

45-46 RED LION STREET

*Document containing information for the approval
of details reserved by a condition*



2017/1783/P
Planning condition 3

"Detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority before the relevant part of the work is begun:

Manufacturer's specification details of facing materials to the proposed 3rd floor rear extension (to be submitted to the Local Planning Authority) and samples of those materials (to be provided on site)."

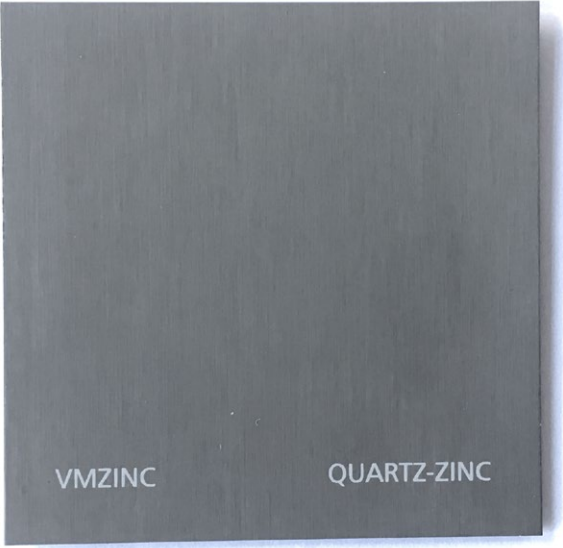

2017/1941/L
Listed Building Consent conditions 4(a)

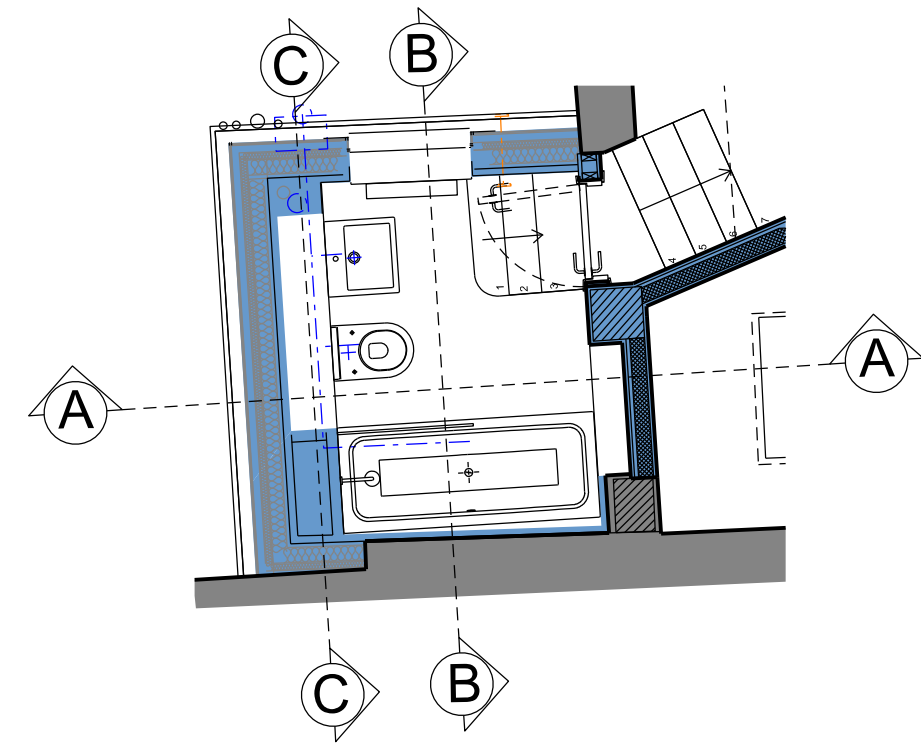
"a) Manufacturer's specification details of facing materials to the proposed 3rd floor rear extension (to be submitted to the Local Planning Authority) and samples of those materials (to be provided on site)"

2017/1941/L
Listed Building Consent conditions 4(b)

"b) Details of service runs for all new bathrooms/kitchens, demonstrating the relationship of new pipework with the structure of the building.

PP CONDITION 3 AND LBC CONDITION 4(A): ZINC CLADDING AND FLASHINGS

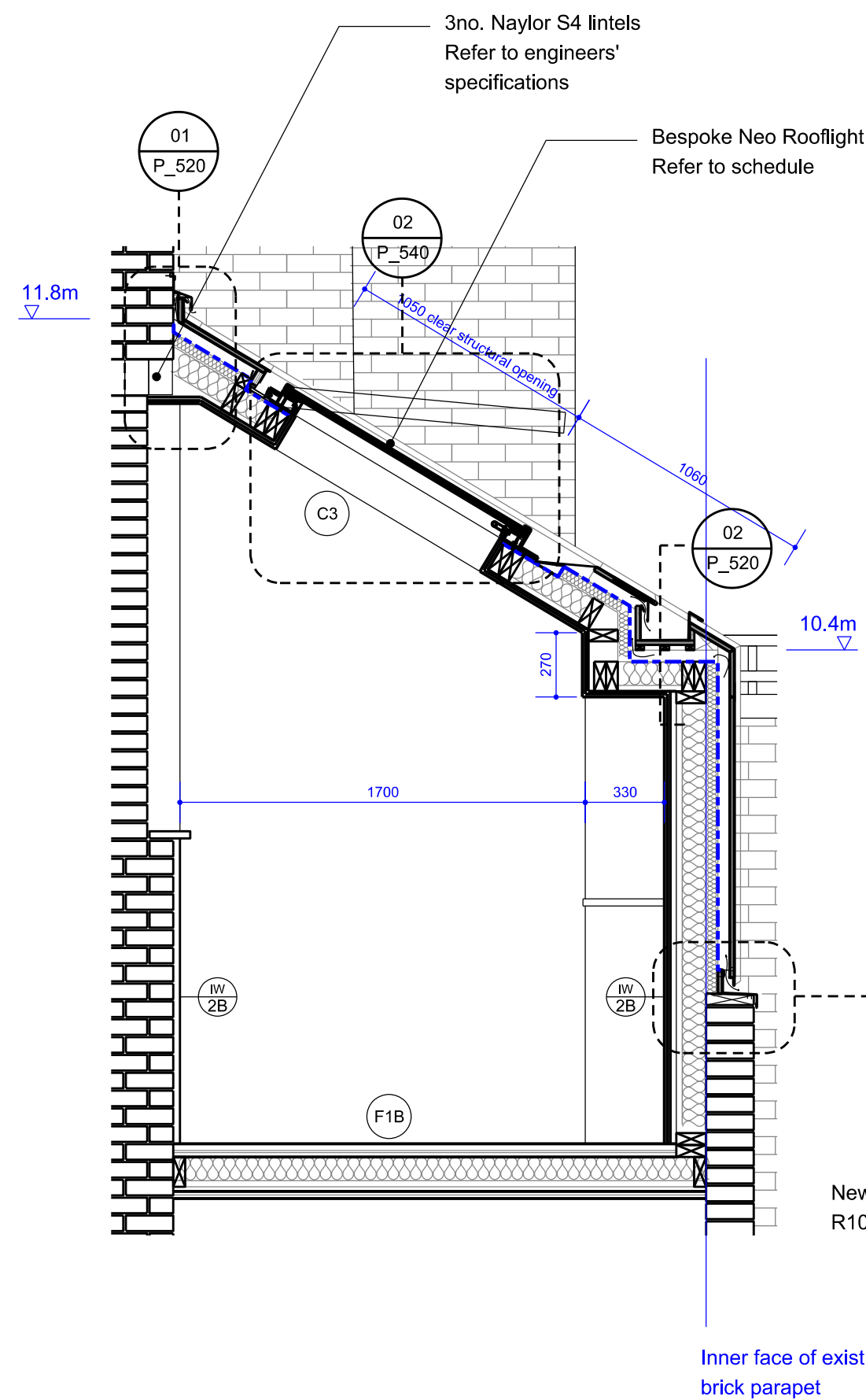
<p>Specification</p>	<p>Manufacturer's specification details of facing materials to the proposed 3rd floor rear extension:</p> <p>VMZINC Traditional ventilated standing seam cladding Finish: Natural light-grey Quartz-Zinc</p>
<p>Photo of material sample</p>	
<p>Reference project</p>	<p>De Vere Gardens by David Chipperfield Architects</p> 



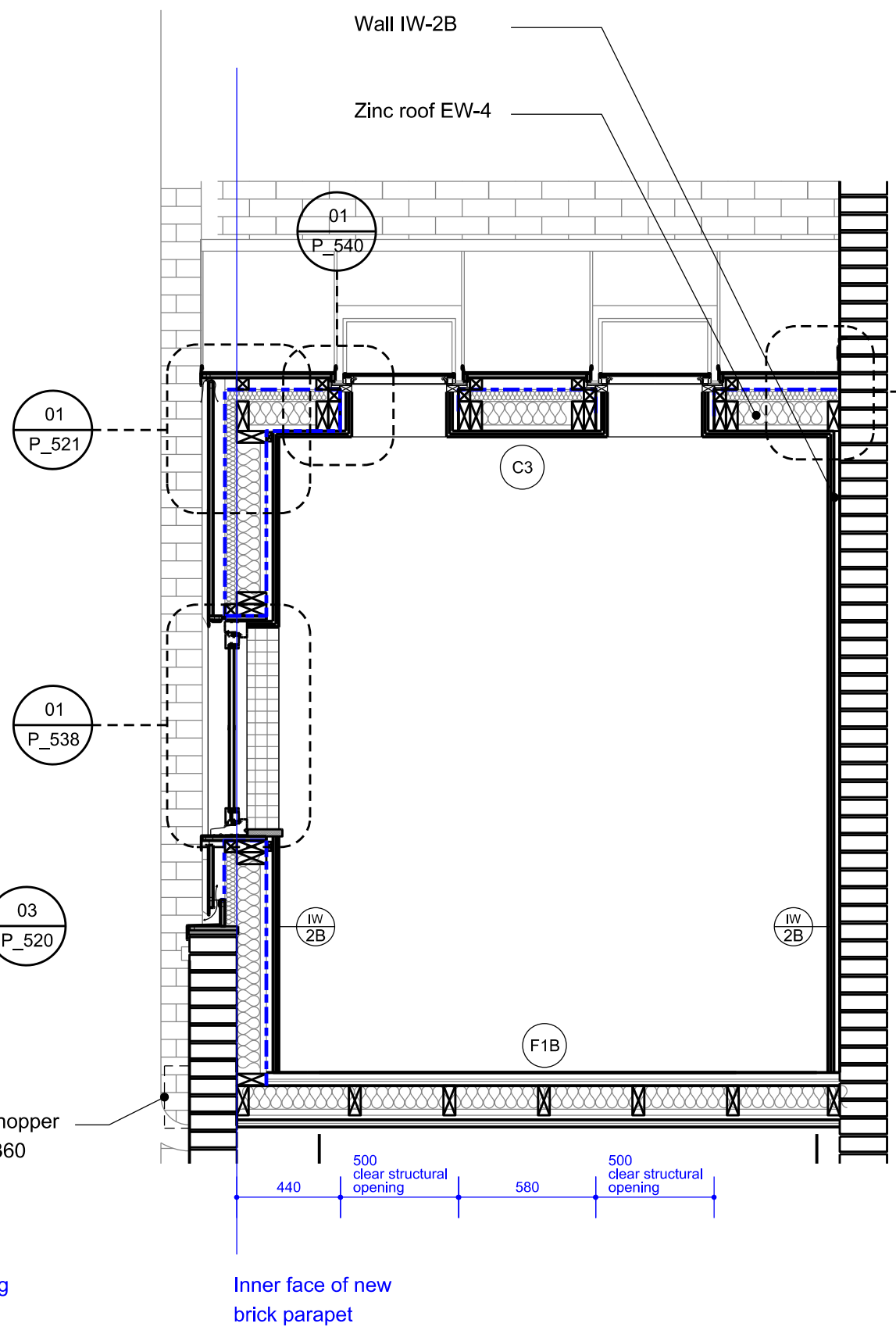
General notes:
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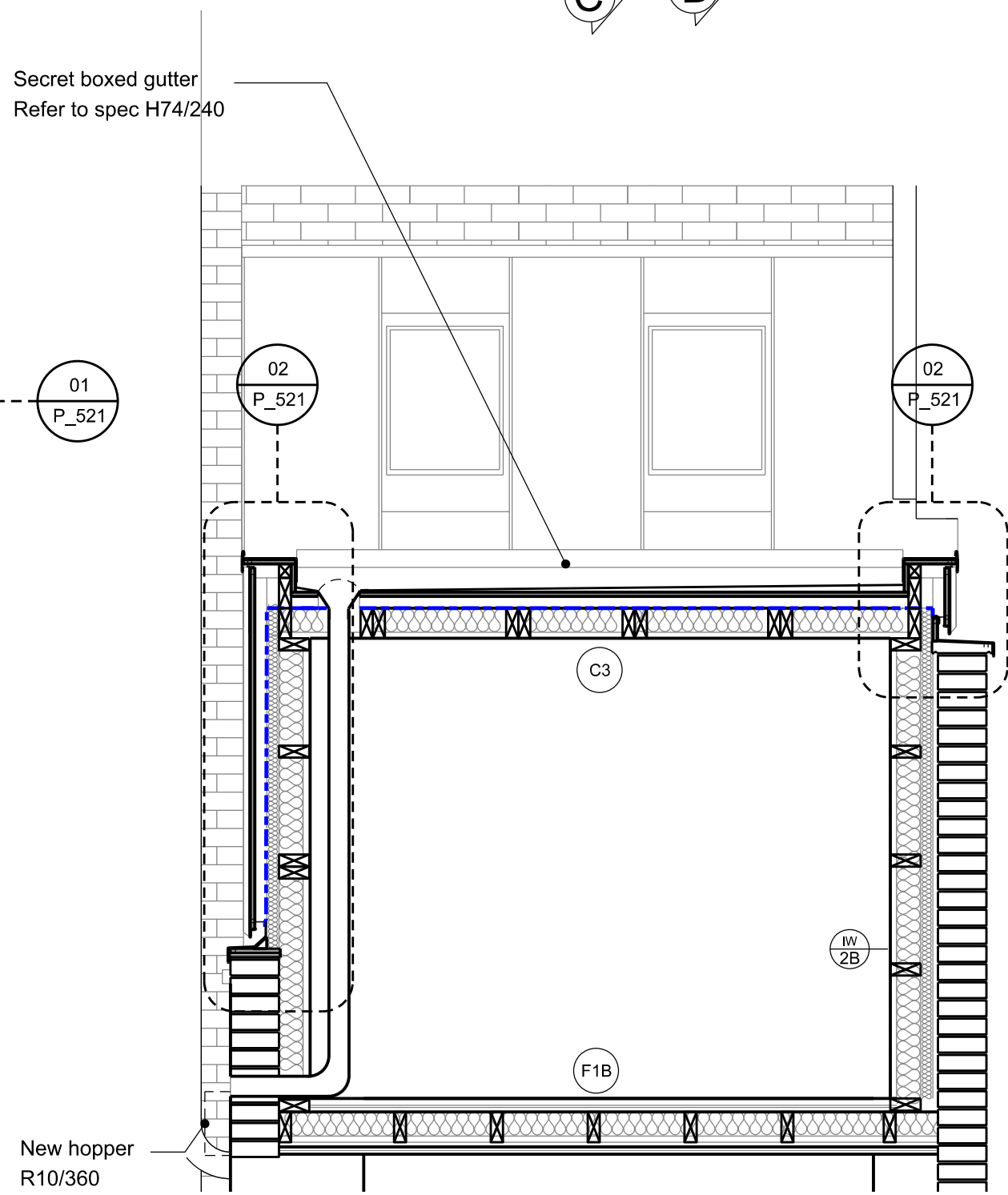
Rev.	Date	Description	Drawn	Check
T01	18/08/17	Tender		



01 Detailed Section AA of Zinc Roof extension
 Scale 1:25 at A2



02 Detailed Section BB of Zinc Roof extension
 Scale 1:25 at A2



03 Detailed Section CC of Zinc Roof extension
 Scale 1:25 at A2

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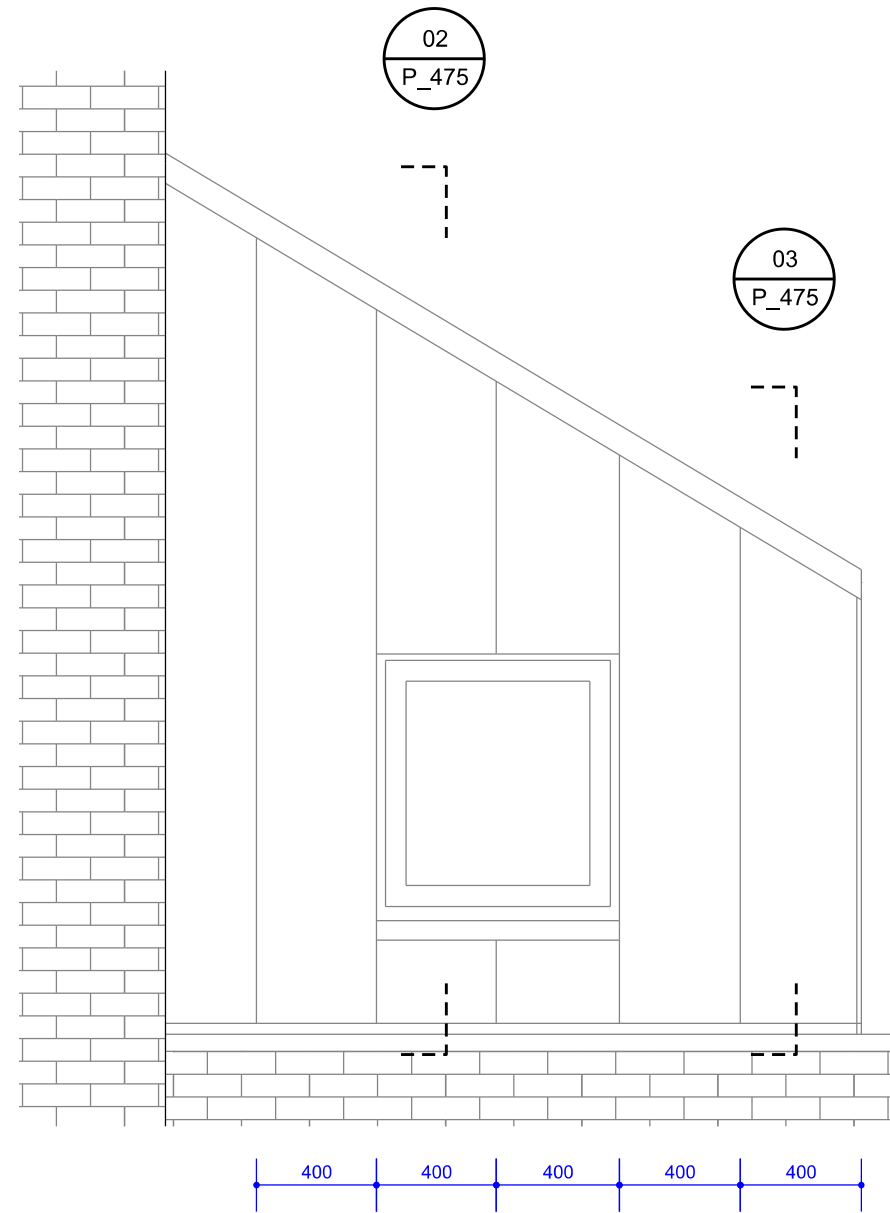
Project 45-46 Red Lion Street Project number 030

Client
 Glasshouse Limited

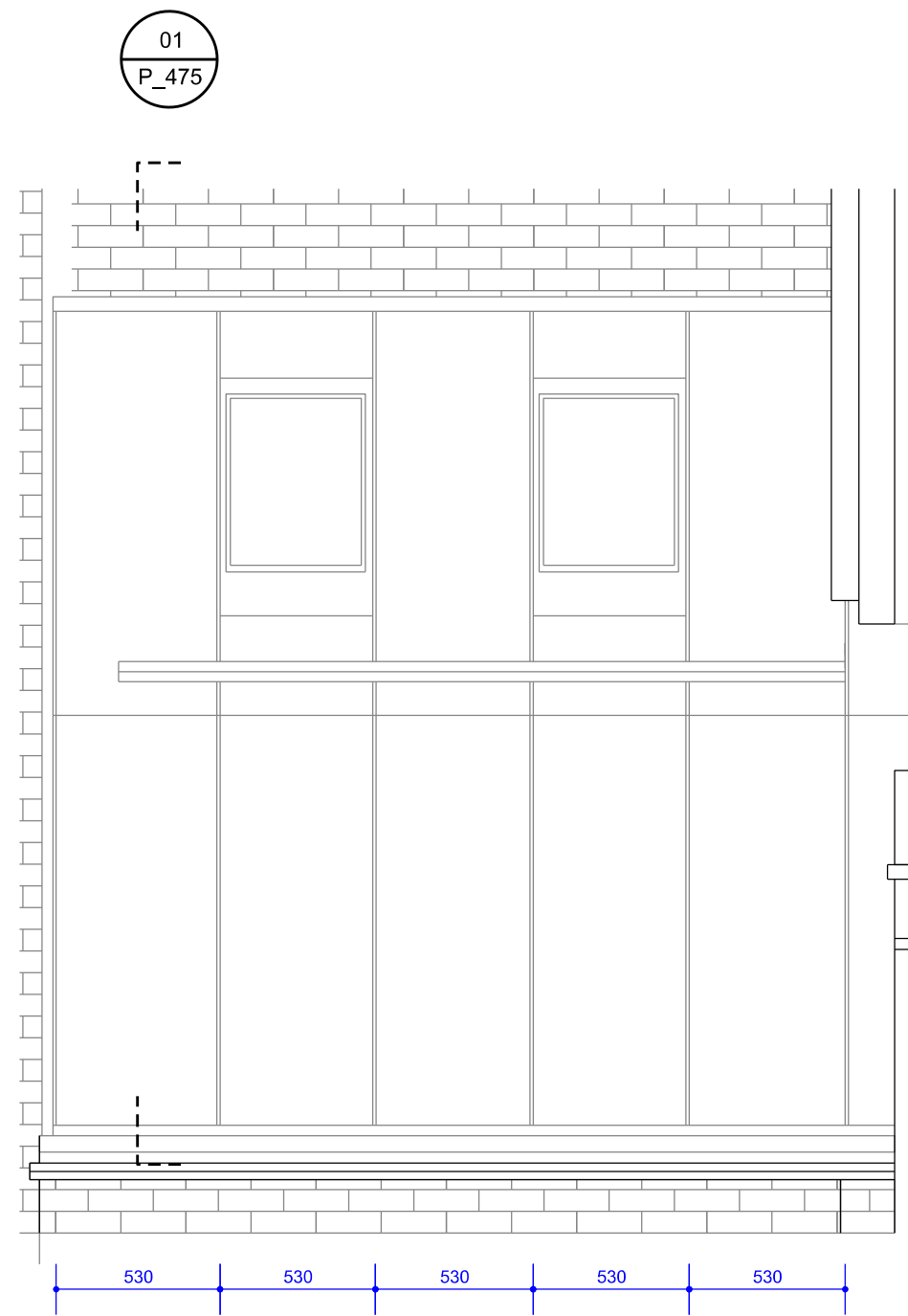
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Drawing name Roof Extension to n.46 Proposed - Section details Drawing number 030_P_475

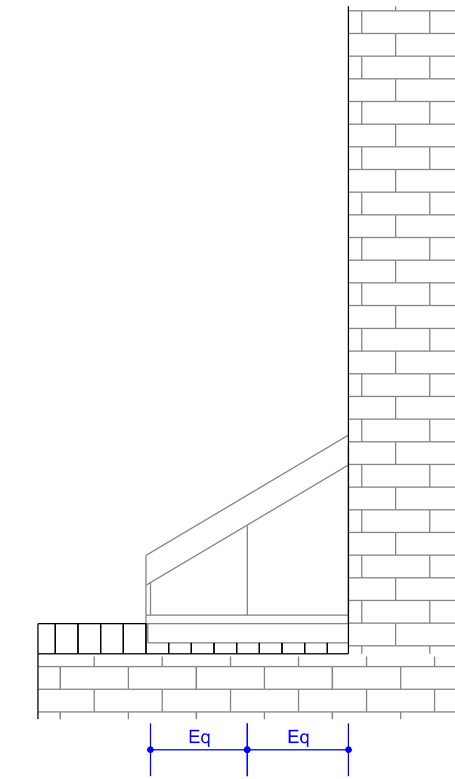
Date June 2017 Issue
 Scale / Format 1:25@A2/1:50@A4 T01
 Drawn / Checked EEA Tender
 Approved EEA
 CAD Reference -



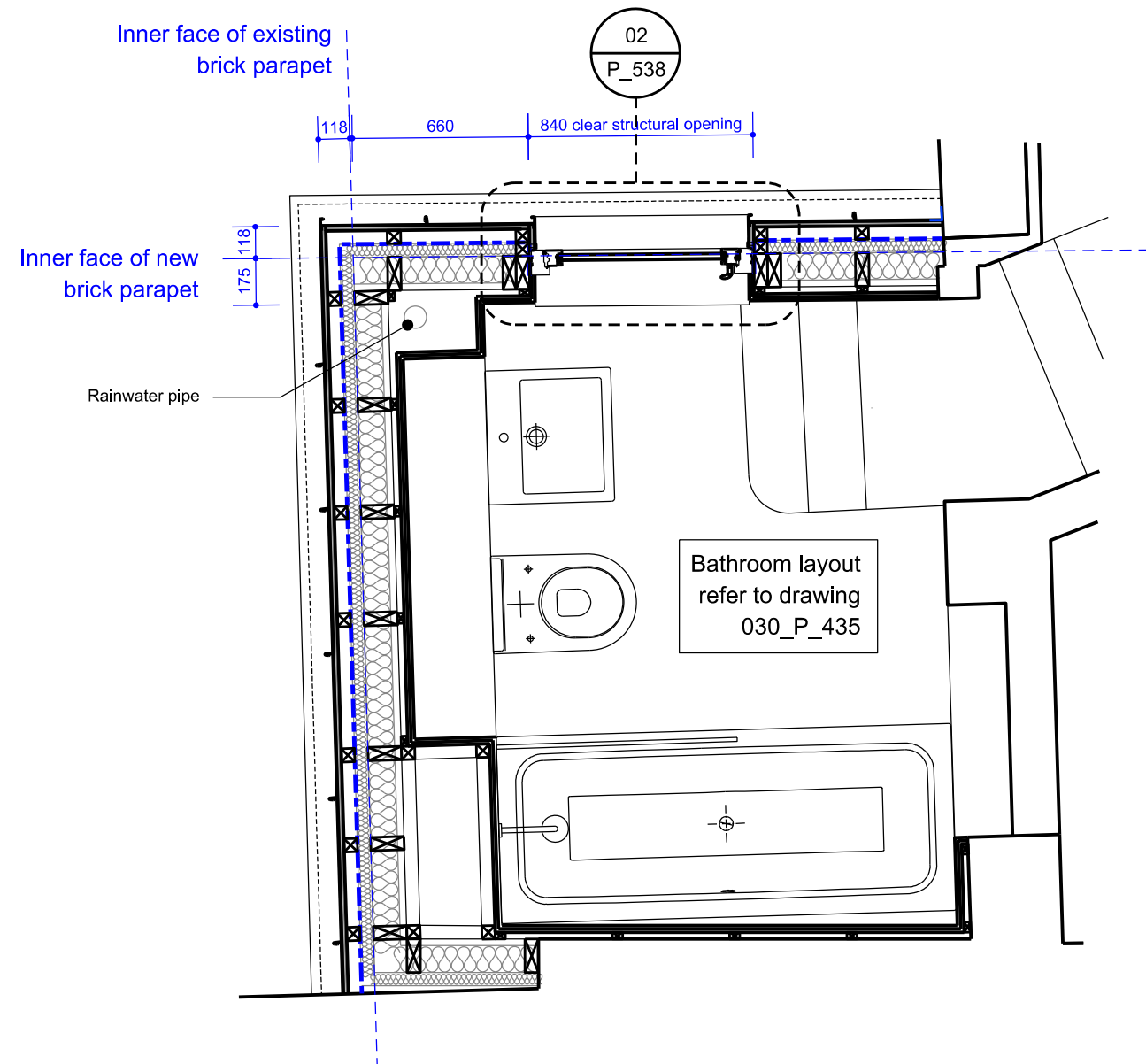
01 West Elevation of Zinc Roof extension
Scale 1:25 at A2



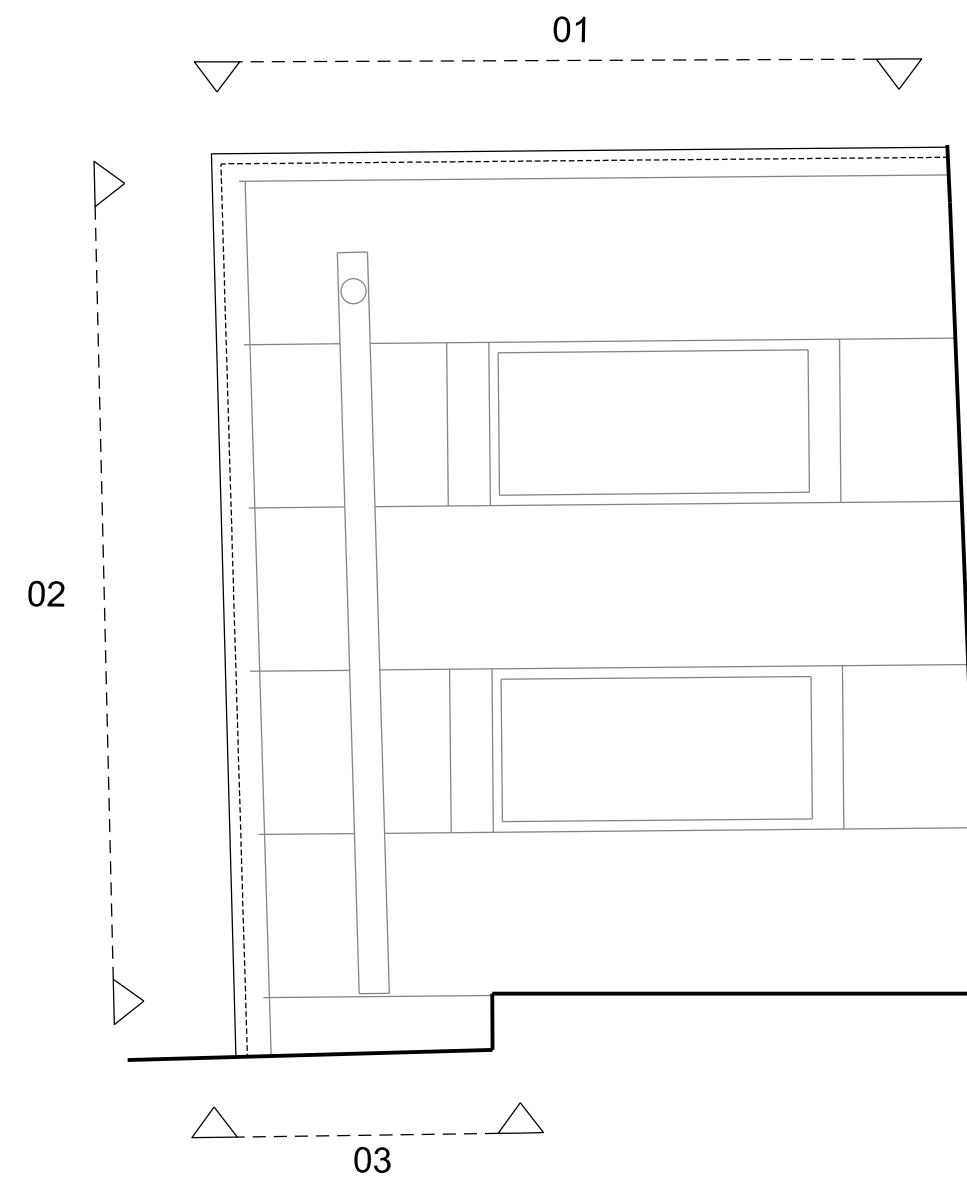
02 South Elevation of Zinc Roof extension
Scale 1:25 at A2



03 East Elevation of Zinc Roof extension
Scale 1:25 at A2



04 Detailed Plan of Zinc Roof extension
Scale 1:25 at A2



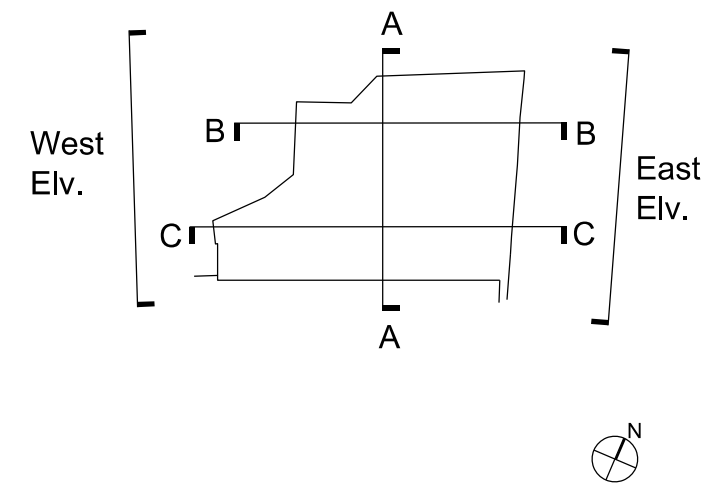
05 Roof Plan of Zinc Roof extension
Scale 1:25 at A2

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Drawing name Roof Extension to n.46 Proposed - Plan detail Drawing number 030_P_476

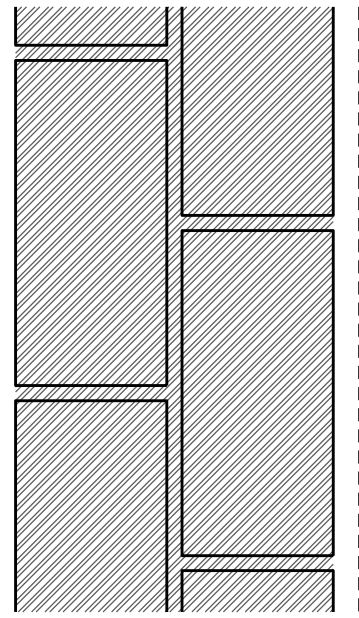
Date June 2017 Issue T01
Scale / Format 1:25@A2/1:50@A4
Drawn / Checked EEA
Approved EEA
CAD Reference -

EXTERNAL WALLS AND ROOFS

Ref: EW-1

Description: Sand-blast and re-point
 Typical location: Rear facades
 Nominal thickness: N/A
 U-Value required: N/A

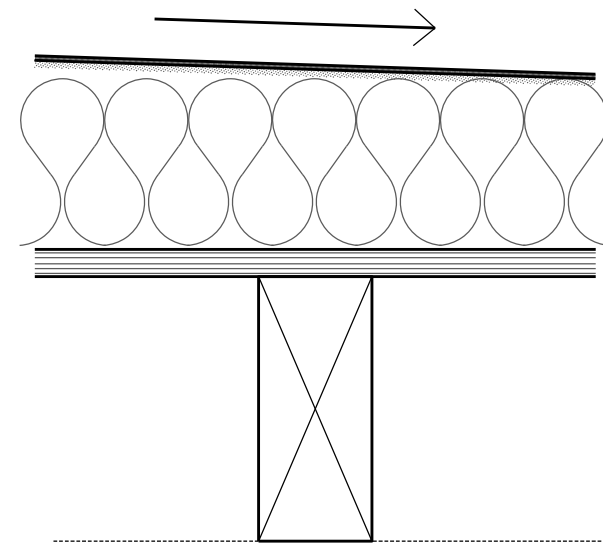
- (Left to right)
- Existing masonry
 - Remove existing render with hammer and chisel (do not use power tools which could damage the bricks) (C41/126)
 - Cut out pointing and re-point walls flush with hydraulic lime (C41/810)
- (Note: Architect to assess the state of walls during/following removal of render and advise how to proceed)



Ref: EW-2

Typical location: Existing roof of no.46
 Nominal thickness above structure: sloping surface, approx 150mm at high-point
 U-Value required: 0.18w/m2K

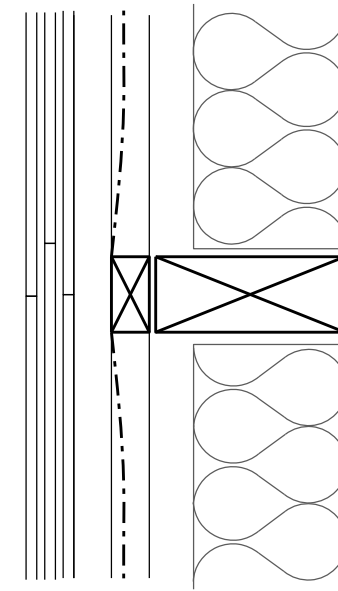
- Warm roof system comprising:
- Bitumin membrane (J41/110)
 - rigid insulation shaped to 1:60 falls, Median thickness 120mm (J41/110), reducing to 50mm at eaves
 - vapour control layer (J41/110)
 - Existing roof to be left in-situ if preferred (assumed to be roofing felt on 18mm ply deck with shallow fall on timber rafters)



Ref: EW-3

Description: Existing front mansard to no.46

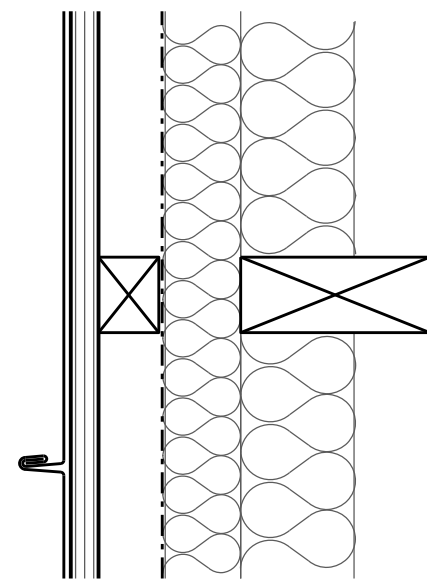
- (Left to right)
- Existing clay tiles: to be inspected and repaired only. Contractor to allow a provisional sum to carry out extensive repairs if required, refer to specification H60/105
 - Inspect battens and roofing felt: if defective replace with 25mm battens, Tyvek breather membrane (P10/321), 25mm counter battens (K10/011)
 - existing rafters with new 100mm rigid insulation between (P10/105)
 - Polythene 1000 guage VCL to face of studs (P10/315)



Ref: EW-4

Description: Zinc clad timber wall/roof
 Typical location: New top floor
 Nominal build-up: 245mm
 U-Value required: 0.18w/m2K

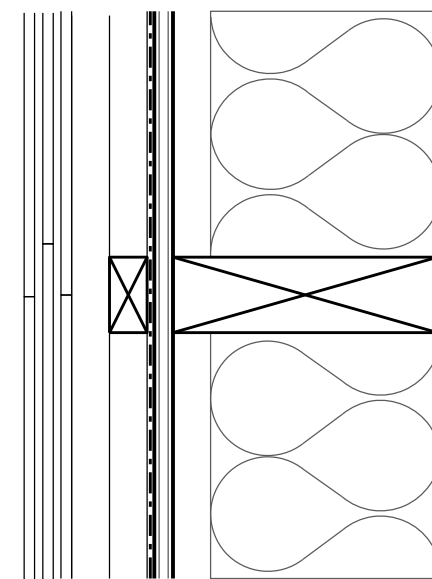
- (Left to right)
- Standing seam zinc on proprietary fixing clips (H74/130)
 - 18mm WBP plywood (K10/101)
 - 50mm battened out ventilated cavity (K10/011)
 - Breather membrane (P10/320)
 - 50mm rigid insulation outside studs (P10/103)
 - 125mm studs with 75mm rigid insulation between (P10/102)
 - Polythene 1000 guage VCL to face of studs (P10/315)



Ref: EW-5

Description: Slate roof/mansard
 Typical location: New top floor
 Nominal build-up: 245mm
 U-Value required: 0.20w/m2K

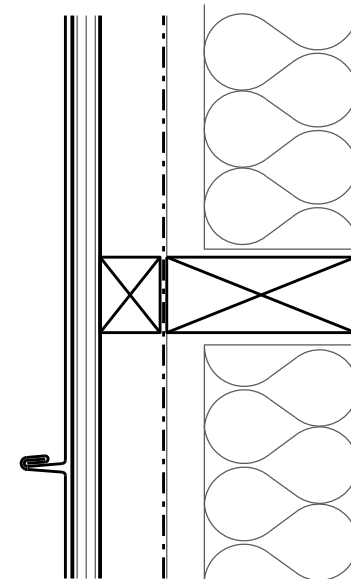
- (Left to right)
- Slate (H62/105)
 - 25mm battens (K10/011)
 - 25mm counter battens (K10/011)
 - Breather membrane (P10/322)
 - 12mm WBP plywood (K10/101)
 - 175mm rafters with 150mm rigid insulation between (P10/106)
 - Polythene 1000 guage VCL to face of studs (P10/315)



Ref: EW-6

Description: Lead clad timber dormer
 Typical location: New top floor
 Nominal build-up: 195mm
 U-Value required: 0.27w/m2K

- (Left to right)
- Lead sheet (H71/150)
 - 18mm WBP plywood (K10/101)
 - 50mm battened out ventilated cavity (K10/011)
 - Breather membrane (P10/320)
 - 125mm rafters with 100mm rigid insulation between (P10/107)
 - Polythene 1000 guage VCL to face of studs (P10/315)



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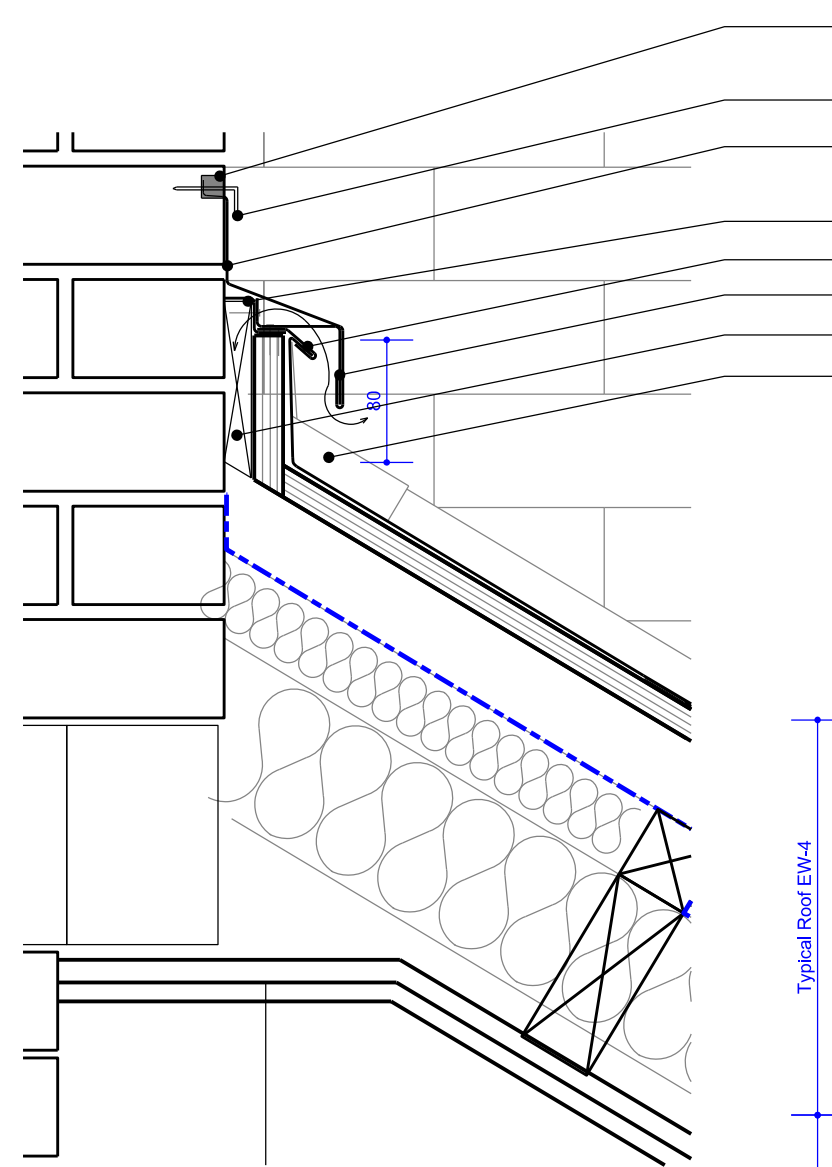
Project: 45-46 Red Lion Street
 Project number: 030

Client: Glasshouse Limited

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Drawing name: Typical external walls and roofs Proposed
 Drawing number: 030_P_502

Date: June 2017
 Scale / Format: 1:5@A2/1:10@A4
 Drawn / Checked: EEA
 Approved: EEA
 CAD Reference: -
 Issue: T01
 Tender

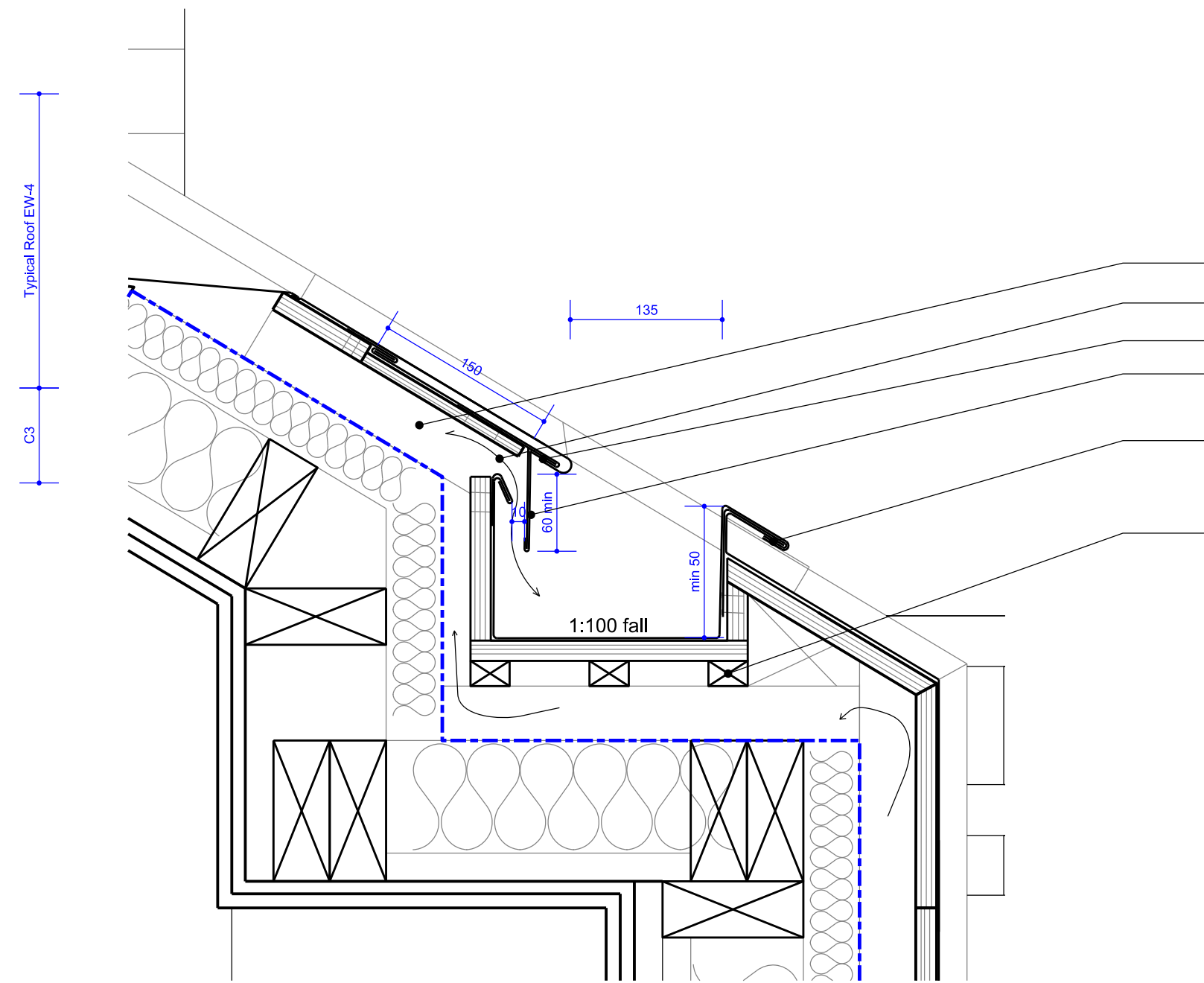


- Mastic sealant, compatible with VMZinc H74/410
- Fixing wedge
- Continuous capping piece in VMZinc PLUS H74/410
- Insect mesh
- Sheet clip in VMZinc PLUS
- Folded clip in VMZinc PLUS
- Non continuous timber
- VMZ head saddle piece

ALL DETAILS TO BE MATCHING MANUFACTURER'S SPECIFICATIONS REFER TO SPEC H74

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01 Junction detail to existing facade - Zinc Roof extension
 Scale 1:5 at A2



- Ventilated space
- Insect mesh
- Folded strip in VMZincPLUS
- Continuous eaves apron strip in VMZincPLUS
- Sheet clip in VMZinc PLUS
- Packers laid to gutter fall

02 Corner and gutter detail - Zinc Roof extension
 Scale 1:5 at A2

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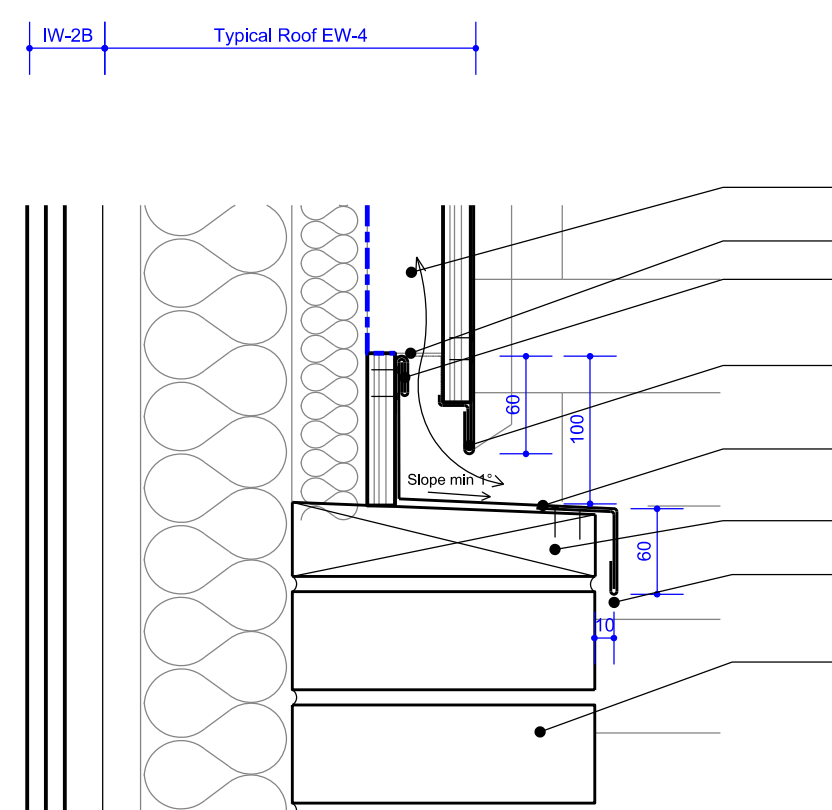
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Drawing name Roof Extension n.46 Section Details Drawing number 030_P_520

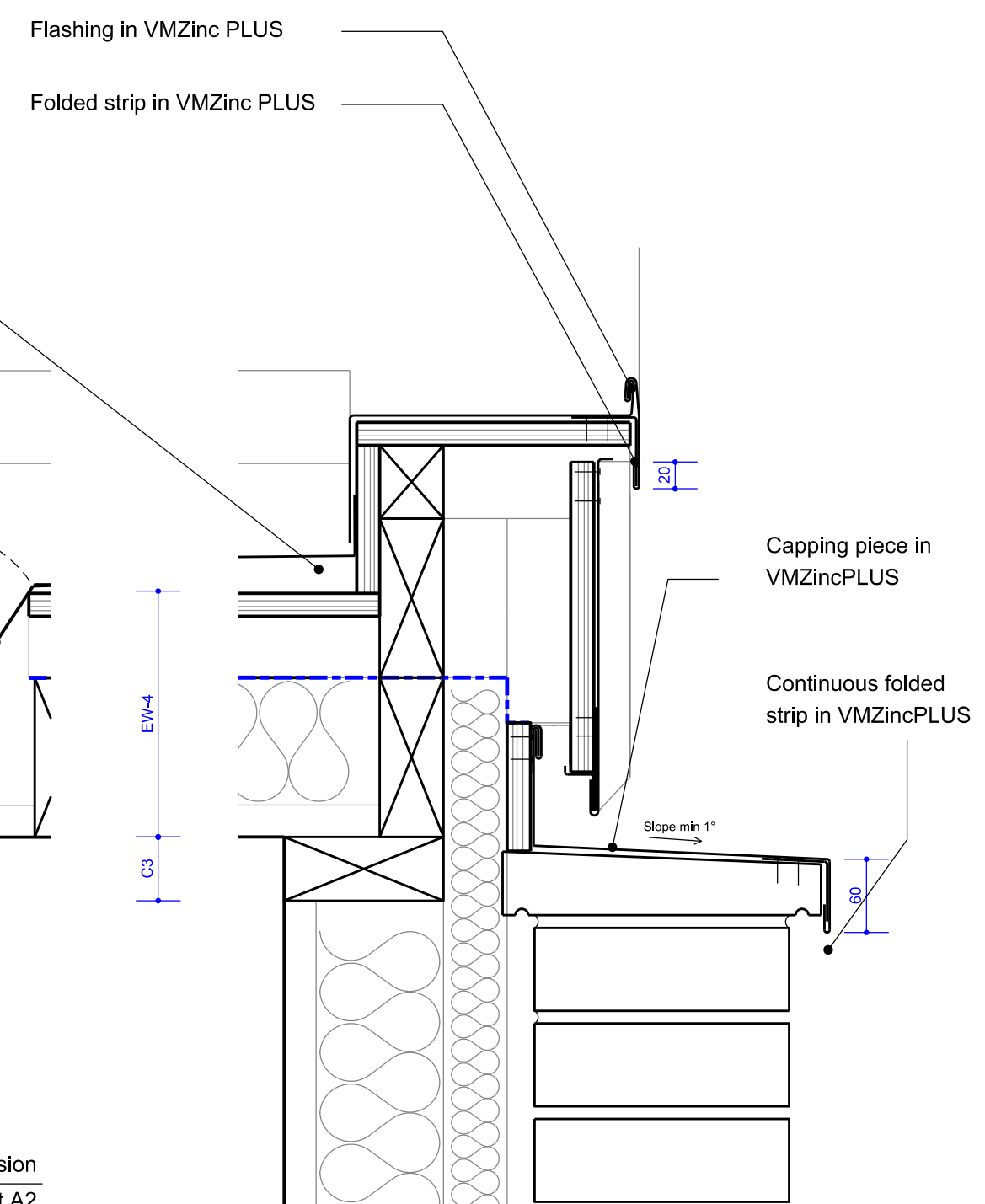
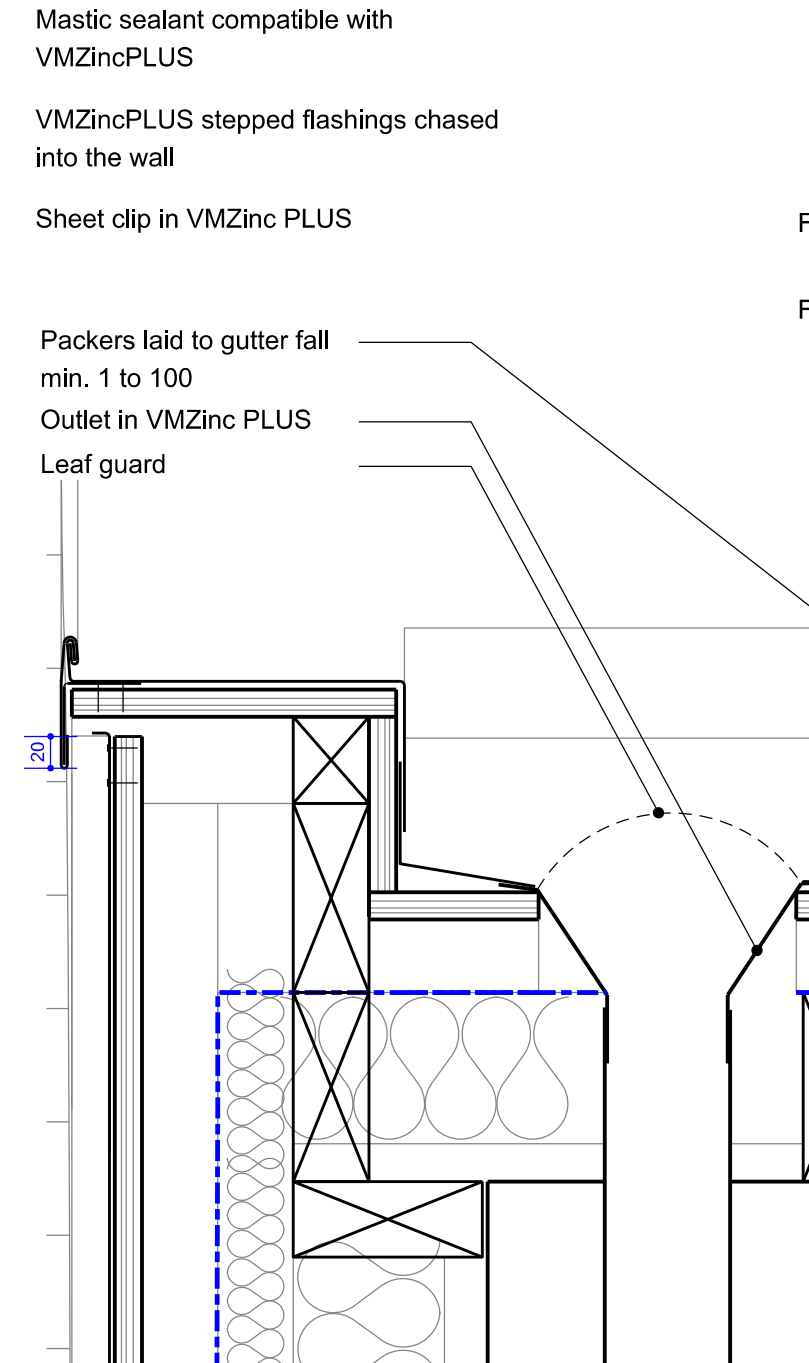
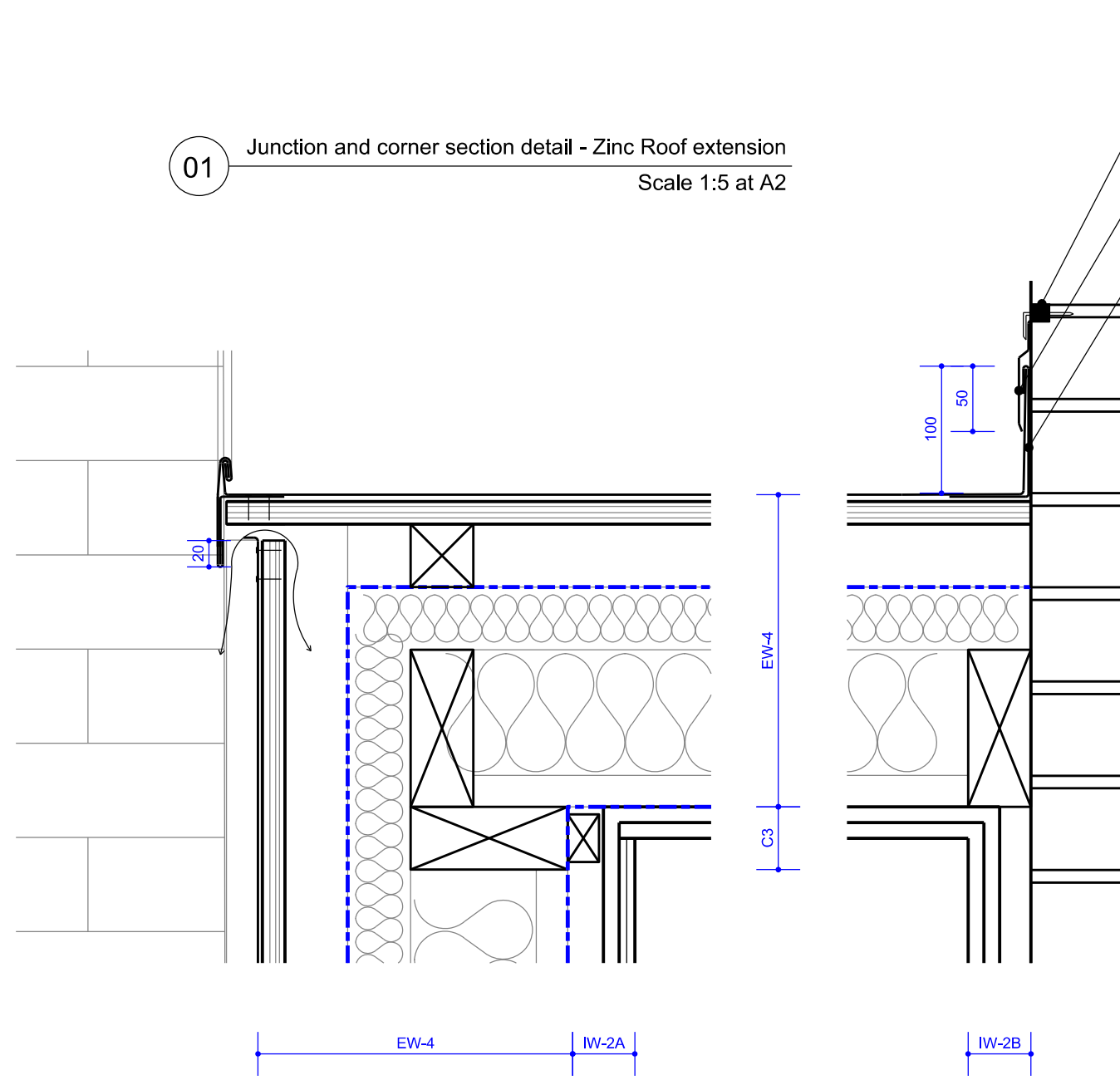
Date June 2017 Issue
 Scale / Format 1:5@A2/1:10@A4 T01
 Drawn / Checked EEA Tender
 Approved EEA
 CAD Reference -

03 Flashing detail to existing roof - Zinc Roof extension
 Scale 1:5 at A2

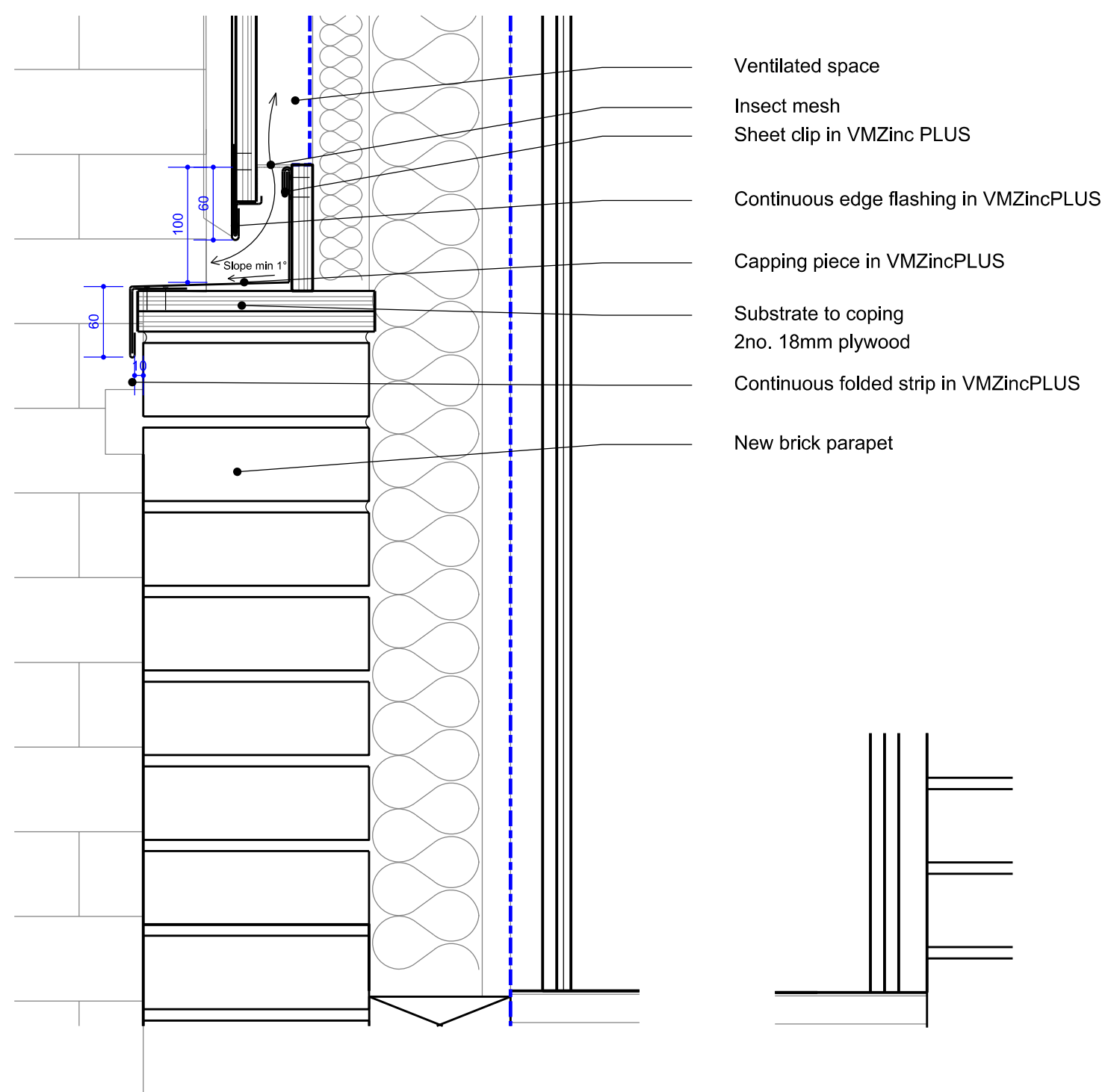


- Ventilated space
- Insect mesh
- Sheet clip in VMZinc PLUS
- Continuous edge flashing in VMZincPLUS
- Capping piece in VMZincPLUS
- Timber trim to support capping
- Continuous folded strip in VMZincPLUS
- Existing parapet

01 Junction and corner section detail - Zinc Roof extension
Scale 1:5 at A2



02 Gutter section detail - Zinc Roof extension
Scale 1:5 at A2



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MANUFACTURER'S SPECIFICATIONS
REFER TO SPEC H74

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Drawing name Roof Extension n.46 Section Details
Drawing number 030_P_521

Date June 2017
Scale / Format 1:5@A2/1:10@A4
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Approved EEA
CAD Reference -
Issue T01
Tender

H74 ZINC STRIP/ SHEET COVERINGS/ FLASHINGS

To be read with Preliminaries/ General conditions.

TYPES OF ZINC WORK

130 STANDING SEAM ZINC CLADDING – to walls and roof of rear outrigger extension –

Wall/roof type, refer to: 030_P_502 EW-4

Details, refer to: 030_P_475/030_P_476/030_P_520/030_P_521

Warrenty: Required

- Cladding system: VMZINC Single lock standing seam cladding (horizontal or vertical) for vertical walls and soffits.
- Substrate: Exterior grade 18mm plywood (EN314-3 & EN636-2). The plywood deck must be even and flush with all joints being less than 2mm in height. Nails should be driven into the plywood so as to avoid abrasive contact with the underside of the zinc cladding sheets. Ensure that any treatment which the plywood may have received (fungicides or insecticides) is compatible with the zinc cladding sheets. A continuous airspace of at least 50mm must be allowed for between the plywood and insulation (which can be protected by the VMZINC membrane). refer to: 030_P_502 EW-4
- Underlay: No underlay is required but a VMZINC membrane can be installed over the plywood.
- Vapour control layer as per requirements, refer to: 030_P_502 EW-4
- Insulation as per requirements protected with VMZINC membrane, refer to: 030_P_502 EW-4
- Zinc: As clause 520.
 - Finish: QUARTZ ZINC
- Thickness: 0.8mm.
- Longitudinal joints: 25mm high single lock standing seam.
 - Spacing: REFER TO DRAWINGS. Not more than 530mm in accordance with design and wind loadings.
- Cross joints: Single welts, in accordance with manufacturer's recommendations.
 - Spacing, panels to be no longer than 4m.
- Vented apron detail: As clause 345.
- Vented ridge detail: As clause 470.

- Overall Cladding system to have a BRE Green Guide rating of at least A with no more than 0.64 BRE ecopoints (measured over 60 years for 1m²).

240 RECESSED VALLEY GUTTER LINING – refer to drawings 030_P_520/030_P_521

- Zinc: Boxed gutter in VMZinc PLUS
Width: REFER TO DRAWINGS (<600mm).
Minimum fall of 1 in 100 with overflows.
- Substrate : 18mm Plywood
- Underlay : Sheet clip in VMZinc PLUS th=0.7mm min, w=80mm, 2 per m
- Finish: VMZINC PLUS in QUARTZ ZINC
- Thickness: 0.8mm
- Joints: Soldered joints with neoprene at 6m intervals.
- Joint with roof covering:
folded strip in VMZincPLUS 0.7mm, continuous
Continuous eaves apron strip in VMZincPLUS
- Continuous drip 10mm linear vent opening including insect mesh.

340 VENTED BASE DETAIL

- Eaves zinc: As clause 520.
- Finish: QUARTZ ZINC
- Thickness: 0.8mm.
- Joints: Spacing: 2m.
- Continuous drip 10mm linear vent opening

345 VENTED STANDING SEAM EAVES

- Minimum 10mm air inlet
- Eaves zinc: As clause 520.
 - Finish: VMZINC PLUS in QUARTZ-ZINC
 - Thickness: 0.7mm or 0.8mm.
- Joints: Spacing: 2m
- Eaves Strip:
 - T plate in zinc or galvanized steel.
 - Continuous G3 eaves strip with hem in zinc available in QUARTZ ZINC PLUS

370 STANDING SEAM VERGE

- Ridge: As clause 520.

- Finish: VMZINC PLUS in QUARTZ ZINC
- Thickness: 0.7mm or 0.8mm
- Joints: Spacing: 2m.
- Top edge:
 - Standing seam longitudinal joint: Position flush with verge.
 - Forming: Secure top of verge into double welt and clips of standing seam.
- Bottom edge:
 - Continuous clip: Fix at 200mm centres.

410 ABUTMENT FLASHING / hip detail with minimum 10mm air inlet

- Ridge: As clause 520.
 - Finish: VMZINC PLUS QUARTZ
 - Thickness: 0.8mm.
- Joints: Spacing: 2m.
- Ridge Cap:
 - Held in place with stainless steel clips attached to the zinc standing seam.
 - Continuous G3 ridges strip zinc in QUARTZ ZINC fixed with stainless steel clip and decompression strip G3.

GENERAL REQUIREMENTS/ PREPARATORY WORK

510 WORKMANSHIP GENERALLY

- Standard: Generally to CP 143-5.
- Fabrication and fixing: To provide a secure, free draining and completely weather tight installation.
- Operatives: Trained in the application of zinc coverings/flashings by participation in a Pro-Zinc training course. Submit records of experience on request. *VMZINC at Work* installers offer evidence of successfully completed projects, records of VMZINC training and extended material warranties.
- Measuring, marking, cutting and forming: Prior to assembly wherever possible.
- Metal temperature: Do not form zinc when the metal temperature is below 7°C
- Marking out: With pencil, chalk or crayon. Do not use scribes or other sharp instruments without approval.
- Folding: With mechanical or manual presses to give straight, regular and tight bends, leaving panels free from ripples, kinks, buckling and cracks. Use hand tools only for folding details that cannot be pressed. The minimum bending radius is thickness x 2 (x 3 for Pigmento).

- Sharp metal edges: Fold under or remove as work proceeds.
- Sealants: Do not use in joints to attain waterproofing.
- Solder: Use only where specified.
- Finished zinc work: Fully supported, adequately fixed to resist wind uplift and able to accommodate thermal movement without distortion or stress.
- Protection: Prevent staining, discolouration and damage by subsequent works. All instructions and recommendations contained in the guidelines for design and specification and VMZ General Technical Recommendation of VMZINC standing seam facades to be applied. Plastic film must be removed within 2 months of installation and in such a way so as not to trap water between the partially removed film and the zinc.

520 ZINC STRIP/SHEET

- Zinc-titanium-copper alloy:
 - To BS EN 501 and BS EN 988.
- Zinc manufactured following ISO 14001 (environmental management), ISO 9001 (quality management) and ISO 18001 safety management.
 - Stamped or labelled with type, finish and thickness.
 - Zinc to be coated on underside with a protective 60 micron lacquer.
- Manufacturer:
 - VMZINC Collier House Mead Lane Hertford Herts SG13 7AX
 - Tel: 01992 822 288 Fax: 01992 584 460 Email: vmzinc.uk@vmzinc.com Web: www.vmzinc.co.uk
 - Product reference: QUARTZ-ZINC

535 INTEGRITY OF ZINC

- Requirement: Design coverings/flashings and methods of attachment to prevent loss of weather tightness and permanent deformation due to wind pressure or suction.
- Wind loads: Calculate to BS 6399-2.

555 LAYOUT

- Setting out of longitudinal and cross joints: refer to drawings. No cross joints acceptable.

610 SUITABILITY OF SUBSTRATES

- Condition: Dry and free of dust, debris, grease and other deleterious matter.

620 PREPARATION OF EXISTING TIMBER SUBSTRATES

- Remedial work: Adjust boards to level and securely fix. Punch in any protruding fasteners and plane or sand to achieve an even surface.

- Defective boards: Give notice.
- Moisture content: Not more than 22% at time of covering.

640 TIMBER FOR USE WITH ZINC WORK

- Quality: Planed, free from wane, splits, pitch pockets, decay and insect attack (ambrosia beetle excepted).
- Moisture content: Not more than 22% at time of fixing and covering.
- Preservative treatment: Organic solvent as section Z12, and Wood Protection Association Commodity Specification C8.

650 LAYING UNDERLAY

- Handling: Prevent tears and punctures.
- Laying: Butt jointed onto a dry substrate.
 - Fixing edges: With galvanized, sherardized or stainless steel staples or 20 x 3 mm extra large head clout nails.
 - Do not lay over eaves and drip/ step zinc underlaps.
- Protection: Keep dry and cover with zinc at the earliest opportunity.

655 LAYING UNDERLAY

- Handling: Prevent tears, punctures and removal of sanded finish.
- Laying: Overlap jointed, parallel to eaves, onto a dry substrate.
 - Fixing edges: With galvanized, sherardized or stainless steel clout nails at close centres.
- Protection: Keep dry and cover with zinc at the earliest opportunity.

FIXING ZINC

720 STANDING SEAM FIXED CLIPS

- Fixing: Secure each clip (minimum of 5) to substrate with two fixings (205709000).
Each clip to withstand a pulling force of 50 daN

725 STANDING SEAM SLIDING CLIPS

- Stainless steel.
 - Two piece clips with 70mm sliding movement (205710000)
- Fixing: Secure each clip to substrate with three fixings.
Each clip to withstand a pulling force of 50 daN
Typical clip spacing:
Middle zone every 330mm
Edge zone 200mm
Corner zone 150mm

750 CLIPS FOR FLASHINGS/ CROSS JOINTS

- Material: Zinc of same thickness as that being secured.
- Dimensions:
 - Width: Not less than 50 mm.
 - Length: To suit detail.
- Fixing: Secure each clip to substrate with two fixings not more than 50 mm from edge of strip/ sheet being fixed.

760 CONTINUOUS CLIPS

- Material: Zinc of same thickness as that being secured.
- Dimensions:
 - Width: To suit detail.
 - Length: Not more than 1.8m.
- Fixing: To substrate at 200 mm centres. Welt edge of strip/ sheet being fixed to continuous clip and dress down.

810 FORMING DETAILS

- Folds and welts: Form without thinning, or splitting the strip/sheet.
- Thermal movement: Form details with appropriate allowance for movement, without impairment of security at full expansion or contraction.

825 SOLDERING

- All zinc must be cleaned back to its natural state.
- The protective coat on the underside of the upper panel must be removed over a width of 20mm either chemically, using DECALAQ, or mechanically, using a 3 MTM Roloc™ Bristle Disc brush mounted on a small disc sander.
- The pre-weathering must be removed from the parts to be soldered. ZINN7 (flux) to be applied to allow spot soldering with solder (40% tin 60% lead) ZINN7 applied over whole length of joint and then soldered. Wipe clean. Please see VMZINC soldering document.

ACCESSORIES

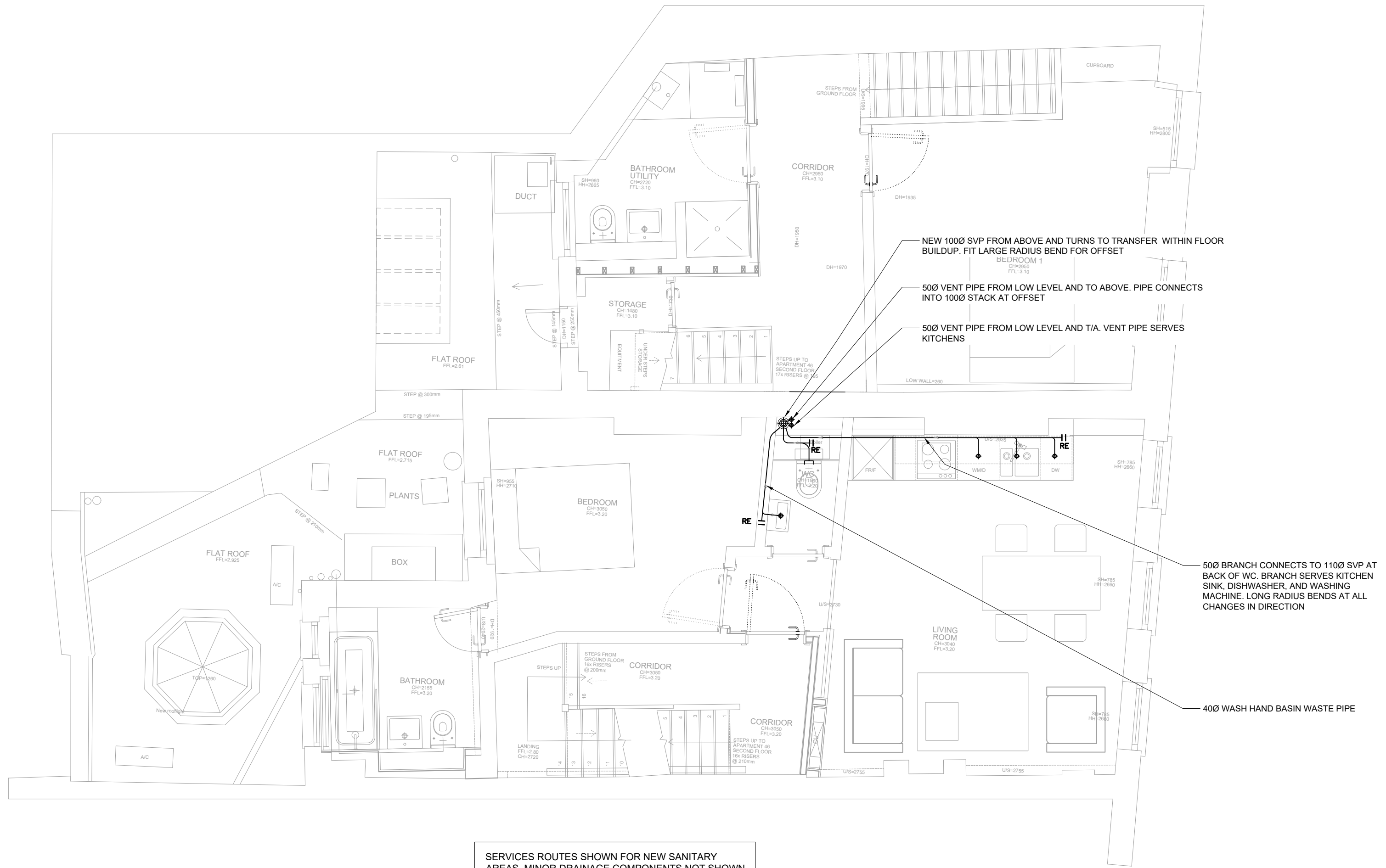
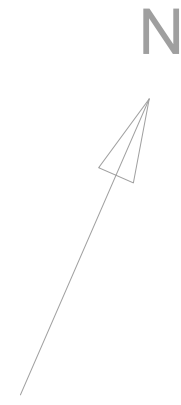
900 INSECT MESH

- Continuous insect mesh at all openings to ventilated cavity and in accordance with drawings.
- Black Woven Aluminium Fly & Insect screen (Aperture 1.36 x 1.36mm) by Mesh Direct or similar approved

901 MASTIC

- Generally as Z22
- Applied to seal gaps around windows and where required
- Mastic used must be compatible with zinc in accordance with suppliers instructions (Polyurethanes/ Non-acetic silicones/ MS Polymers)
- Colour to match zinc as closely as possible

LBC CONDITION 4(B): SERVICE RUNS IN NEW KITCHENS AND BATHROOMS



SERVICES ROUTES SHOWN FOR NEW SANITARY AREAS. MINOR DRAINAGE COMPONENTS NOT SHOWN. CONDENSATE DRAINS, BRANCH PIPES OF DIAMETER <40Ø, SANITARY TRAPS, ETC ARE OMITTED.

FIRST FLOOR

Notes:

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- ALSO REFER TO ACOUSTIC CONSULTANTS SPECIFICATION ON ALL NEW 100MM INTERNAL DRAINAGE ROUTES

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- DRAINAGE AT HIGH LEVEL
- DRAINAGE ABOVE CEILING
- RE II- RODDING EYE
- L- WC CONNECTION
- F/A- FROM ABOVE
- T/B- TO BELOW
- DENOTES REDUNDANT SERVICE

PL1	Planning Condition	01/09/2017
No.	Revision/Issue	Date

MRC CONSULT
 Drawn By: M.C. Checked By: P.D.

Drawing Title
ABOVE GROUND DRAINAGE LAYOUT

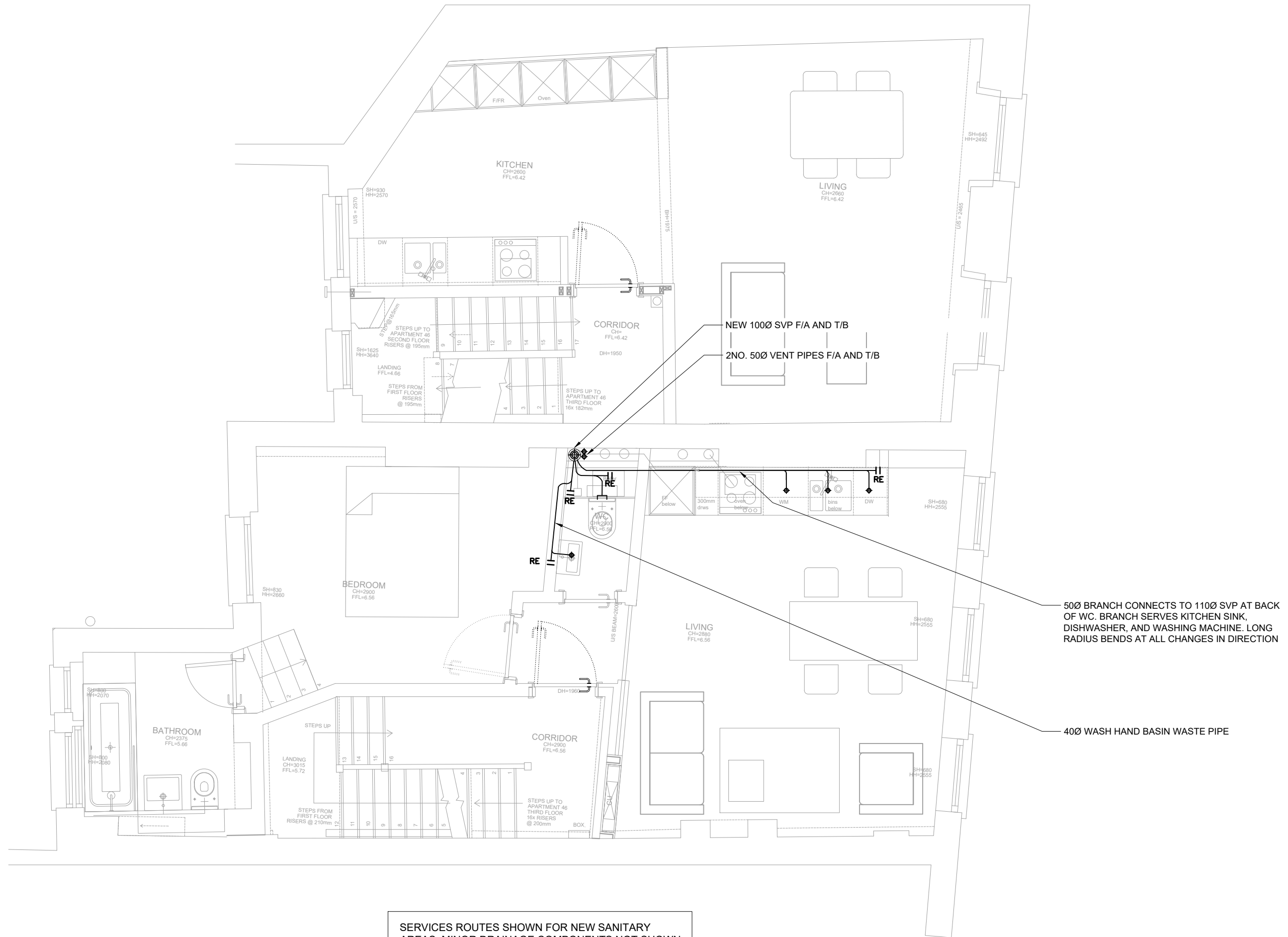
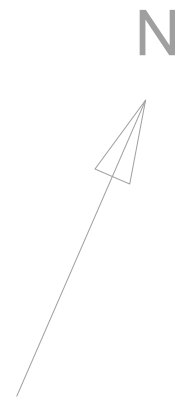
Project
45-46 RED LION STREET

Architect
EMIL EVE ARCHITECTS

Client
GLASSHOUSE PROPERTY LTD

Scale: 1:50 @ A2 Date: SEPTEMBER 2017

Drawing Series: RLS-MRC-R11 Revision: PL1



SERVICES ROUTES SHOWN FOR NEW SANITARY AREAS. MINOR DRAINAGE COMPONENTS NOT SHOWN. CONDENSATE DRAINS, BRANCH PIPES OF DIAMETER <400, SANITARY TRAPS, ETC ARE OMITTED.

SECOND FLOOR

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LINETYPES/KEY

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- DRAINAGE AT HIGH LEVEL
- DRAINAGE ABOVE CEILING
- RE 11- RODDING EYE
- L- WC CONNECTION
- F/A- FROM ABOVE
- T/B- TO BELOW
- DENOTES REDUNDANT SERVICE

PL1	Planning Condition	01/09/2017
No.	Revision/Issue	Date

MRC CONSULT

Drawn By: M.C. Checked By: P.D.

Drawing Title
ABOVE GROUND DRAINAGE LAYOUT

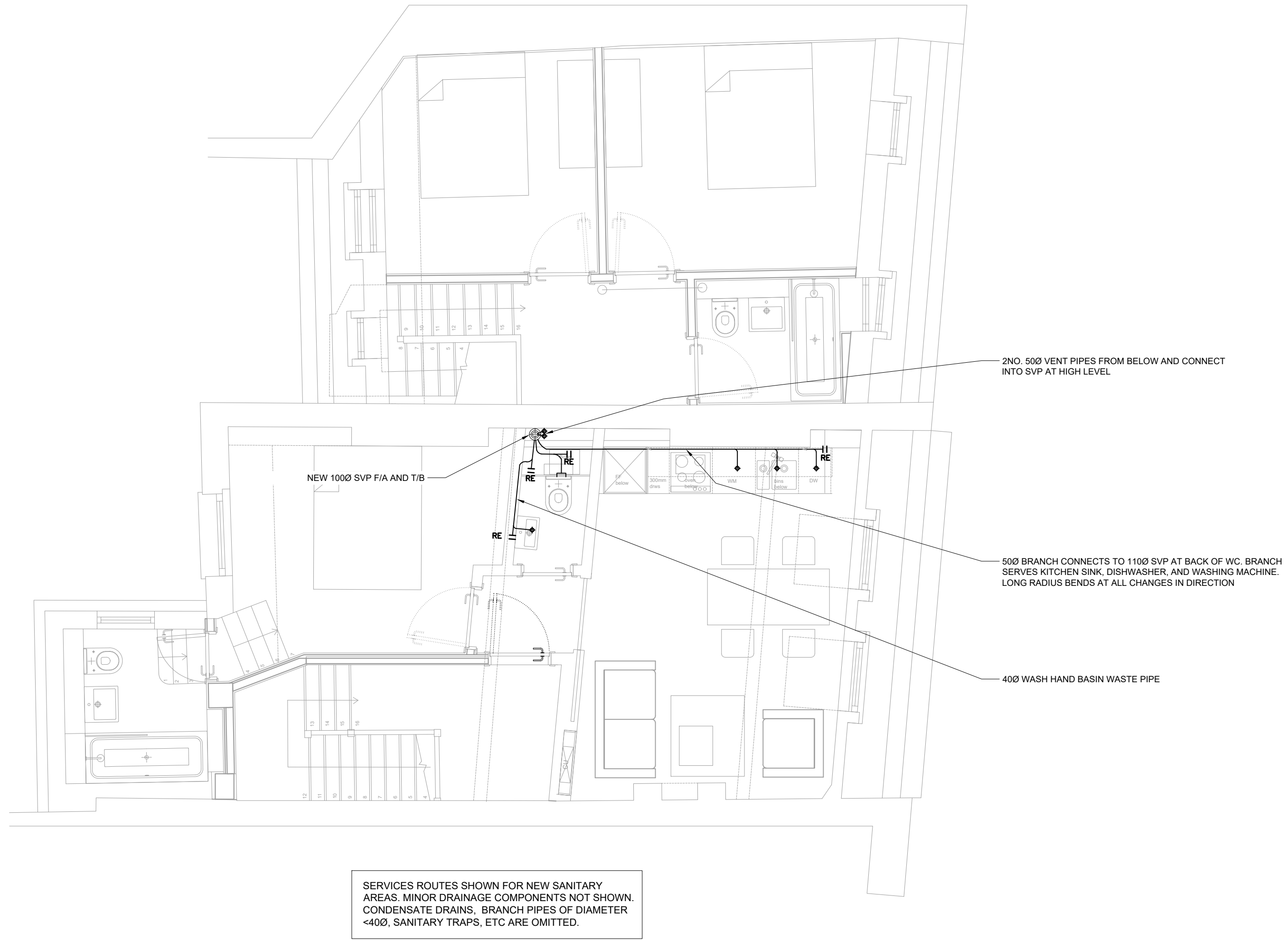
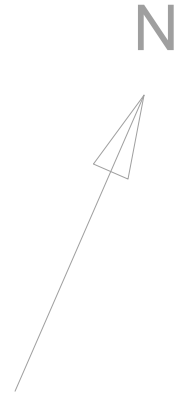
Project
45-46 RED LION STREET

Architect
EMIL EVE ARCHITECTS

Client
GLASSHOUSE PROPERTY LTD

Scale: 1:50 @ A2 Date: SEPTEMBER 2017

Drawing Series: RLS-MRC-R11 Revision: PL1



THIRD FLOOR

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LINETYPES/KEY

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-----	DRAINAGE WALLS, VOIDS & HABITABLE ZONE
-----	DRAINAGE AT HIGH LEVEL
-----	DRAINAGE ABOVE CEILING
RE II-	RODDING EYE
L	WC CONNECTION
F/A	FROM ABOVE
T/B	TO BELOW
□	DENOTES REDUNDANT SERVICE

PL1	Planning Condition	01/09/2017
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MRC CONSULT
 Drawn By: M.C. Checked By: P.D.

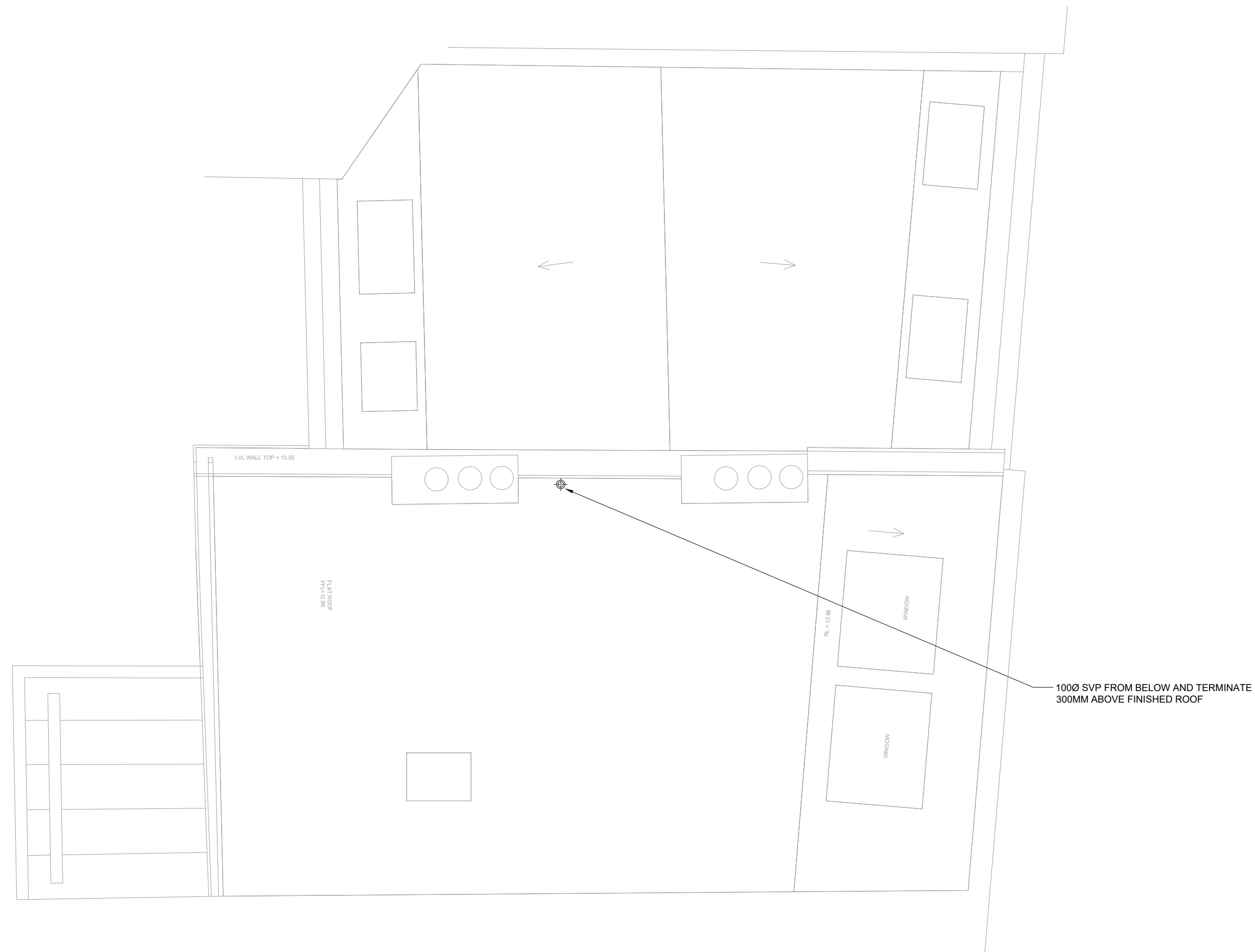
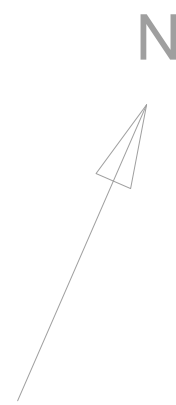
Drawing Title
 ABOVE GROUND DRAINAGE LAYOUT

Project
 45-46 RED LION STREET

Architect
 EMIL EVE ARCHITECTS
 Client
 GLASSHOUSE PROPERTY LTD

Scale: 1:50 @ A2 Date: SEPTEMBER 2017

Drawing Series: RLS-MRC-R11 Revision: PL1



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- LJ WC CONNECTION
- F/A FROM ABOVE
- T/B TO BELOW
- DENOTES REDUNDANT SERVICE

PL1	Planning Condition	01/09/2017
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MRC CONSULT

Drawn By M.C. Checked By P.D.

Drawing Title
ABOVE GROUND DRAINAGE LAYOUT

Project
45-46 RED LION STREET

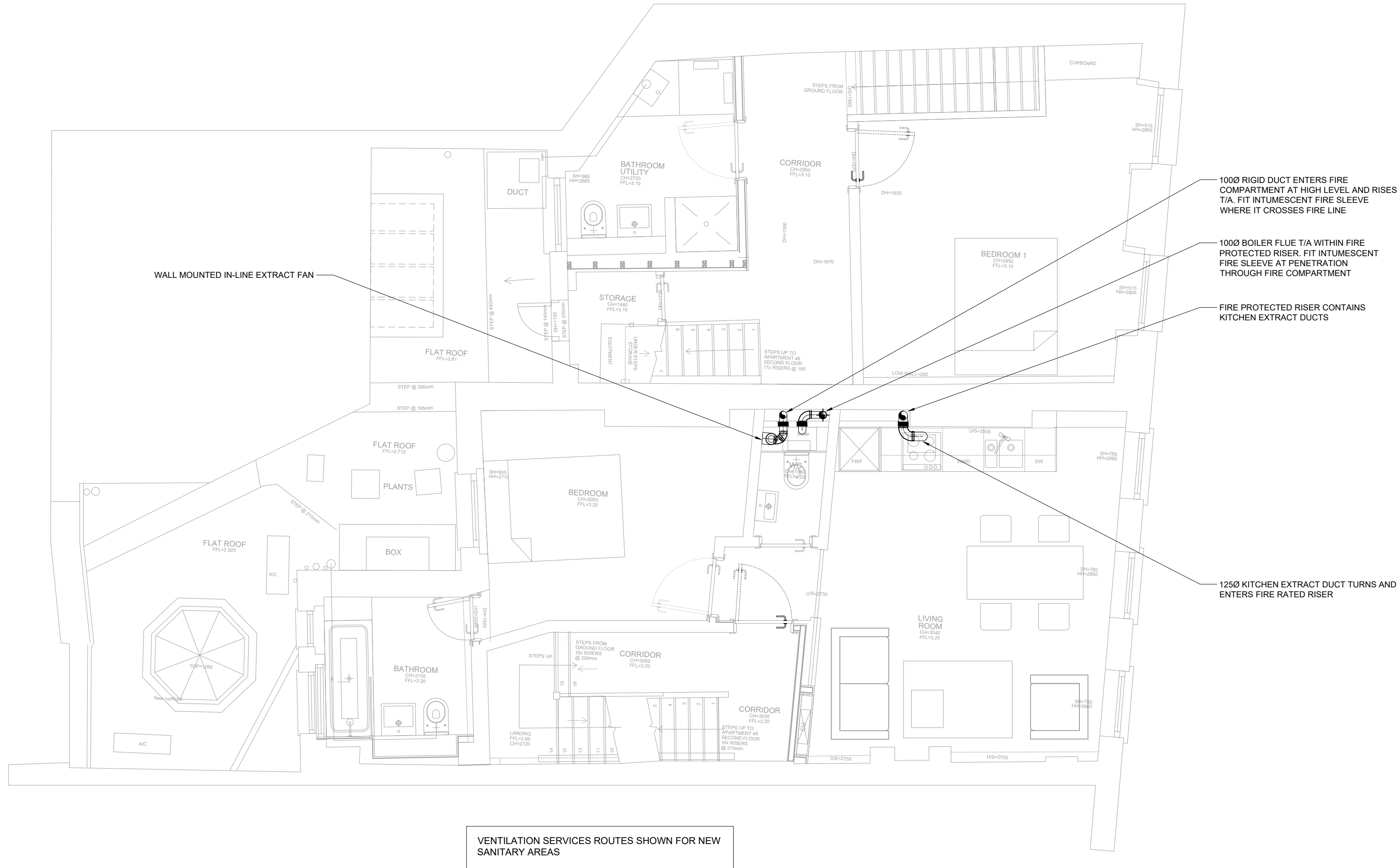
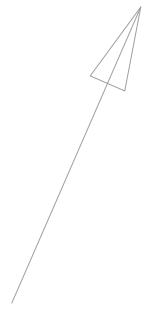
Architect
EMIL EVE ARCHITECTS

Client
GLASSHOUSE PROPERTY LTD

Scale 1:50 @ A2 Date SEPTEMBER 2017

Drawing Series RLS-MRC-R11 Revision PL1

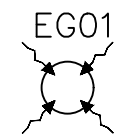
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VENTILATION SERVICES ROUTES SHOWN FOR NEW SANITARY AREAS

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- EXTRACT VALVES ARE STEEL FIRE RATED CW ADJUSTABLE CORE FOR BALANCING - GILBERTS GXF 100



1000 STEEL FIRE RATED EXTRACT VALVE



10MM DOOR UNDERCUT



20MM DOOR UNDERCUT



AIR TRANSFER OPENING - ROUTED

PL1	Planning Condition	01/09/2017
No.	Revision/Issue	Date

MRC CONSULT
 Drawn By M.C. Checked By P.D.

Drawing Title
VENTILATION LAYOUT

Project
45-46 RED LION STREET

Architect
 EMIL EVE ARCHITECTS
 Client
 GLASSHOUSE PROPERTY LTD

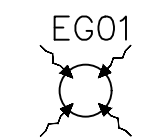
Scale
 1:50 @ A2
 Date
 SEPTEMBER 2017

Drawing Series
 RLS-MRC-U10
 Revision
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FIRST FLOOR

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Drawing Title

VENTILATION LAYOUT

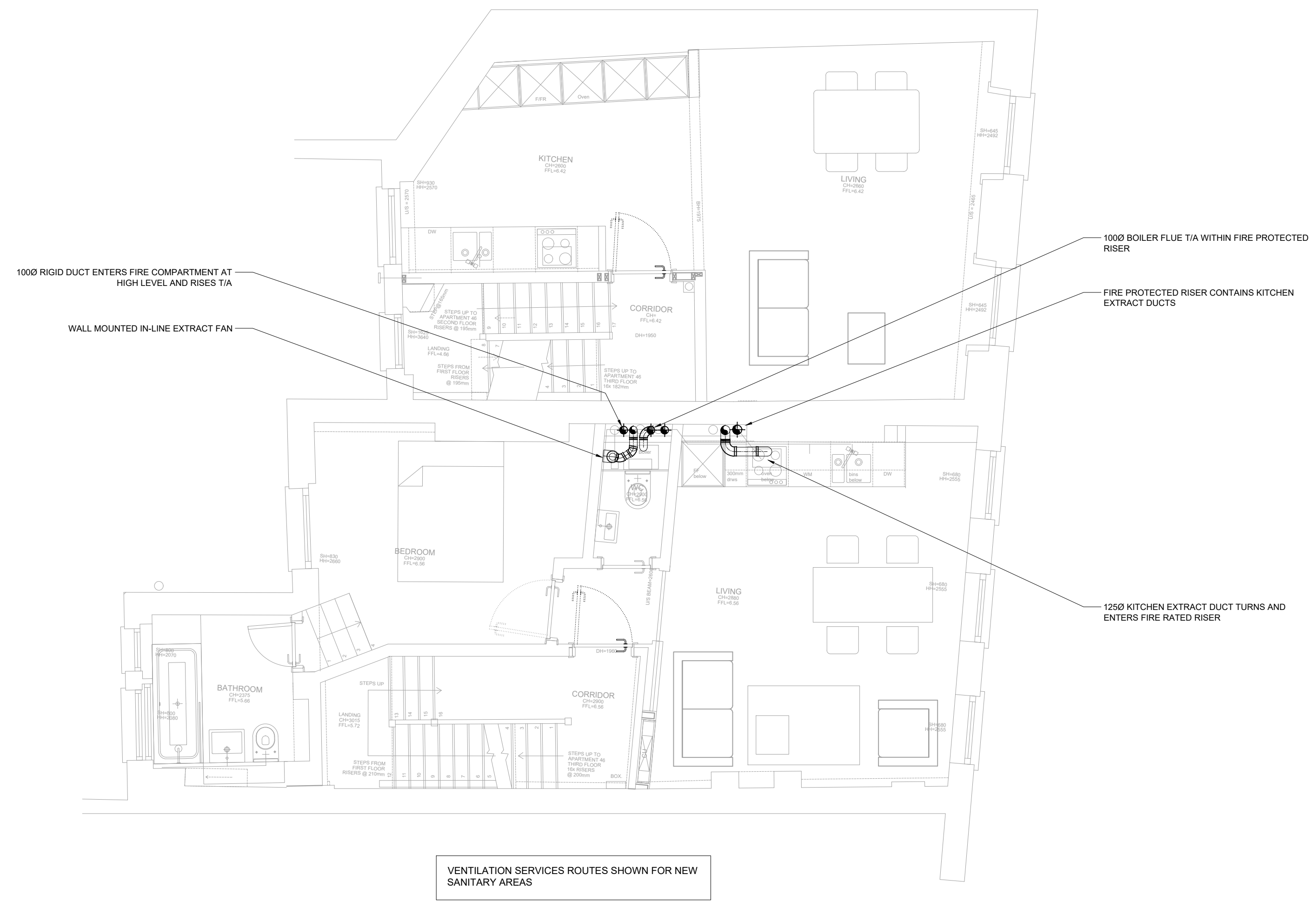
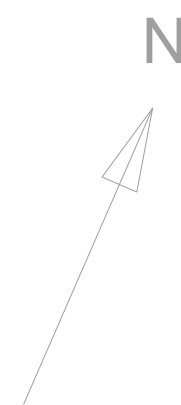
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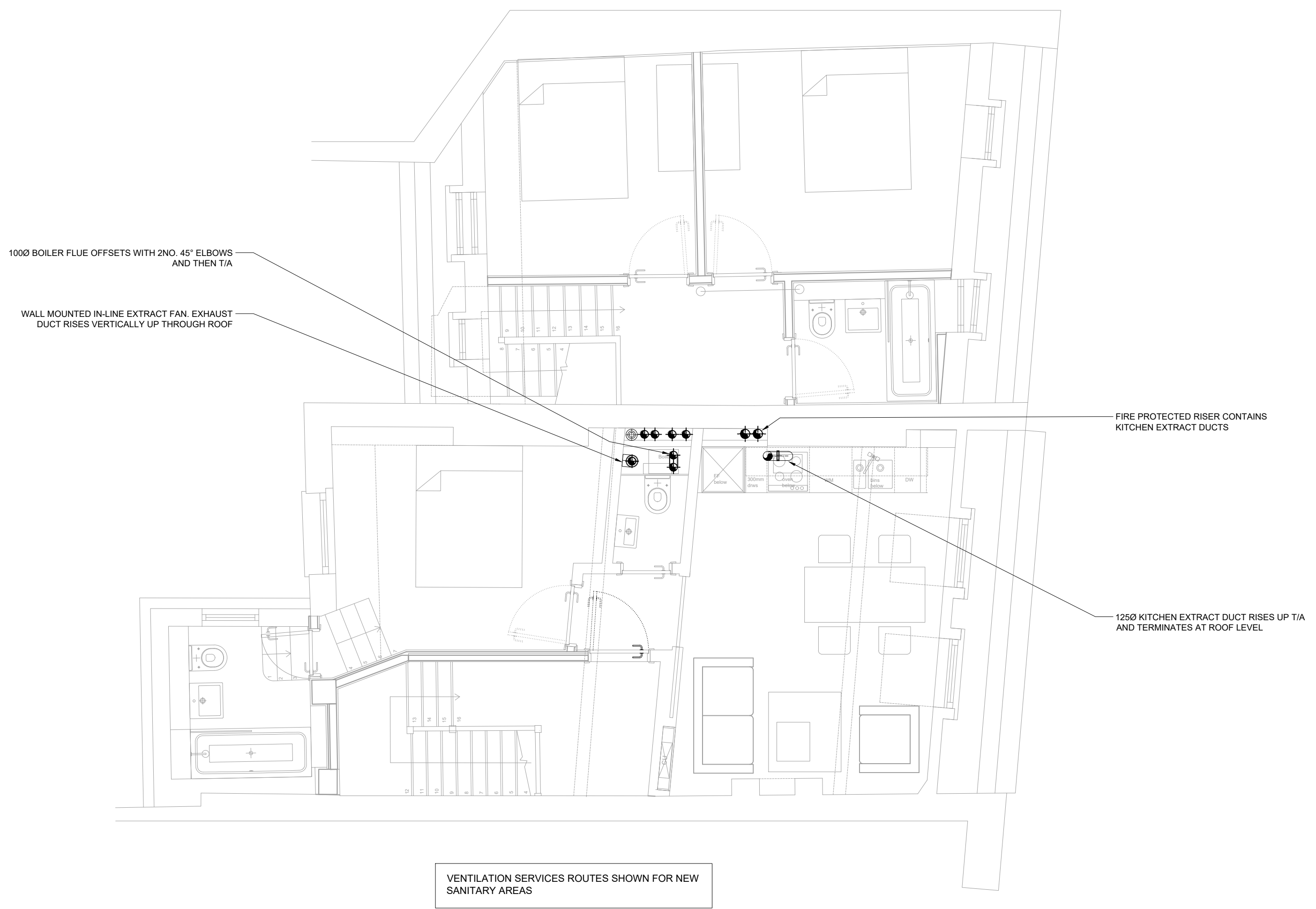
Drawing Series RLS-MRC-U10 Revision PL1



VENTILATION SERVICES ROUTES SHOWN FOR NEW SANITARY AREAS

SECOND FLOOR

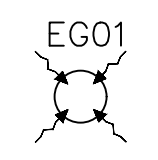
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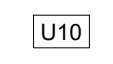
THIRD FLOOR

Notes:

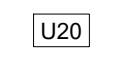
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T. +44 (0)7815453778
E. info@emileve.co.uk