (): Revision Information (00.00.02/AA/BB)
 Revision: Information (date/drawn by/checked by)

0m 0.5m 1m 5m



AS PROPOSED _ First Floor Layout

HUGH CULLUM **2 Provost Road**
 ARCHITECTS LTD
 Bloomsbury Design
 61b Judd Street
 London WC1H 9QT
 t 020 7383 7647
 f 020 7387 7645
 mail@hughcullum.com

Planning Proposal
 First Floor
 1:50@A3 August 2017
PR002-P112(A)

General Notes
 All dimensions to be verified on site
 To be read in conjunction with all relevant documents
 In the event of discrepancy notify the Architect immediately
 This document is copyright of Hugh Cullum Architects Ltd

Issue Status
 SK Sketch E Existing Condition
 D Design P Permissions
 T Tender C Contract

Dotted line shows the outline of dormer on No1

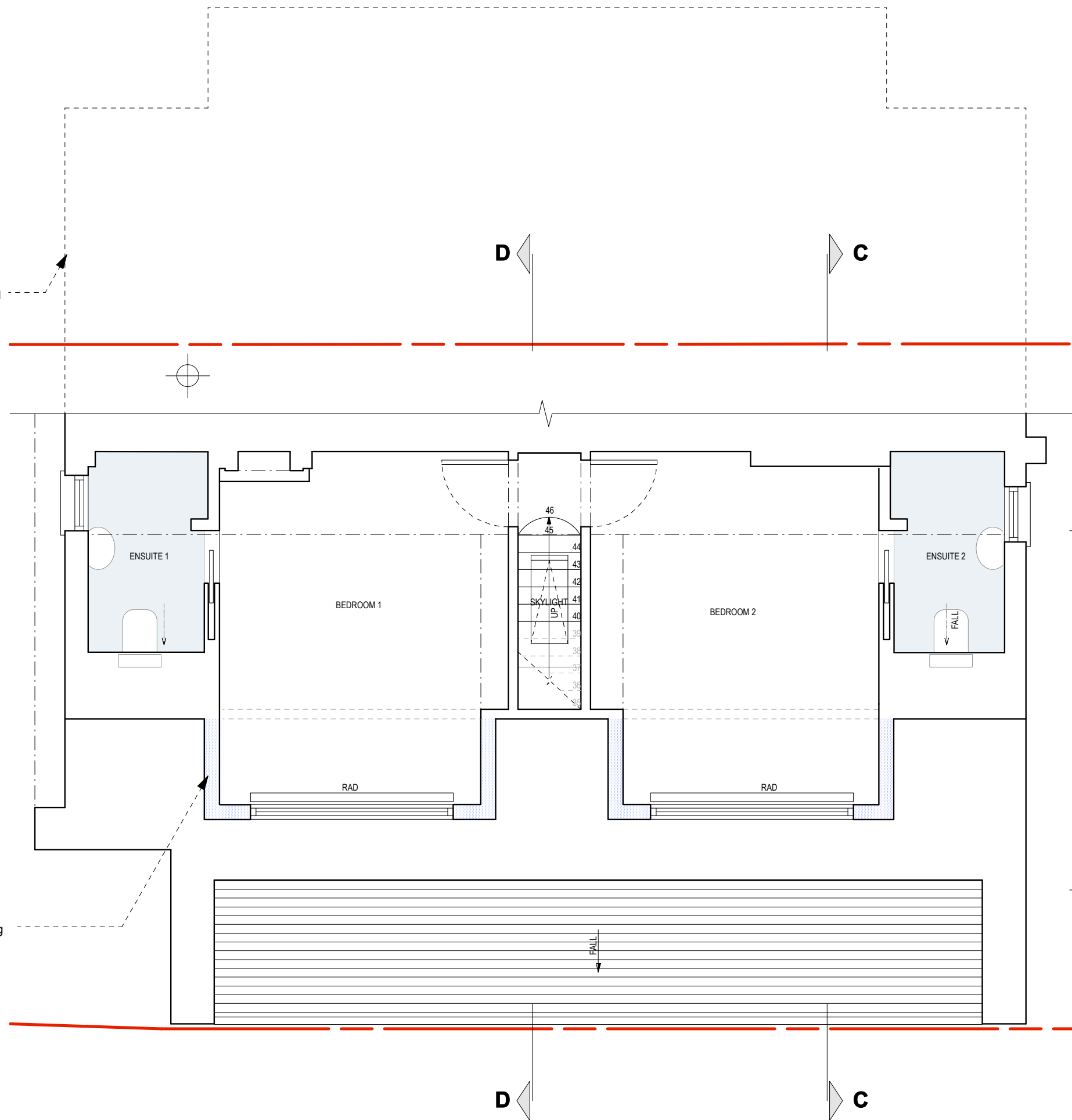
B

B

A

A

Two identical dormers either side of the existing staircase



(A): Dormers Reconfigured to two smaller ones
 (22.09.17/OA/HC)
 (): Issued for Planning (14.08.17/OA/HC)
 (): Revision Information (00.00.02/AA/BB)
 Revision: Information (date/drawn by/checked by)

0m 0.5m 1m 5m



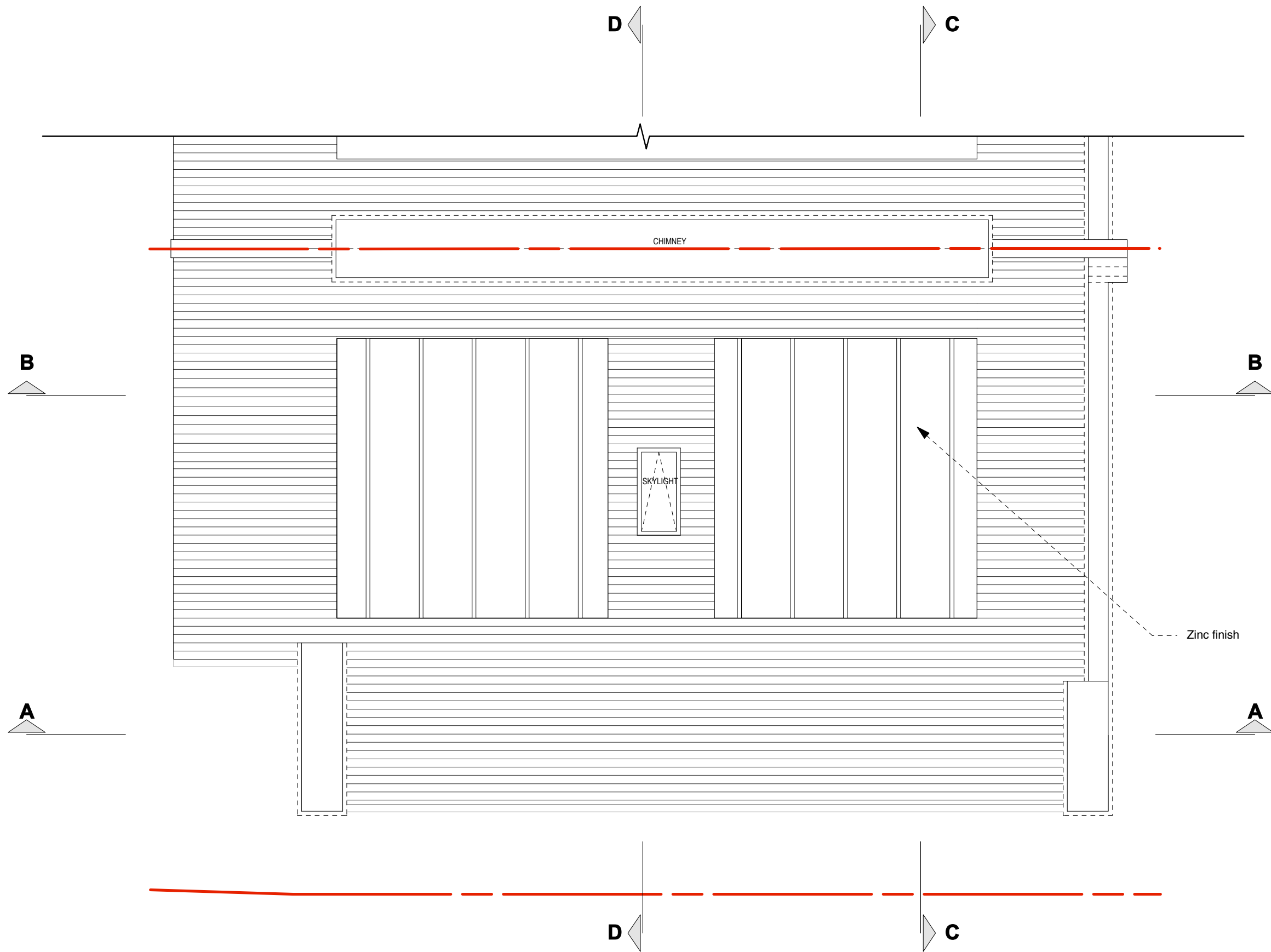
AS PROPOSED _ Second Floor Layout

HUGH CULLUM ARCHITECTS LTD
 Bloomsbury Design
 61b Judd Street
 London WC1H 9QT
 t 020 7383 7647
 f 020 7387 7645
 mail@hughcullum.com

2 Provost Road
 Planning Proposal
 Second Floor
 1:50@A3 August 2017
PR002-P113(A)

General Notes
 All dimensions to be verified on site
 To be read in conjunction with all relevant documents
 In the event of discrepancy notify the Architect immediately
 This document is copyright of Hugh Cullum Architects Ltd

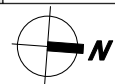
Issue Status		
SK	Sketch	E Existing Condition
D	Design	P Permissions
T	Tender	C Contract



(A): Dormers Reconfigured to two smaller ones
 (22.09.17/OA/HC)
 (): Issued for Planning (14.08.17/OA/HC)
 (): Revision Information (00.00.02/AA/BB)
 Revision: Information (date/drawn by/checked by)

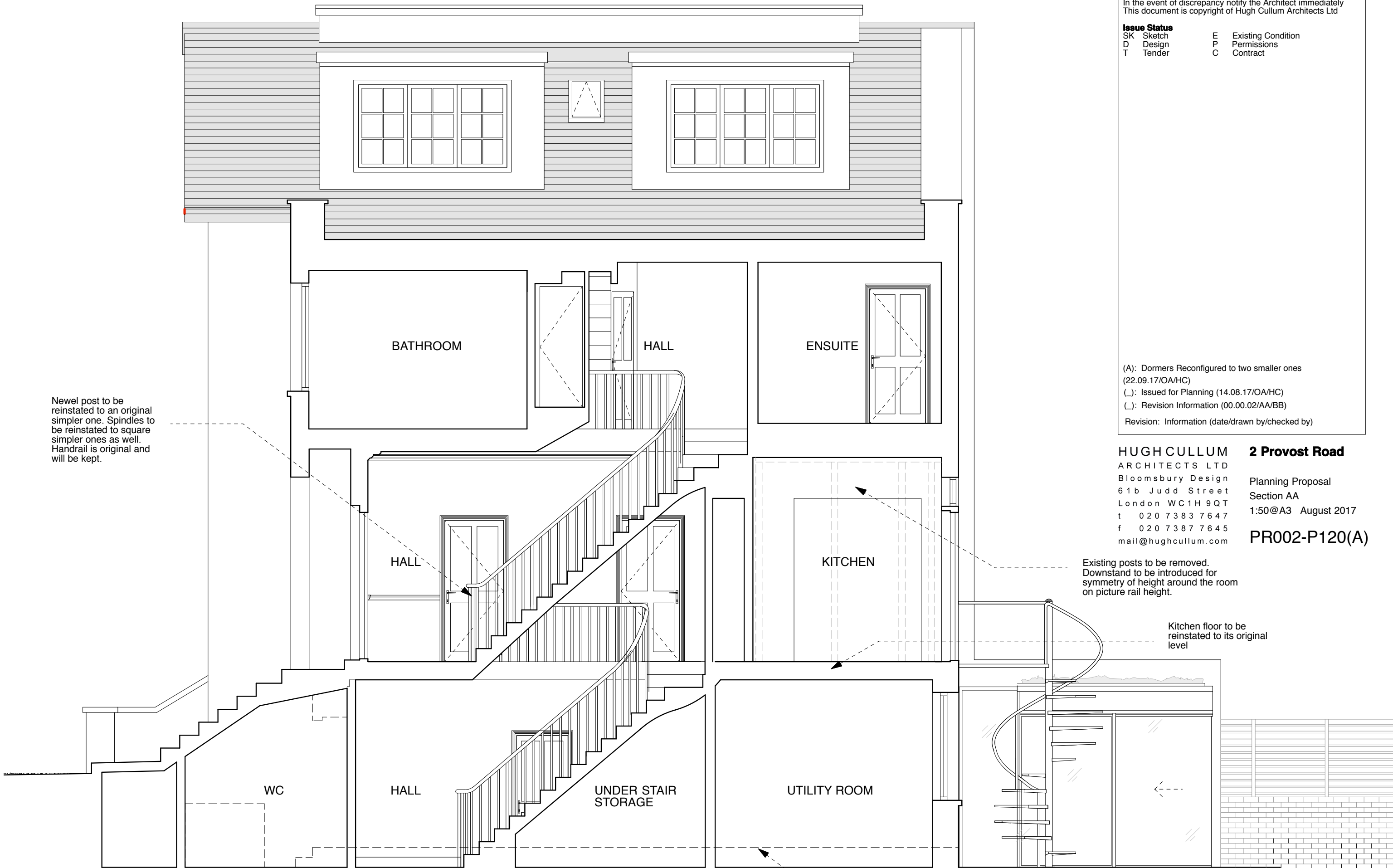
0m 0.5m 1m 5m

AS PROPOSED _ Roof Layout



HUGH CULLUM ARCHITECTS LTD
 2 Provost Road
 Bloomsbury Design
 61b Judd Street
 London WC1H 9QT
 t 020 7383 7647
 f 020 7387 7645
 mail@hughcullum.com

Planning Proposal
 Roof Layout
 1:50@A3 August 2017
PR002-P114(A)



General Notes
 All dimensions to be verified on site
 To be read in conjunction with all relevant documents
 In the event of discrepancy notify the Architect immediately
 This document is copyright of Hugh Cullum Architects Ltd

Issue Status
 SK Sketch E Existing Condition
 D Design P Permissions
 T Tender C Contract

(A): Dormers Reconfigured to two smaller ones
 (22.09.17/OA/HC)
 (.) : Issued for Planning (14.08.17/OA/HC)
 (.) : Revision Information (00.00.02/AA/BB)
 Revision: Information (date/drawn by/checked by)

Newel post to be reinstated to an original simpler one. Spindles to be reinstated to square simpler ones as well. Handrail is original and will be kept.

HUGH CULLUM ARCHITECTS LTD
 Bloomsbury Design
 61b Judd Street
 London WC1H 9QT
 t 020 7383 7647
 f 020 7387 7645
 mail@hughcullum.com

2 Provost Road
 Planning Proposal
 Section AA
 1:50@A3 August 2017
PR002-P120(A)

Existing posts to be removed. Downstand to be introduced for symmetry of height around the room on picture rail height.

Kitchen floor to be reinstated to its original level

Floor level to be lowered.



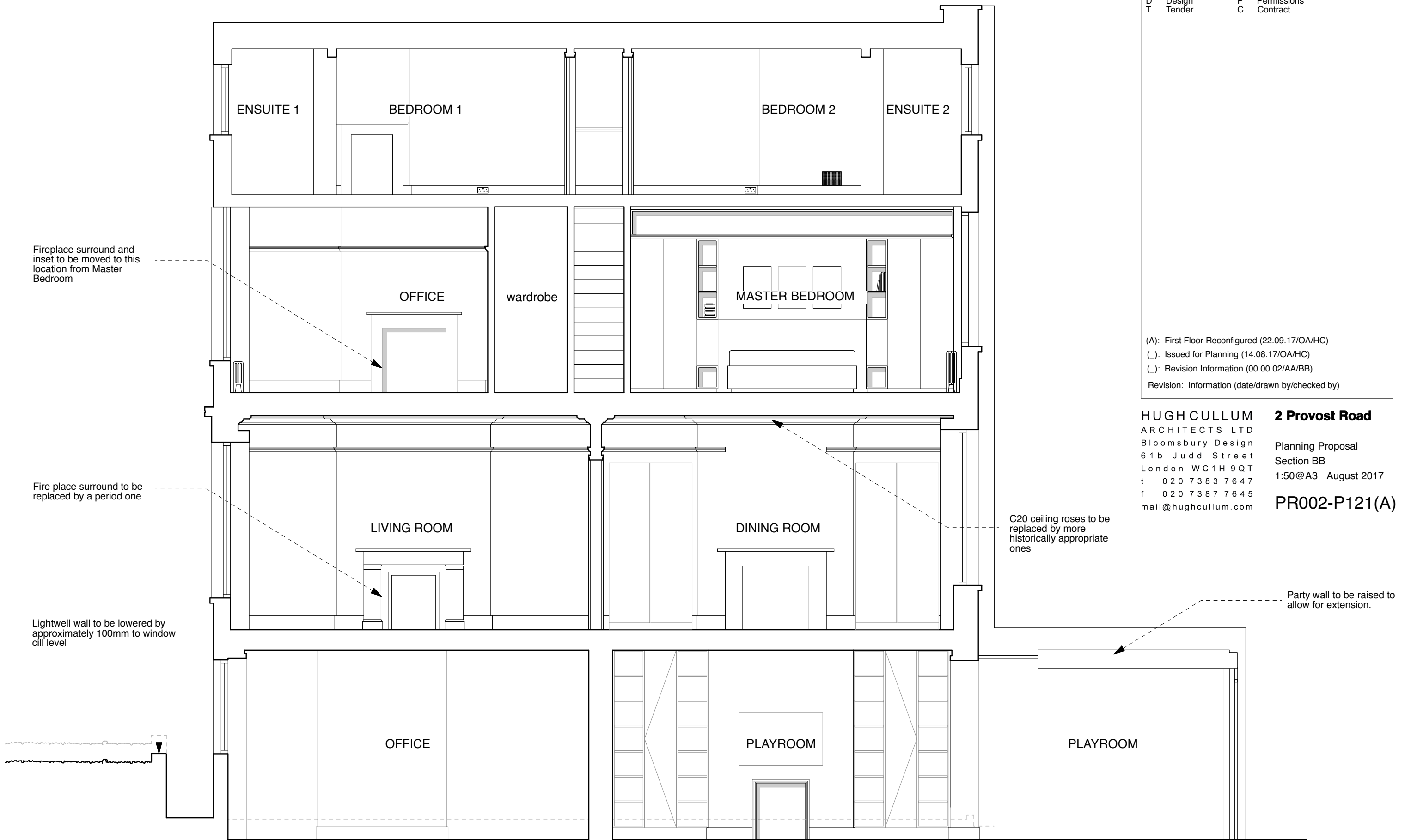
AS PROPOSED _ Section AA

General Notes
 All dimensions to be verified on site
 To be read in conjunction with all relevant documents
 In the event of discrepancy notify the Architect immediately
 This document is copyright of Hugh Cullum Architects Ltd

Issue Status
 SK Sketch E Existing Condition
 D Design P Permissions
 T Tender C Contract

(A): First Floor Reconfigured (22.09.17/OA/HC)
 (): Issued for Planning (14.08.17/OA/HC)
 (): Revision Information (00.00.02/AA/BB)
 Revision: Information (date/drawn by/checked by)

HUGH CULLUM ARCHITECTS LTD **2 Provost Road**
 Bloomsbury Design
 61b Judd Street
 London WC1H 9QT
 t 020 7383 7647
 f 020 7387 7645
 mail@hughcullum.com
 Planning Proposal
 Section BB
 1:50@A3 August 2017
PR002-P121(A)



0m 0.5m 1m 5m



Door to be formed in the place of the existing window.

New timber white sash to match existing in style and materials

General Notes
 All dimensions to be verified on site
 To be read in conjunction with all relevant documents
 In the event of discrepancy notify the Architect immediately
 This document is copyright of Hugh Cullum Architects Ltd

Issue Status
 SK Sketch E Existing Condition
 D Design P Permissions
 T Tender C Contract

(A): First Floor Reconfigured and rear door opening as existing (22.09.17/OA/HC)

(-): Issued for Planning (14.08.17/OA/HC)

(-): Revision Information (00.00.02/AA/BB)

Revision: Information (date/drawn by/checked by)

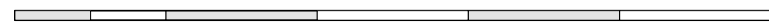
HUGH CULLUM
 ARCHITECTS LTD
 Bloomsbury Design
 61b Judd Street
 London WC1H 9QT
 t 020 7383 7647
 f 020 7387 7645
 mail@hughcullum.com

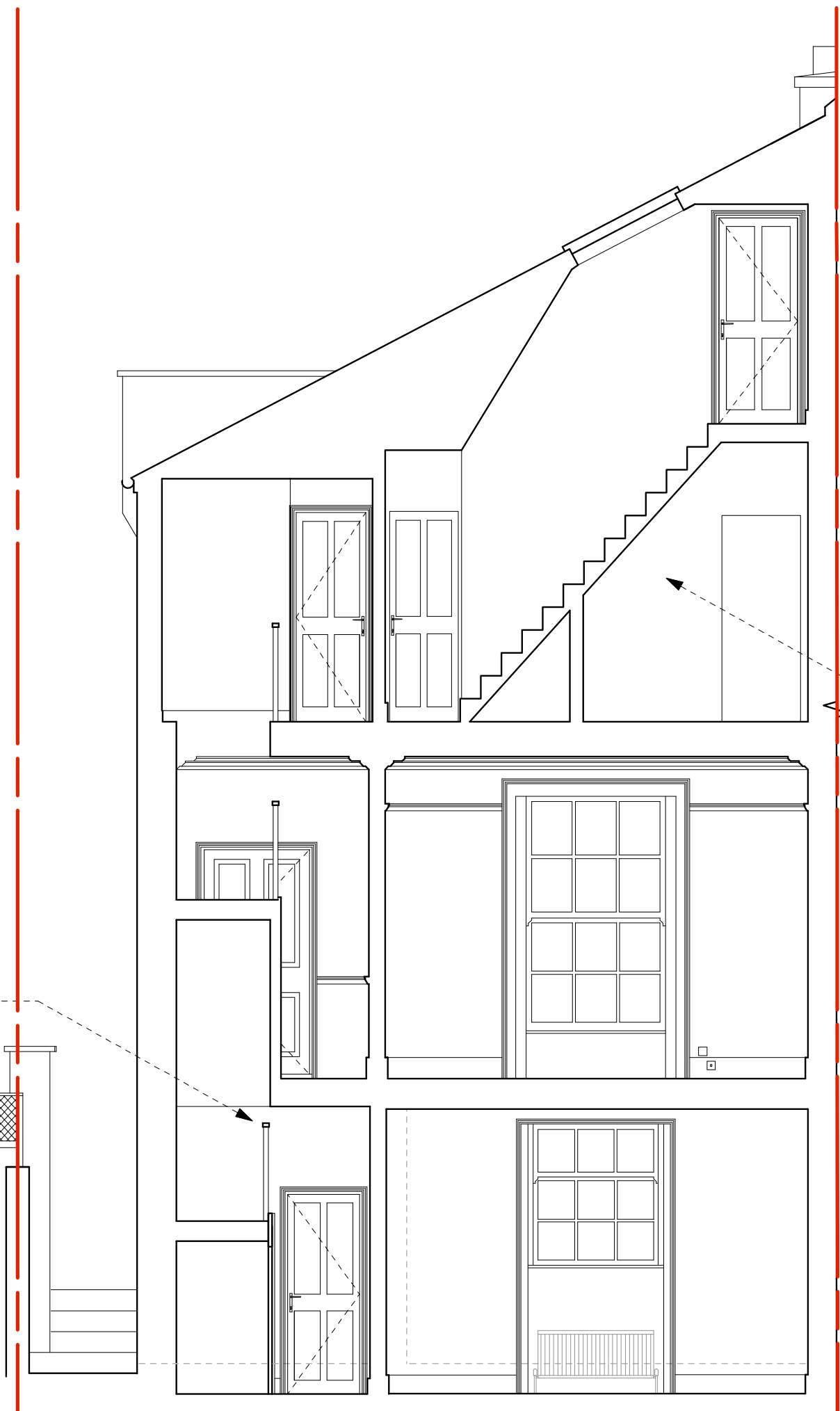
2 Provost Road

Planning Proposal
 Section CC
 1:50@A3 August 2017

PR002-P122(A)

0m 0.5m 1m 5m





wardrobe to be formed under stair and also by occupying some space from the office.

Staircase to be reinstated to its original position

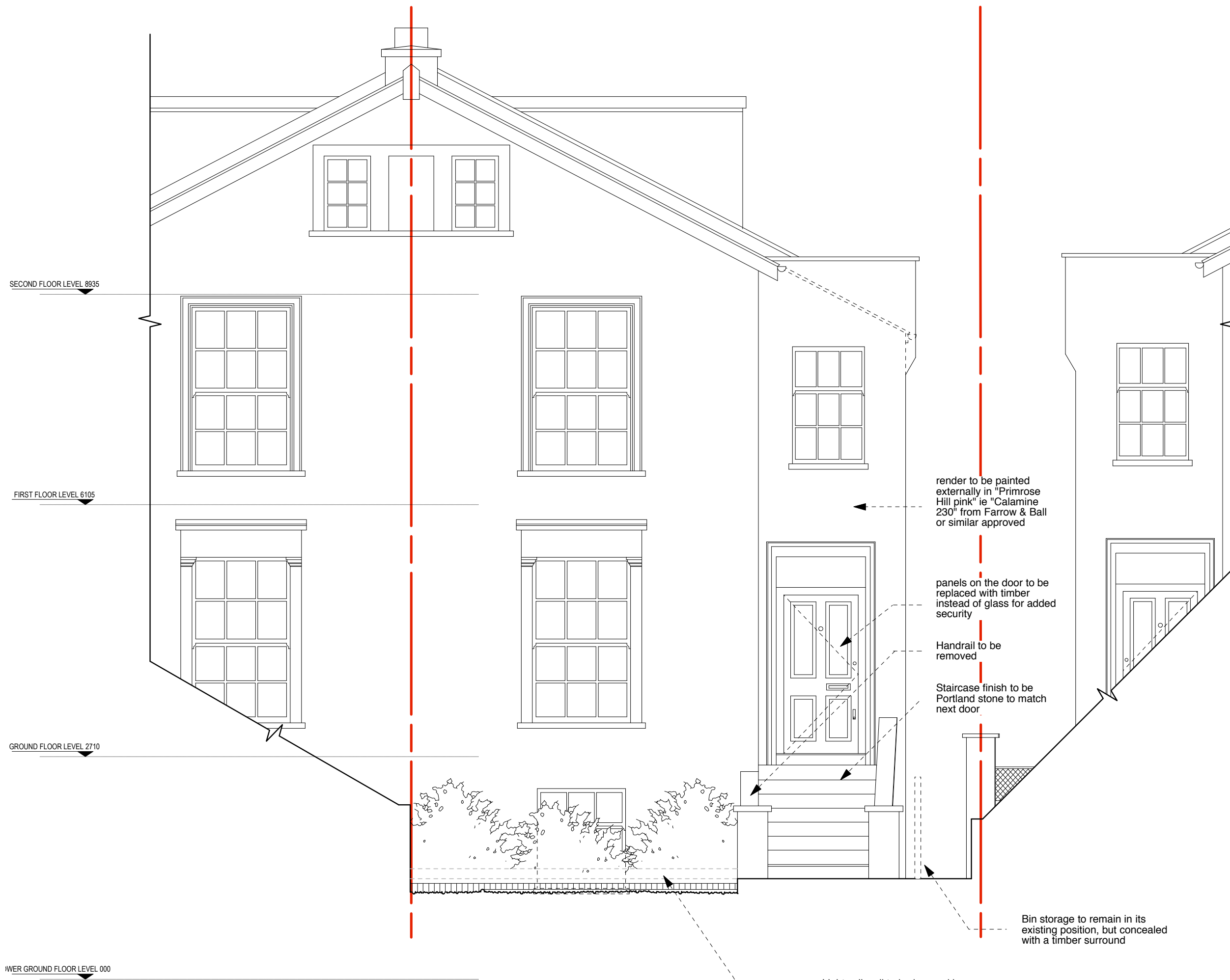


General Notes
 All dimensions to be verified on site
 To be read in conjunction with all relevant documents
 In the event of discrepancy notify the Architect immediately
 This document is copyright of Hugh Cullum Architects Ltd

Issue Status

SK	Sketch	E	Existing Condition
D	Design	P	Permissions
T	Tender	C	Contract

(A): Dormers Reconfigured to two smaller ones & glazed canopy removed (22.09.17/OA/HC)
 (L): Issued for Planning (14.08.17/OA/HC)
 (R): Revision Information (00.00.02/AA/BB)
 Revision: Information (date/drawn by/checked by)



General Notes
 All dimensions to be verified on site
 To be read in conjunction with all relevant documents
 In the event of discrepancy notify the Architect immediately
 This document is copyright of Hugh Cullum Architects Ltd

Issue Status

SK	Sketch	E	Existing Condition
D	Design	P	Permissions
T	Tender	C	Contract

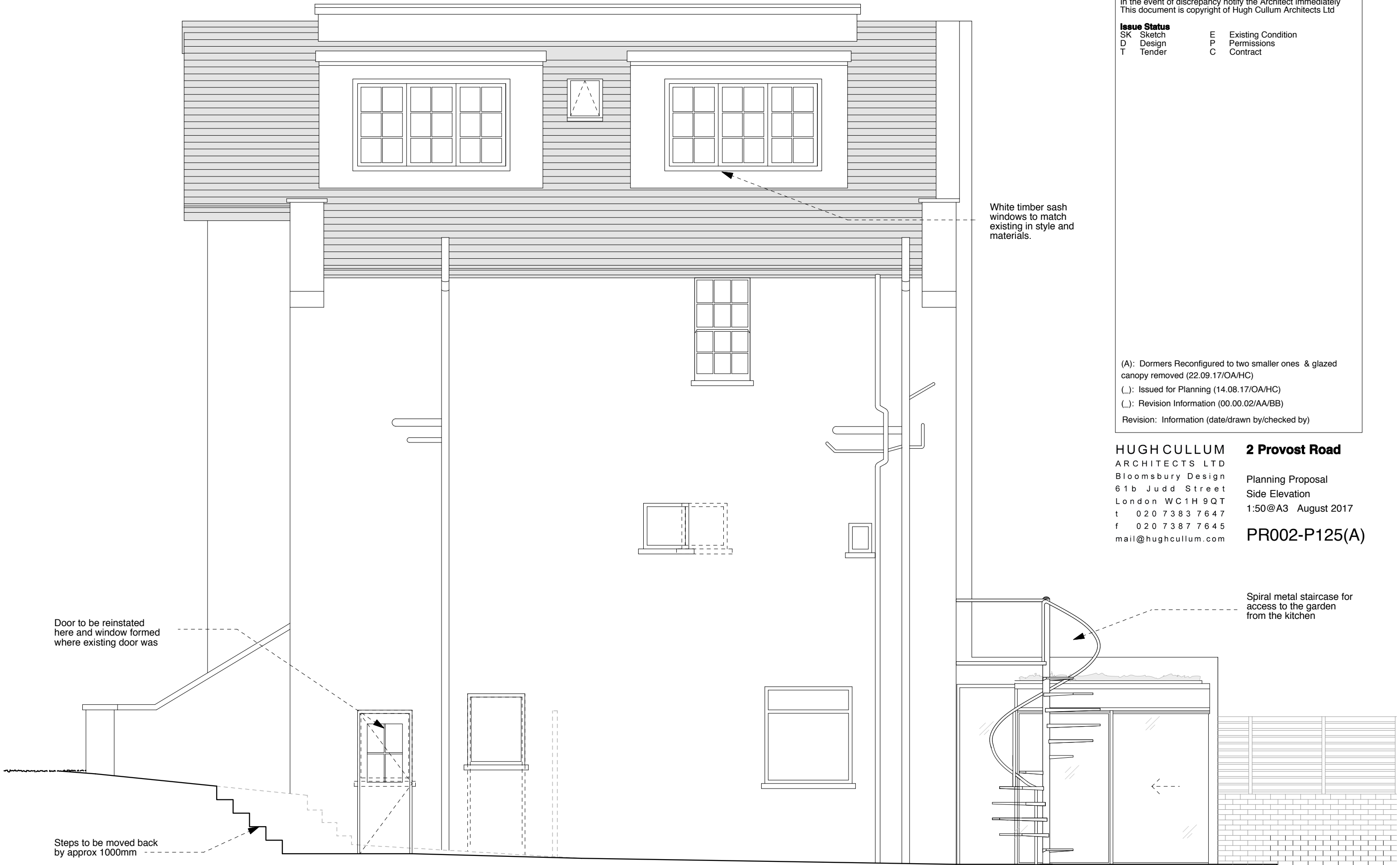
(A): Dormers Reconfigured to two smaller ones & glazed canopy removed (22.09.17/OA/HC)
 (L): Issued for Planning (14.08.17/OA/HC)
 (L): Revision Information (00.00.02/AA/BB)
 Revision: Information (date/drawn by/checked by)

AS PROPOSED _ Front Elevation

0m 0.5m 1m 5m

HUGH CULLUM
 ARCHITECTS LTD
 Bloomsbury Design
 61b Judd Street
 London WC1H 9QT
 t 020 7383 7647
 f 020 7387 7645
 mail@hughcullum.com

2 Provost Road
 Planning Proposal
 Front Elevation
 1:50@A3 August 2017
 PR002-P124(A)



General Notes
 All dimensions to be verified on site
 To be read in conjunction with all relevant documents
 In the event of discrepancy notify the Architect immediately
 This document is copyright of Hugh Cullum Architects Ltd

Issue Status

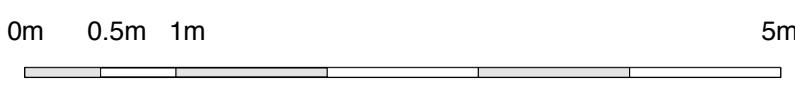
SK	Sketch	E	Existing Condition
D	Design	P	Permissions
T	Tender	C	Contract

(A): Dormers Reconfigured to two smaller ones & glazed canopy removed (22.09.17/OA/HC)
 (L): Issued for Planning (14.08.17/OA/HC)
 (R): Revision Information (00.00.02/AA/BB)
 Revision: Information (date/drawn by/checked by)

HUGH CULLUM ARCHITECTS LTD
 Bloomsbury Design
 61b Judd Street
 London WC1H 9QT
 t 020 7383 7647
 f 020 7387 7645
 mail@hughcullum.com

2 Provost Road
 Planning Proposal
 Side Elevation
 1:50@A3 August 2017
PR002-P125(A)

AS PROPOSED _ Side Elevation



General Notes
 All dimensions to be verified on site
 To be read in conjunction with all relevant documents
 In the event of discrepancy notify the Architect immediately
 This document is copyright of Hugh Cullum Architects Ltd

Issue Status
 SK Sketch E Existing Condition
 D Design P Permissions
 T Tender C Contract

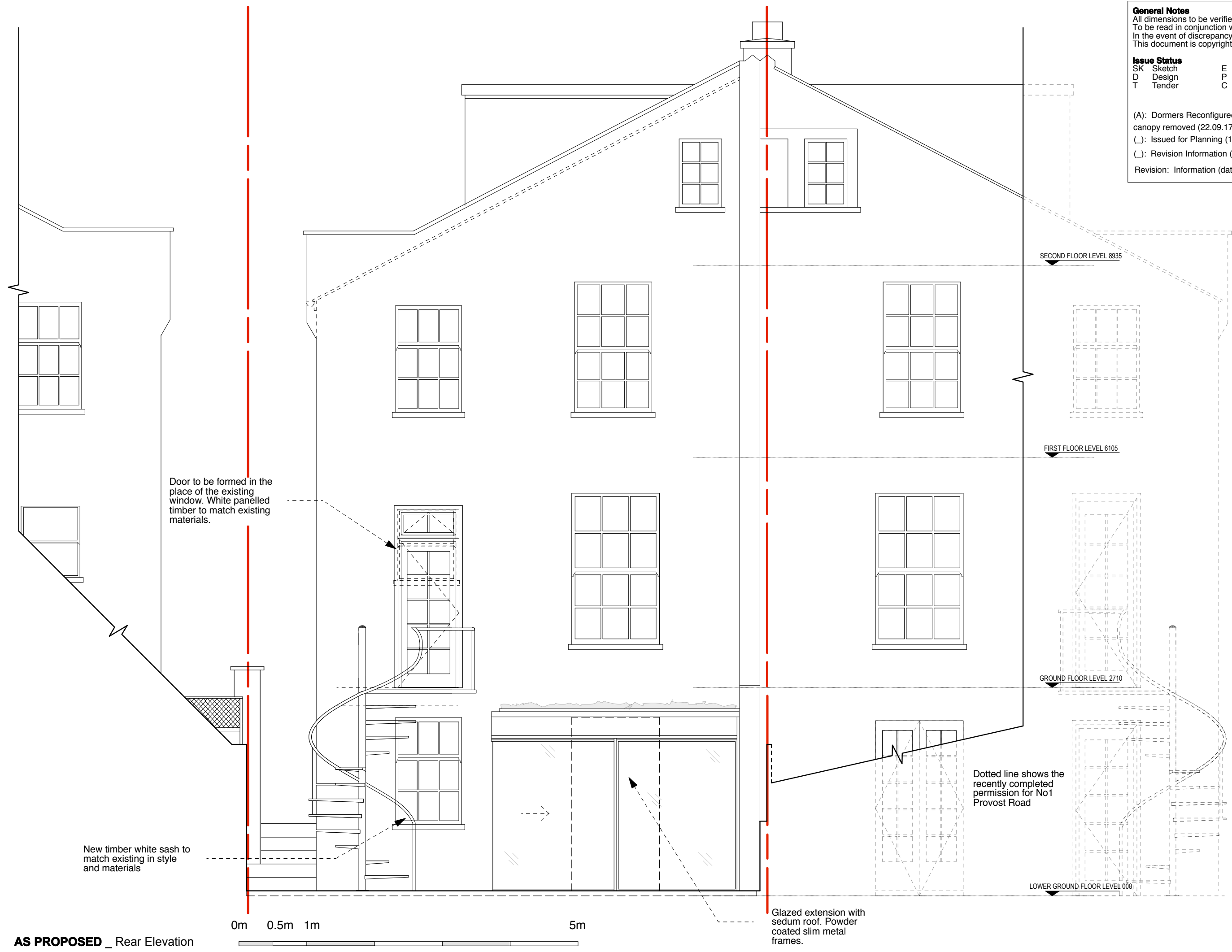
(A): Dormers Reconfigured to two smaller ones & glazed canopy removed (22.09.17/OA/HC)
 (L): Issued for Planning (14.08.17/OA/HC)
 (R): Revision Information (00.00.02/AA/BB)
 Revision: Information (date/drawn by/checked by)

2 Provost Road

Planning Proposal
 Rear Elevation
 1:50@A3 August 2017

PR002-P126(A)

HUGH CULLUM
 ARCHITECTS LTD
 Bloomsbury Design
 61b Judd Street
 London WC1H 9QT
 t 020 7383 7647
 f 020 7387 7645
 mail@hughcullum.com



Door to be formed in the place of the existing window. White panelled timber to match existing materials.

New timber white sash to match existing in style and materials

Dotted line shows the recently completed permission for No1 Provost Road

Glazed extension with sedum roof. Powder coated slim metal frames.



AS PROPOSED _ Rear Elevation