

Extract from Camden Planning Guidance, Basements & lightwells, CPG4

Railings, grilles and other lightwell treatment

- 2.24 In order to comply with building regulation standards, light wells should be secured by either a railing (1,100mm high) or a grille. In gardens that front a street, railings can cause a cluttered appearance to the front of the property and can compete with the appearance of the front boundary wall, or obscure front windows. This is particularly the case in shallow gardens. Where front light wells are proposed, they should be secured by a grille which sits flush with the natural ground level, rather than railings. In certain publicly accessible locations grilles should be locked to prevent lightwells being misused for casual sleeping and drug use.
- 2.25 Railings will be considered acceptable where they form part of the established street scene, or would not cause harm to the appearance of the building.

2.0 EXISTING



Key:

- Existing railings
- Location of building in application

There is a large number of existing railings on the buildings immediately adjacent to the application site as well as the streets surrounding, as can be seen from the diagram left and on the following page of photographs.

There are also some existing railings on the existing building.

Existing Site Plan showing locations of existing railings
Location of Photographs (on next page)

2.0 EXISTING



View south west along Riding House Street



View south west along Foley Street

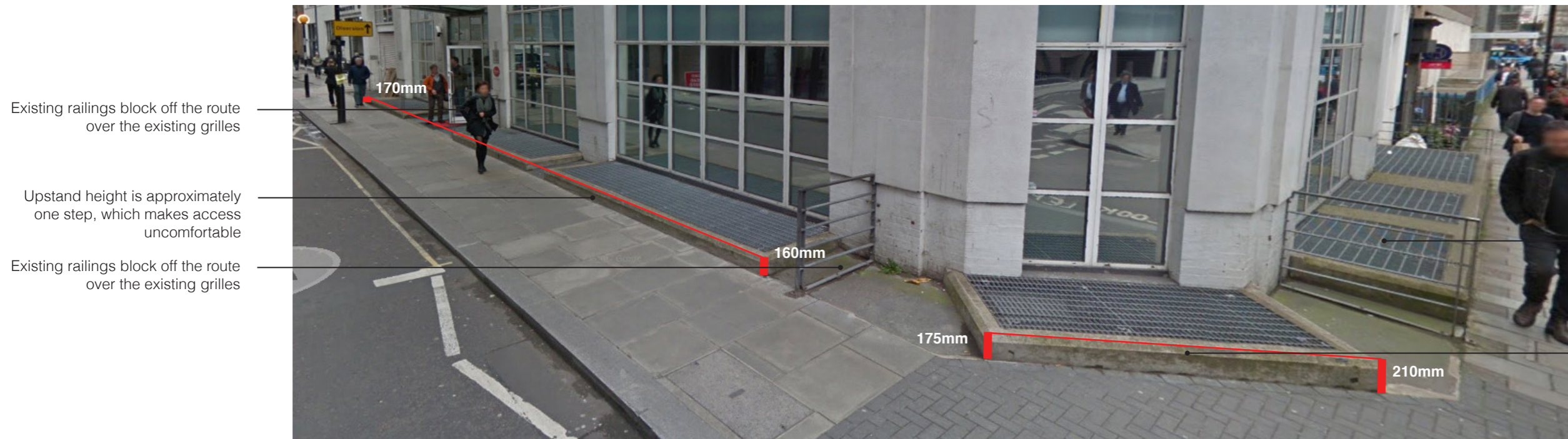


View south east along Cleveland Street



View south east along Goodge Place

2.0 EXISTING



Cleveland Street elevation



Tottenham Street elevation

The existing upstands and grilles are not used by pedestrians due to the height above the pavement, as can be seen from the photographs. Also, these galvanised grilles and concrete upstands are unsightly in comparison to the building and surrounding area.

3.0 PROPOSED



Key:

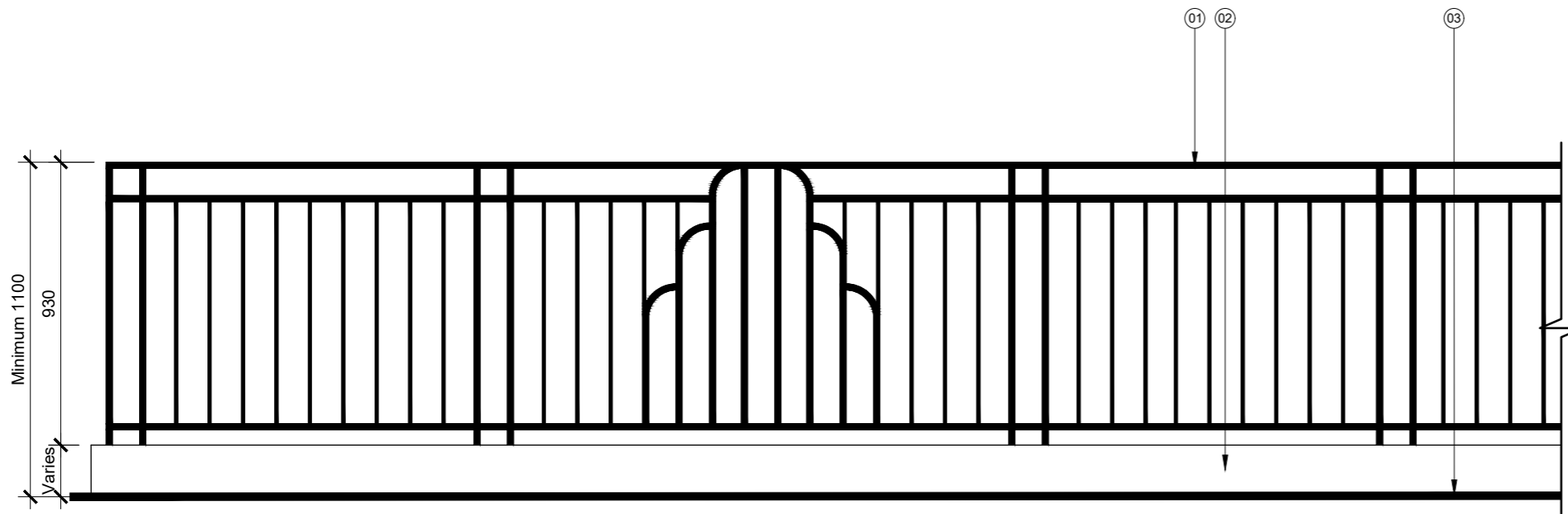
Existing and proposed railings

Location of building in application

It is considered that the use of metal railings will be more consistent with the established street scene, surrounding area and the character of the building.

Proposed Site Plan

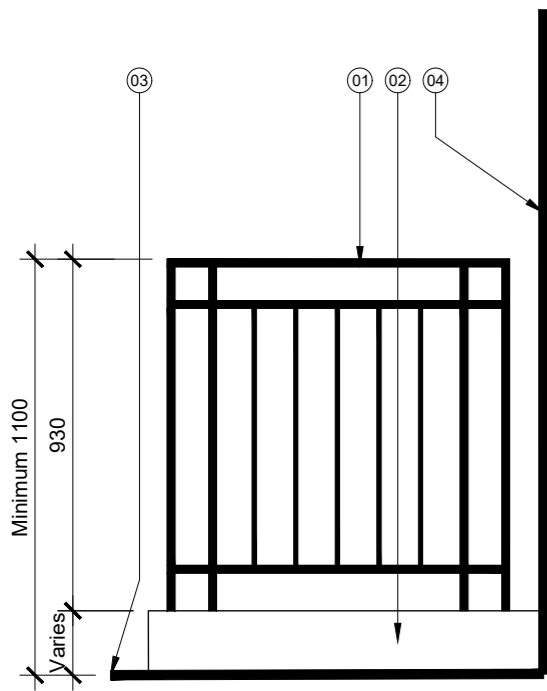
3.0 PROPOSED



Notes:

1. Polyester powder coated steel railing. Colour: Black, RAL: 7043. Railing mechanically fixed to upstand.
2. Existing concrete upstands made good and redecorated. Colour: White.
3. Existing pavement.
4. Existing rendered facade.

01 Typical Railing Front Elevation
21.605 Scale 1:20 @ A3



02 Typical Railing Side Elevation
21.605 Scale 1:20 @ A3

The new high quality railings will be located around the existing lightwells. These will be fixed to the top of the existing upstands which will be painted white. The railings will be powder coated black in keeping with railings throughout the Charlotte Street Conservation Area as set out within the Charlotte Street Appraisal and Management Plan July 2008 and with neighbouring buildings. The railing format will be composed of a series of vertical elements with central motifs referencing the building's Art Deco heritage. The existing grillage over the lightwells is unsightly and removing it will improve both the building's Ground Floor appearance and allow more light into the Lower Ground Floor office space.