

# Compliance Report

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## Building S1

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# **Compliance Report Building S1, King's Cross Central**

King's Cross Central General Partner Ltd

24 August 2017

**LICHFIELDS**

15807/SSL/JLa  
14714366v4



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## 1.0 Introduction

- 1.1 The overall King's Cross Central ('KXC') mixed use development is derived from the outline planning permission of 22 December 2006, reference 2004/2307/P (the 'Outline Planning Permission'). The KXC scheme was subject to an Environmental Impact Assessment and was described in a Development Specification document with accompanying Parameter Plans (both revised September 2005), which form part of the permission and are referred to in the planning conditions. The Outline Planning Permission was accompanied by a Section 106 legal agreement dated 22 December 2006 which has been subsequently amended by a number of Deeds of Variation. These documents are collectively referred to in this report as the 'S106 Agreement'.
- 1.2 The Outline Planning Permission established a number of development zones and set out the permitted disposition of land uses across those zone and parameters for (inter alia) height and massing. Reserved Matters applications for detailed proposals for individual development zones and plots are controlled by planning conditions attached to the Outline Planning Permission to ensure they fall within those approved parameters.
- 1.3 This Planning Compliance Report provides a comprehensive overview of how details of Reserved Matters and relevant planning conditions of the Outline Planning Permission and Section 106 obligations are being addressed in respect of detailed proposals for Building S1 and the area of public realm in the immediate vicinity of Building S1.
- 1.4 The proposed development comprises:  
*'The erection of a twelve storey building, including ground floor, plus a single level basement, for use as offices (Class B1) with some flexible office, leisure (Class B1 / D2) and retail (class A1-A4) use spaces, plus associated servicing, cycle parking and public realm'.*
- 1.5 The proposal for Building S1 will bring forward a high quality predominantly office development which will make a positive contribution to the surrounding public realm and streets. The mix of retail uses at ground floor level will provide active frontages and animated facades, contributing towards creating vitality at street level. Building S1 will make a significant contribution to the emerging high quality environment of KXC which is becoming a vibrant destination for local residents, employees and visitors.
- 1.6 The location of Building S1 and the area of public realm included within the Reserved Matters submission boundary are shown on the submitted Location Plan (TOWN279.28.02(08)5001) within the Landscape Drawing Package. The wider site context of Building S1 is outlined in paragraphs 1.9-1.14. The public realm proposals associated with the adjacent Building S2 (approved with ref: 2015/7094/P) have yet to be implemented. The current submission revises this previously approved landscape design with an integrated landscaping plan across both sites S1 and S2. Accordingly, the submission boundary for Building S1 includes the public realm areas to the north and south of Building S2 which were included within the S2 Reserved Matters submission boundary.
- 1.7 Table 2 of the Revised Development Specification (2005) gives the following summary description of Development Zone S:-  
*"Mixed use new development including both business and employment (B1) and residential land uses. The application also provides for uses within D1; a cinema and other uses within D2; night clubs; and shopping/food and drink (A1/A2/A3/A4/A5) uses. New local play/amenity space would be provided within the development zone for the benefit of residents and potentially others".*

- 1.8 This report acts as a 'navigation' document for the Reserved Matters submission for Building S1 and its relationship to the various outline planning conditions and S106 obligations. The submission provides the Reserved Matters details referred to in the conditions and specified in the Definitions attached to the Outline Planning Permission, which cover layout, scale, appearance, access and landscaping, except as already established by the relevant Parameter Plans.

## **Site Context**

- 1.9 The plot for Building S1 and associated public realm is located within Development Zone S in the northern part of the KXC development. The plot occupies the south western corner of Development Zone S, adjacent to, and fronting onto Canal Street to the west.
- 1.10 Building S1 will sit on a rectangular plot of c. 42m x 60m. There is a change in level across the site of 1.6m with the lowest point being the southeast of the plot and the highest point the northwest corner of the plot.
- 1.11 Building S1 is the second development within Development Zone S to be brought forward. The first being Building S2 to the east of Building S1, an office building of a similar size and design to S1, and designed by the same architects. The Reserved Matters details of Building S2 were approved in February 2016 (Ref: 2015/7094/P) and the building is currently under construction. To the north of the Development Zone are Plots S3 and S4; these are envisaged to be residential development and will be brought forward at a later date.
- 1.12 Buildings S1 and S2 have been designed as a pair to complement one another by the same architects and design team. The facades of both buildings, facing each other, mirror one another in a 'yin-yang' relationship and the material palette is consistent across both buildings. The design of the external facades along the southern elevation of both buildings is consistent creating an integrated and legible approach to the public realm, guiding future users through the space.
- 1.13 Cubitt Square and Cubitt Park are two areas of public realm located to the south east and east of Building S1 respectively, which, together, received Reserved Matters approval in November 2013 (with reference 2014/2366/P), and were completed and opened to the public in February 2015. Directly to the south of the building, across Handyside Street, is Plot P1, for which Reserved Matters approval was granted in December 2012 (ref. 2012/4741/P), and April 2015 (reference 2015/1499/P), and subsequent minor amendments were granted in March 2014 (ref. 2014/0691/P), for the erection of a 14 storey development comprising 255 residential units, a new primary school, a new nursery school, new premises for the Frank Barnes School, a small retail unit and community meeting facilities.
- 1.14 Plot P2, adjacent to Building P1 and fronting Cubitt Square, is currently in the early stages of design.

## **Summary of Proposals**

- 1.15 The proposed development is described in the separate Urban Design Report (UDR) which accompanies this Reserved Matters submission. The essence of the proposals are summarised in Table 1.1 below.

Table 1.1 Summary of Proposals

Subject	Proposal
Land Uses	Shopping/Food and Drink (A1-A4), Offices (B1), flexible business/ leisure space (B1 / D2).
Total Floorspace (GEA, excluding basement)	23,374m <sup>2</sup>
Basement Floorspace (GEA)	1,158m <sup>2</sup>
Maximum Building Heights (AOD)	74.950 m AOD (stepping down to 65.210 m AOD on the north elevation and part of the east elevation where it fronts the square)
No. of Storeys	12 storeys (including ground floor, 10 floors of office space and one upper level of plant)
No. of car parking spaces	No general car parking is proposed. Two accessible spaces are provided at ground floor within the footprint of the building, in the servicing area.
No. of cycle spaces	Building S1 will bring forward 276 spaces within the building, comprising 246 Josta spaces (123 double stacked Josta racks) and 30 Brompton spaces (10 3-tier lockers). In addition, the associated public realm includes 16 Sheffield Stands (providing 32 spaces), of which 8 stands (16 spaces) are new stands associated with Building S1, and the other 8 stands (16 spaces) replace the previously approved 6 stands (12 spaces) associated with Building S2 (ref. 2015/7094/P). The current submission therefore includes a net increase of 296 spaces. The internal spaces would be allocated to staff working in the office/leisure and retail and the external spaces would be for visitors to Buildings S1 and S2.
No. of Commercial units	There are two units at the northern end of ground floor level, proposed to be in retail use. The large unit on the west of the ground floor, along with area at first and second floor is flexible B1/D2 use.
Building Entrances	<p>The main entrance to the building will be located along the southern elevation, along Handyside Street, under the colonnade. Secondary entrances will also be located along each elevation. The retail and office units will have their own entrances from the public realm, and a dedicated cycle entrance is located on the east elevation. Entry to the loading bay and the accessible parking spaces is from the secondary route between Buildings S1 and S2.</p> <p>There is also an external entrance to the staff room located at ground floor. This has been designed so that it can either serve as a staff room ancillary to the adjacent business/leisure space at ground floor, or potentially offer welfare facilities for bus drivers, as required by Section HH of the S106 Agreement. The S106 Agreement does not specify that these facilities must form part of Building S1, and these are not included in the current submission. However, the intention is that these facilities would be provided in Building S1, subject to a separate planning application at the appropriate time.</p>
Principal materials	<p>The building envelope has been developed using a simple palette of materials. The primary façades are constructed from stone and glass. The proposed public realm area will have a consistent palette of materials which have been utilised throughout the KXC scheme to provide a coherent and navigable landscape, whilst reinforcing pedestrian routes and crossings. The paved areas around the building will consist of high quality sandstone paving with granite setts for the servicing access between Building S1 and S2. The proposed public art piece in Keskidee Square will be surrounded by granite setts.</p> <p>Further details are provided within the UDR and Drawing Package which accompany this submission.</p>
Green/Brown Roofs	A 53.1m <sup>2</sup> area of green roof is included at roof level (21% of the total roof area).

Connection to site-wide low-carbon energy system	Yes
Renewables	Yes. There are 8 PV panels (covering a total area of approximately 13m <sup>2</sup> ) located at roof level.
Overall reduction in carbon emissions	The carbon emissions for Building S1 are expected to represent a 22.75% reduction relative to the Part L2A 2013 TER (including both design measures and connection to the site-wide District Energy Network). This is further explained in the Environmental Sustainability Plan included with this submission.
Predicted BREEAM Rating	It is envisaged that Building S1 (office use) will achieve a BREEAM 'Excellent' rating. The Retail/Leisure use is expected to achieve a BREEAM 'Very Good' rating.
Associated Public Realm	The submission includes proposals for areas of public realm around Building S1 on Handyside Street and Canal Reach, to the north and south of Building S2 and along routes S2 and S3, including the new public space and proposed public art within Keskidee Square (see submitted drawing TOWN279.28.02(08)5001) .

## Content of the Submission

- 1.16 The appropriate LB Camden application form has been completed and is submitted in compliance with Condition 3 of the Outline Planning Permission. The other conditions addressed by this submission are listed numerically on the application form and set out with brief summary notes below. The Planning Compliance Report only addresses planning conditions relevant to this submission and, therefore, some conditions, for example those relating to residential uses, are not included.

Table 1.2 Conditions

Condition	Summary Note
9	Landscaping and Trees
10	Landscaping Planning Programme
12	Steps within the Landscaping
14	Floorspace to be applied for over prescribed time periods
16	Urban Design Report
17	Environment Sustainability Plan
18	Earthworks and Remediation Plan
19	Access Statement
20	Illustrative Build-Out Plan
21	Construction Timetable
22	Servicing Strategy
27	Details of internal floorplans, layouts and floorspace figures
28	Refuse storage and collection arrangements
31	Parameter Plans and Development Specifications
33	Overall floorspace limits
34	Floorspace limits north/south of Regent's Canal
35	Uses permitted in KXC and maximum floorspace for each use
36	Maximum floorspace by use in each zone
37&38	Basement floorspace
45	Capacity of drainage infrastructure site-wide
46	Green & Brown roofs
48	Incorporation of pipework necessary to connect to district heating/combined heat and power systems

49&50A	Car Parking
51	Cycle Parking
56	Written scheme of investigation for an archaeological watching brief
60	Noise impact of plant and equipment to meet defined standards
63	Details of foundations
64&65	Overall movement of spoil off-site (annual volume and lorry movements respectively)
66&67	Overall annual lorry movements for import of infrastructure and construction materials

- 1.17 A number of conditions to the Outline Planning Permission have already been discharged by previous submissions and these are not addressed within this Compliance Report. These include Conditions 59 (Baseline Noise Survey) and 68 (Unexploded Bomb Survey).
- 1.18 Condition 23 (Highways Plan) is not relevant to this submission as the proposals do not give rise to any works to the existing adopted highways.
- 1.19 In the remainder of this Compliance Report, each of the relevant conditions are addressed in turn, by providing an account of how the submission satisfies that condition. In some cases, for example the illustrative build-out plan and construction timetable, the relevant information is provided in this report by means of text and plans. In others, compliance is demonstrated by cross reference to the following free-standing documents submitted with the application:-
- Architectural Drawings - compilation of scheme layout plans, elevations, sections and images;
  - Landscape Drawings - compilation of public realm landscape drawings;
  - Urban Design Report - including an explanation of the scheme concept, detailed scheme and landscaping description and consideration of the Design Guidelines attached to the Outline Planning Permission. The car and cycle parking provision, the servicing strategy and details of refuse and recycling provision are also set out in this document;
  - Environmental Sustainability Plan;
  - Access and Inclusivity Statement;
  - Earthworks Remediation Plan; and
  - Written Scheme of Investigation for an Archaeological Watching Brief.
- 1.20 In the Outline Planning Permission, the conditions are presented under a sequence of subject headings and sub-headings. To aid ease of use of this report, the conditions referred to in turn are each accompanied by those corresponding headings.
- 1.21 In addition, where relevant, parts of the Section 106 Agreement are considered in conjunction with the relevant conditions, specifically, Sections LL (Retail), V (Access and Inclusivity), W (Environmental Sustainability), X (Energy), Y (Construction Materials/Waste), Z (Waste) and AA (Water).
- 1.22 The proposals for Building S1 have been developed through a progressive process of pre-application consultations over several months between the King's Cross Central General Partner Limited ('KCCGPL') design team, Planning, Access and Urban Design Officers at LB Camden and other relevant stakeholders and local bodies, as listed in the Urban Design Report. The proposal represents a very high quality predominantly office development and public realm that will make a significant and positive contribution to the ongoing regeneration of King's Cross.

# Drawing Schedule

Architectural Drawings	Scale at A3	Drawing No.	Rev
<b>Drawings for Approval</b>			
<b>Site Plans</b>			
Site Location Plan	1:1000	KXC-S1-001-A-16080-10-0900P	P0
Site Plan	1:500	KXC-S1-001-A-16080-10-0901P	P0
<b>Floor Plans</b>			
Basement General Arrangement	1:400	KXC-S1-001-A-16080-20-950P	P0
Ground Floor General Arrangement	1:250	KXC-S1-001-A-16080-20-1010P	P0
First Floor General Arrangement	1:250	KXC-S1-001-A-16080-10-1011P	P0
Second Floor General Arrangement	1:250	KXC-S1-001-A-16080-10-1012P	P0
Third Floor General Arrangement	1:250	KXC-S1-001-A-16080-10-1013P	P0
Fourth Floor General Arrangement	1:250	KXC-S1-001-A-16080-10-1014P	P0
Fifth Floor General Arrangement	1:250	KXC-S1-001-A-16080-10-1015P	P0
Sixth Floor General Arrangement	1:250	KXC-S1-001-A-16080-10-1016P	P0
Seventh Floor General Arrangement	1:250	KXC-S1-001-A-16080-10-1017P	P0
Eighth Floor General Arrangement	1:250	KXC-S1-001-A-16080-10-1018P	P0
Ninth Floor General Arrangement	1:250	KXC-S1-001-A-16080-10-1019P	P0
Tenth Floor General Arrangement	1:250	KXC-S1-001-A-16080-10-1020P	P0
Eleventh Floor General Arrangement	1:250	KXC-S1-001-A-16080-10-1021P	P0
Twelfth Floor Mezzanine General Arrangement	1:250	KXC-S1-001-A-16080-10-1022P	P0
Roof Plan General Arrangement	1:250	KXC-S1-001-A-16080-10-1023P	P0
<b>Elevations</b>			
North Elevation General Arrangement	1:200	KXC-S1-001-A-16080-10-1150P	P0
East Elevation General Arrangement	1:200	KXC-S1-001-A-16080-10-1151P	P0
South Elevation General Arrangement	1:200	KXC-S1-001-A-16080-10-1152P	P0
West Elevation General Arrangement	1:200	KXC-S1-001-A-16080-10-1153P	P0
<b>Sections</b>			
Section A-A General Arrangement	1:250	KXC-S1-001-A-16080-10-1175P	P0
Section B-B General Arrangement	1:250	KXC-S1-001-A-16080-10-1176P	P0
Section C-C General Arrangement	1:250	KXC-S1-001-A-16080-10-1177P	P0
<b>Details</b>			
Facade Panel Types General	1:50	KXC-S1-001-A-16080-10-1160P	P0
Facade Panel Types - Sheet 1 of 4 Type	1:100	KXC-S1-001-A-16080-10-1140P	P0
Facade Panel Types - Sheet 2 of 4 Type	1:100	KXC-S1-001-A-16080-10-1141P	P0
Facade Panel Types - Sheet 3 of 4 Wall	1:100	KXC-S1-001-A-16080-10-1142P	P0
Facade Panel Types - Sheet 4 of 4 Type	1:100	KXC-S1-001-A-16080-10-1143P	P0
<b>Drawings for Information</b>			
Proposed Site Context Elevations	1:500	KXC-S1-001-A-16080-10-1158P	P0
Proposed Site Context Elevations	1:500	KXC-S1-001-A-16080-10-1159P	P0

# Drawing Schedule

Public Realm Drawings	Scale at A3	Drawing No.	Rev
<b>Landscape Drawings</b>			
<b>Drawings for Approval</b>			
<b>Site Plans</b>			
Surface finishes and detail tag location	1:500	TOWN279.28.02(08)5001	R04
Site levels plan	1:500	TOWN279.28.02(08)5002	R03
Tree planting plan	1:500	TOWN279.28.02(08)3001	R02
<b>Sections</b>			
Section A-A'	1:100	TOWN279.28.02(08)7000	R02
Section B-B'	1:50	TOWN279.28.02(08)7001	R02
Section C-C'	1:50	TOWN279.28.02(08)7002	R02
<b>Details</b>			
Detail 1.01 Paving and sett patterns	1:10	TOWN279.28.02(08)6101	R01
Detail 1.02 Sandstone paving type 1 interface with sandstone paving type 2	1:10	TOWN279.28.02(08)6102	R01
Detail 1.03 Sandstone paving type 2	1:10	TOWN279.28.02(08)6103	R01
Detail 1.04 Sandstone paving type 2	1:10	TOWN279.28.02(08)6104	R01
Detail 1.05 Tactile paving interface with	1:10	TOWN279.28.02(08)6105	R01
Detail 1.06 Tactile paving	1:5	TOWN279.28.02(08)6106	R01
Detail 2.01 Sandstone paving type 1	1:10	TOWN279.28.02(08)6201	R01
Detail 2.02 Sandstone paving type 2	1:10	TOWN279.28.02(08)6202	R01
Detail 2.03 Granite stone setts type 1	1:10	TOWN279.28.02(08)6203	R01
Detail 3.01 Tree in reclaimed granite	1:20	TOWN279.28.02(08)6301	R01
Detail 3.02 Tree in Keswidee Square	1:20	TOWN279.28.02(08)6302	R01

## 2.0 **Condition 9: Landscaping and Trees**

2.1 The condition and its reason state:

*"The details of the landscaping to be submitted as part of the applications for Reserved Matters approval shall include details of:*

*(a) all existing trees (with a stem diameter of 75mm or greater), and all existing within 10 metres of the perimeter of that part of the Development indicating:*

*(i) the location, species, stem diameter at 1.5 metres above ground level, height and accurate crown spread;*

*(ii) those to be retained;*

*(iii) where nearby excavations are proposed, the level at the base of each tree to be retained;*

*(iv) trees to be removed in conjunction with that part of the proposed development; and*

*(v) where appropriate the proposed positions and lines of protective fencing and prohibited areas.*

*(b) details of the design of building foundations and the layout, with dimensions and levels, of service trenches and other excavations on site in so far as these items will affect trees on or adjoining that part of the site;*

*(c) treatment of trees to be retained and new tree or other planting including indigenous species or those of wildlife, flowering or foliage value; earthworks, ground finishes, top soiling with both conserved and imported top soils, levels, drainage including falls and drain types;*

*(d) proposed canal moorings; and*

*(e) the equipment and other treatment of land within the MUGA and LEAP spaces.*

*And all works shall only be carried out with the details so approved.*

*Reason: To ensure a comprehensive and sustainable development, to ensure good design, to protect the setting of listed buildings, to preserve or enhance the character or appearance of Conservation Areas, to ensure a minimal impact on existing trees, to contribute to biodiversity, and to ensure that the details accord with the assessment in the Environmental Impact Assessment, in accordance with policies B1, B2, N4, N8, KC8, KC10, RC1 and RC3 of the London Borough of Camden Replacement Unitary Development Plan 2006."*

### **Response to Condition 9**

2.2 In the case of this submission for Building S1, only part (c) is relevant to proposal, as there are no existing trees within the Reserved Matters submission boundary.

2.3 Twelve new trees are proposed along Handyside Street to the south of Buildings S1 and S2. The location of the trees are shown on the Location Plan (drawing number KXC-S1-001-A-16080-10-0900P). The tree-lined street will provide a continuation of greenery from the public open space to the east of Building S2 and an overall net uplift in the number of trees across buildings S1 and S2. This drawing supersedes the drawing number KXC-S2-001-MP4101-A-10-001P submitted with Building S2, showing an updated tree layout to the north of Building S2.

- 2.4 Additional greenery will also be provided in the amenity spaces at levels 10 and 11. All topsoil for the planting will utilise clean imported soil as explained in the Earthworks and Remediation Plan, prepared by Ramboll which supports this application. Full details of the landscaping can be found within the Drawing Package and UDR. In terms of hard and soft landscaping, the proposals are demonstrated on the following relevant drawings:
- The layout of public realm at ground floor level is shown on Drawing TOWN279.28.02(08)5001. This drawing shows the surface finishes for hard landscaping and the positions of the new trees, street furniture, cycle parking, seating, and public art.
  - The Tree Planting Plan (TOWN279.28.02(08)3001) shows the proposed tree planting for the public realm;
  - Proposed site levels are indicated on Drawing TOWN279.28.02(08)5002.
  - Cross-sections and details showing materials, planting methods, paving patterns and interfaces, street furniture and cycle parking are provided to support the above general arrangement plans are included in the suite of Landscape Drawings prepared by Townshend Landscape Architects, submitted as part of the Drawing Package.
  - A piece of public art is proposed within Keskidee Square. Further details of this are provided in the accompanying UDR (Section 1.3).
- 2.5 The landscaping details described above, within the UDR and as shown on the submitted drawings are provided to demonstrate compliance with Condition 9. The details shown on the plans; drawings and planting schedule are submitted for approval.

## 3.0 **Condition 10: Landscaping Programme**

3.1 The condition and its reason state:

*“Applications for approval of Reserved Matters including landscaping shall include for specific approval a programme for commencing and completing the planting and laying out, and the detailed scheme(s) so approved shall be carried out only in accordance with the approved programme.*

*Reason: To ensure a comprehensive and sustainable development, to ensure good design, to protect the setting of listed buildings, to preserve or enhance the character or appearance of conservation areas, and to ensure that the landscaping is carried out within a reasonable period in accordance with the Environmental Impact Assessment, in accordance with policies B1, 82, KC8, KC10 and N4 of the London Borough of Camden Replacement Unitary Development Plan 2006.”*

### **Response to Condition 10**

3.2 The programme for commencing and completing the planting will be as outlined below.

3.3 The preferred planting season is from late October through to late March to ensure that trees are dormant when being lifted. Planting will not take place if the earth is waterlogged, or when there is frost. The proposed planting will take place in the first available planting season following physical completion of the relevant areas. The planting programme will, therefore, ultimately be controlled by the overall construction programme (see response to Condition 21).

3.4 If tree planting needs to take place outside of the preferred planting season, the tree will be lifted and containerised within the planting season to reduce the possibility of shock and failure occurring. Once the tree has been stabilised in its containerised state, it can then be planted outside the preferred planting season. The contractor appointed by the applicant will be required to maintain the tree while off-site and give the same guarantee as if planting in season.

3.5 If roots of newly planted trees or shrubs are loosened, the soil will be re-firmed as soon as possible after planting to exclude air pockets around the roots. Also, weeds will be eliminated and all ties, stakes and guards checked and adjusted accordingly.

3.6 These details are to show compliance with Condition 10 and are submitted for approval.

## 4.0 **Condition 12: Steps within the Landscaping**

4.1 The condition and its reason state:

*Where steps are to be constructed within the landscaping to change level gentle inclines and ramps (at a gradient of 1 in 20 or less) and/or lifts shall also be incorporated to provide an equally commodious alternative for all members of the public*

*Reason To ensure that the development provides good access for all in accordance with policies SD1 B1 B2 KC6 and T3 of the London Borough of Camden Replacement Unitary Development Plan 2006*

### **Response to Condition 12**

4.2 There are no steps within the landscaped areas and the terraces at floors 7, 10 and 11 also have step free access. These details are shown on the public realm drawings and floor plans included within the Drawing Package and discussed in the Access and Inclusivity Statement. As there are no steps, it is not necessary to demonstrate compliance with Condition 12. However, the information provided in the Drawing Package and Access and Inclusivity Statement demonstrates that the proposals have been designed to provide an equally commodious alternative for all members of the public.

5.0

## **Condition 14: Phasing of Approvals – Submitted Floorspace within Time Periods**

5.1

The condition and its reason state:

*“Unless otherwise agreed in writing by the local planning authority and subject to condition 13, applications for approval of Reserved Matters and/or details pursuant to conditions in compliance with this permission shall be made to the local planning authority in accordance with the following provisions:*

*a. Application for approval of Reserved Matters and/or details pursuant to conditions relating to not less than 70,000 sq metres gross external area of built accommodation shall be made to the local planning authority before the expiration of three years from the date of this permission;*

*b. Application for approval of Reserved Matters and/or details pursuant to conditions relating to not less than a further 70,000 sq metres gross external area of built accommodation shall be made to the local planning authority before the expiration of six years from the date of this permission, bringing the total building space for which Reserved Matters applications have been submitted to not less than 140,000 sq metres gross of built accommodation;*

*c. Application for approval of the Reserved Matters and/or details pursuant to conditions relating to not less than a further 70,000 sq metres gross external area of built accommodation shall be made to the local planning authority before the expiration of nine years from the date of this permission, bringing the total building space for which Reserved Matters applications have been submitted to not less than 210,000 sq metres gross of built accommodation;*

*d. Application for approval of the Reserved Matters and/or details pursuant to conditions relating to not less than a further 70,000 sq metres gross external area of built accommodation shall be made to the local planning authority before the expiration of twelve years from the date of this permission, bringing the total building space for which Reserved Matters applications have been submitted to not less than 280,000 sq metres gross of built accommodation;*

*e. Application for approval of the Reserved Matters and/or details pursuant to conditions relating to not less than a further 70,000 sq metres gross external area of built accommodation shall be made to the local planning authority before the expiration of fifteen years from the date of this permission, bringing the total building space for which Reserved Matters applications have been submitted to not less than 350,000 sq metres gross external area of built accommodation; and*

*f. Application for approval of the Reserved Matters and/or details pursuant to conditions relating to not less than a further 70,000 sq metres gross external area of built accommodation shall be made to the local planning authority before the expiration of eighteen years from the date of this permission, bringing the total building space for which Reserved Matters applications have been submitted to not less than 420,000 sq metres gross external area of built accommodation. Provided that that reapplications or variations in relation to the same built accommodation which has already been the subject of previous applications for and approvals of the Reserved Matters shall not count towards compliance with the phasing of the submissions as set out in (a) to (f) above.*

*Reason: To ensure a comprehensive and sustainable development to achieve regeneration, integration and good design, in accordance with the Environmental Impact Assessment, in accordance with policies S1, S2, S3, SKC1, SKC2, SKC3, KC1 and SD6 of the London Borough of Camden Replacement Unitary Development Plan 2006."*

## **Response to Condition 14**

- 5.2 The scheme provides 23,374m<sup>2</sup> GEA of proposed floorspace within Building S1.
- 5.3 Since Outline Planning Permission was granted in December 2006, applications have been made for approval of Reserved Matters and details pursuant to conditions involving built accommodation on the Eastern Goods Yard site including Pavilion G, the Great Northern Hotel, Regeneration House, the Midland Goods Shed/East Canopies, the German Gymnasium, Fish and Coal and the Eastern Wharf Road Arches, the Gas Holder Triplets, the Coal Drops Yard, Zone A, Building H and within plots B1, B2, B3, B4, B5, B6, E1, J, P1, Q2, R2, R3, R4, R5 (North), R5 (South), R7, R8, S2, T1, T2/T3, and T5. In addition, full planning permission has been granted for student housing on Plot T6, for an educational building on Plot R1 and for additional floorspace within the Coal Drops Yard. The quantities of floorspace, as gross external area (GEA), are set out in Table 5.1 below.
- 5.4 The figures below are listed chronologically, and correspond to each scheme named above, including for completeness subsequent minor amendments and revised schemes. For ease of reference the figures are consolidated per plot/building in the remainder of the document.
- 5.5 As the figures below demonstrate, the requirements in Condition 14 for 70,000m<sup>2</sup>, 140,000m<sup>2</sup>, 210,000m<sup>2</sup>, 280,000m<sup>2</sup>, 350,000m<sup>2</sup> and 420,000m<sup>2</sup> of floorspace to be applied for before the expiry of, respectively, three, six, nine, twelve, fifteen and eighteen years from the grant of Outline Planning Permission have now (more than) been fulfilled.
- 5.6 The breakdown of the total 23,374m<sup>2</sup> GEA for Building S1 is set out in the responses to Conditions 27 and 35 below, by floor and use, respectively. This figure excludes various infrastructure and utility elements (including waste storage, recycling facilities and cycle parking), in accordance with the footnotes to Table 1 and Annex B of the Outline Planning Permission.
- 5.7 The information provided above enables the Council to monitor the position relative to the condition and does not require approval. Rather the information shows how the relevant requirements of Condition 14 have been met.

Table 5.1 Cumulative Floorspace

Plot/Zone	Application Ref.	Approval Date	Floorspace (m <sup>2</sup> )
Eastern Goods Yard (EGY)	2007/5228/P	08-Apr-08	55,190
Building R2	2008/5052/P	22-Jan-09	48,522
<b>Subtotal (70,000m<sup>2</sup> by December 2009)</b>			<b>103,712</b>
Building T1 (2009)	2009/0415/P	24-Apr-09	29,045
Building R4	2010/0389/P	15-Apr-10	11,761
<b>Subtotal (140,000m<sup>2</sup> by December 2012)</b>			<b>144,518</b>
Building B2	2010/0864/P	30-Apr-10	7,098
Building B4	2010/0868/P	30-Apr-10	16,824
Building B6	2010/0870/P	30-Apr-10	20,853
Great Northern Hotel	2010/3304/P	03-Sep-10	4,528
Building T6 <sup>1</sup>	2010/4468/P	11-Jan-11	16,292
<b>Subtotal (210,000 m<sup>2</sup> by December 2015)</b>			<b>210,113</b>
Building J	2010/6688/P	11-Mar-11	16,265
Great Northern Hotel Minor Amendments	2011/0049/P	14-Mar-11	20
Building R5 (North)	2011/0431/P	08-Apr-11	14,237
Building R5 (North) Minor Amendments	2011/4263/P	10-Oct-11	-23
Building B3	2011/4090/P	04-Nov-11	20,404
Building B1	2011/4713/P	25-Nov-11	43,097
<b>Subtotal (280,000m<sup>2</sup> by December 2018)</b>			<b>304,113</b>
EGY Minor Amendments	2011/6440/P	10-Feb-12	180
Building B3 Minor Amendments	2012/6537/P	07-Feb-12	-22
Building B2 Minor Amendments	2012/0902/P	01-May-12	78
Building B4 Minor Amendments	2012/0907/P	17-Apr-12	247
Building E1	2012/4147/P	23-Oct-12	4,015
Building P1	2012/4741/P	07-Dec-12	29,619
Regeneration House	2012/4937/P	12-Nov-12	1,002
Building T1	2013/0405/P	22-Mar-13	1,574
(2013 Revised Reserved Matters)			
Building R5 (south)	2013/1573/P	07-Jun-13	8,376
Building T5	2013/2481/P	05-Jul-13	8,964
<b>Subtotal (350,000m<sup>2</sup> by December 2021)</b>			<b>358,146</b>
Zone A	2013/4001/P	17-Sep-13	85,837
<b>Subtotal (420,000m<sup>2</sup> by December 2024)</b>			<b>443,983</b>
Building P1 Minor Amendments	2014/0691/P	18-Mar-14	-19
Midland Goods Shed and Canopies	2014/1433/P	13-Jun-14	7,223
German Gymnasium (Zone D)	2014/1455/P	12-May-14	1,225
Pavilion G1 Minor Amendments to Eastern Goods Yard	2014/2247/P	12-May-14	-46
Building B6 (2014 Revised Reserved Matters)	2014/4125/P	22-Aug-14	-256

Building T1 Minor Amendments	2014/4605/P	10-Sep-14	-3
Building B1 Minor Amendments	2014/4693/P	22-Aug-14	-17
Fish & Coal Building/Eastern Wharf Road Arches <sup>2</sup>	2014/5272/P	23-Oct-14	2,405
Gas Holder Triplets	2014/6386/P	18-Dec-15	18,327
Building B5	2014/6968/P	22-Jan-15	21,851
Building R7	2015/0368/P	16-Apr-15	19,576
Building R2 <sup>3</sup>	As above	As above	-48,522
Building R1 <sup>4</sup>	2015/2886/P	06-Aug-15	9,167
Building R5 (South) Minor Amendments	2015/2891/P	03-Aug-15	-506
Building B5 Minor Amendments	2015/5234/P	02-Nov-15	45
Building R3 and Zone R Gardens	2015/4819/P	05-Nov-15	6,686
Coal Drops Yard <sup>5</sup>	2015/6015/P 2015/6018/P	19-Jan-16	10,084
Building R7 Minor Amendments	2015/7241/P	07-Mar-16	-44
Building S2	2015/7094/P	29-Feb-16	23,201
Building R8	2016/1877/P	08-Jul-16	24,682
Building T2 <sup>6</sup>	2016/3195/P	23-Jan-17	29,264
Building T3			20,225
Building Q2	2016/5580/P	02-Feb-17	1,973
Zone A Building (revised scheme) <sup>7</sup>	2017/3133/P	10-Aug-17	-5,018
Building H	2017/4639/P	<b>Not yet determined</b>	209
<i>Building S1</i>	<b><i>This Submission</i></b>		23,374
<b>Cumulative floorspace submitted to date</b>			<b>609,069</b>

Notes:

1. This figure represents the floorspace below the outline parameter height of 67m A.O.D. as per the Section 106 Agreement dated 11 January 2011.

2. This figure excludes the 82m<sup>2</sup> GEA relating to the conservatory extension. Approval for this structure and floorspace, which was not envisaged as part of the Outline Planning Permission, was approved separately by a Full Planning Permission, submitted in parallel to that Reserved Matters submission (ref: 2014/5272/P)..

3. The total floorspace submitted to date excludes Building R2, since this has been replaced by Buildings R7 and R8. The Building R2 GEAs have been excluded throughout the report from this point on.

4. The R1 floorspace was approved under a separate Full Planning Application; however the figure is reported as part of the site wide totals.

5. This is the figure of the total GEA for the development that is counted against the triggers and threshold of the Outline Planning Permission. This figure comprised 2,071m<sup>2</sup> GEA within the Reserved Matters Application, and 8,013m<sup>2</sup> GEA within the Full Planning Application.

6. This figure represents Option 1 for Building T2, i.e. 29,264m<sup>2</sup> GEA, this being the larger of the two options proposed.

7. This figure represents the difference in floorspace between the approved scheme from 2013 (i.e. 85,837m<sup>2</sup>) and the proposed scheme (80,819m<sup>2</sup>)

## 6.0 **Condition 16: Particulars to Accompany Reserved Matters Applications - Urban Design Report**

6.1 The condition and its reason state:

*“Relevant applications for approval of Reserved Matters submitted pursuant to this permission relating to the design of new buildings and to the landscaping of the public realm shall be accompanied by an urban design report which explains the underlying approach of the design and explains how it addresses each of the relevant Design Guidelines.*

*Reason: To ensure a comprehensive and sustainable development and to achieve good design throughout the development, including protection of the setting of listed buildings and the preservation or enhancement of the character or appearance of conservation areas in accordance with the Environmental Impact Assessment, in accordance with policies B1, B2, B6, B7 and KC8 of the London Borough of Camden Replacement Unitary Development Plan 2006.”*

### **Response to Condition 16**

6.2 This condition is addressed by a separate UDR which is included with the application submission. It demonstrates the underlying approach to the design of the building and how the relevant Design Guidelines attached to the Outline Planning Permission have been addressed and responded to.

6.3 The scope of the submitted UDR also covers the servicing arrangements for Building S1; provides details of the proposed refuse and recycling facilities; and provides details of the cycle and car parking within the scheme.

6.4 The UDR is submitted to meet the requirements of Condition 16.

## 7.0 **Condition 17: Particulars to Accompany Reserved Matters Applications - Environmental Sustainability Plan**

7.1 The condition and its reason state:

*“Relevant applications (or groups of related applications) for approval of Reserved Matters in respect of buildings shall be accompanied by an Environmental Sustainability Plan. The Environmental Sustainability Plan shall explain:*

- a how the proposed building design(s) realise(s) opportunities to include design and technology energy efficiency measures;
- b the reduction in carbon emissions achieved through these building design and technology energy efficiency measures, compared with the emissions permitted under the national Building Regulations prevailing at the time the application(s) for approval of reserved matters are submitted;
- c the specification for any green and/or brown roofs;
- d how energy shall be supplied to the building(s), highlighting;
  - i how the building(s) relate(s) to the site-wide strategy for district heating incorporating tri-generation from distributed combined heat and power;
  - ii how the building(s) relate(s) to the strategy for using biofuel boilers to supplement the energy supplied through district heating systems;
  - iii the assessment of the cost-effectiveness and reliability of the supply chain for biofuels; and
- e any other measures to incorporate renewables.
- f how the proposed building(s) have been designed to achieve a BREEAM and/or Ecohomes rating of "very good" (or an equivalent assessment method and rating) or better; and
- g the incorporation of bird boxes, bat roosts and other wildlife features on buildings.

*Reason: To ensure a comprehensive and sustainable development and to achieve good design through the development in accordance with the Environmental Impact Assessment, in accordance with policies SKC1, KC8, B1, N7, and SD9 of the London Borough of Camden Replacement Unitary Development Plan 2006.”*

### **Response to Condition 17**

7.2 The application submission includes a separate Environmental Sustainability Plan (ESP), which addresses each of the factors listed in this condition and demonstrates that the proposed development achieves high levels of sustainability and is on target to achieve a BREEAM rating of 'Excellent' for the office use and 'Very Good' for the retail/leisure use (which will be provided to shell and core).

7.3 The report also provides information to:

- Satisfy Conditions 45 and 48 concerning drainage and connection to the district heating/combined heat and power systems; and

- Show how Building S1 responds to the obligations set out in Sections X (Energy), Y (Construction materials and waste), Z (Waste) and AA (Environmental Sustainability) of the Section 106 Agreement.

- 7.4 The S106 (Section X, paragraph 6) sets a 'reasonable endeavour' target for each new building to achieve a 5% carbon emission reduction against Part L of the prevailing Building Regulations, based on the use of energy efficient and passive design measures, and any low-carbon energy supply not already accounted for in the Outline Planning Permission. On the basis of these measures alone (i.e. disregarding the carbon savings that will be achieved by utilising the low carbon district energy system and the PV panels), the carbon emissions for Building S1 are expected to be 19.89 kg CO<sub>2</sub>/m<sup>2</sup>. This represents a 15.58% reduction over the Part L2A Target Emission Rate. Consequently the building significantly exceeds the target 5% reduction set by the S106 Agreement.
- 7.5 The ESP is submitted to meet the requirements of Condition 17.

## 8.0 **Condition 18: Particulars to Accompany Reserved Matters Applications – Earthworks and Remediation Plan**

8.1 The condition and reason state:

*“Relevant application (or groups of related applications) for approval of Reserved Matters shall be accompanied by an Earthworks and Remediation Plan to deliver appropriate site levels and ground conditions for that part of the development and demonstrate compliance with Conditions 64 and 65. All works shall be carried out in accordance with the Earthworks and Remediation Plan as approved.*

*Reason: To ensure the development is carried out in accordance with the assessment and conclusions of the Environmental Impact Assessment, in accordance with policies SD1 and SD10 the London Borough of Camden Replacement Unitary Development Plan 2006”.*

### **Response to Condition 18**

8.2 The information to satisfy Condition 18 is included in a separate Earthworks and Remediation Plan (ERP) forming part of this Building S1 submission.

8.3 The submitted ERP describes the earthworks and remediation strategy for the construction of Building S1.

8.4 As outlined in the ERP, earthworks to the site are proposed to comprise a global reduction of 2m across the site, installation of the main building piles and contiguous pile wall followed by bulk excavations for the basement and transfer structure to levels of 18.35m above ordnance datum (AOD) and 23.45m AOD respectively (approximately 8.45m below current ground levels of 26.8m AOD within the area of the proposed basement).

8.5 The earthworks will include the excavation of approximately 20,395m<sup>3</sup> of materials, made up of 2,780m<sup>3</sup> of pile matt (placed after global reduction), 10,075m<sup>3</sup> of Made Ground and 7,540m<sup>3</sup> of Natural Ground soils, which equates to approximately 2,400 lorry movements from site (based on 8.5m<sup>3</sup> of un-bulked material per lorry movement).

8.6 Approximately 4,055m<sup>3</sup> of materials will be imported to the site, made up predominantly of aggregate for the pile matt and topsoil/subsoil for the green roof. This equates to approximately 477 lorry movements to the site for imported materials.

8.7 The ERP concludes that no specific remediation measures are deemed necessary, however a number of best practice measures are recommended to be incorporated as part of the construction, including the preparation of an asbestos management protocol and an unforeseen contamination protocol for the site.

8.8 Overall, the ERP demonstrates how satisfactory site levels and ground conditions would be delivered for the Building S1 development and associated public realm, as required by Condition 18. The information above is used later in this Compliance Report to address Conditions 64 and 65 on how the implementation of Building S1, in conjunction with other approved and current development, will not exceed criteria for the removal of spoil from the site, in terms of the annual volume and number of lorry movements respectively.

8.9 The ERP is provided to meet the requirements of Condition 18 and is submitted for approval.

## 9.0 **Condition 19: Particulars to Accompany Reserved Matters Applications - Access Statement (and Section V S106 Agreement)**

9.1 The condition and its reason state:

*“Relevant applications for approval of Reserved Matters pursuant to this permission shall be accompanied by an access statement. Each access statement shall:*

- a address the relevant design principles set out in the Access and Inclusivity Strategy dated September 2005;
- b highlight any areas where technical or other constraints have prevented or constrained the application of these design principles; and
- c include a project programme for that building or phase, to identify the key stages at which important decisions affecting inclusivity and accessibility will be made.

*Reason: To ensure a comprehensive and sustainable development and to achieve good design through the development in accordance with the Environmental Impact Assessment, in accordance with policies SD1, B1, B2, T3, KC6, KC8 of the London Borough of Camden Replacement Unitary Development Plan 2006.”*

### **Response to Condition 19**

9.2 A separate Access and Inclusivity Statement forms part of this Reserved Matters submission and demonstrates compliance with the condition requirements, including how the principles set out in the site-wide Access and Inclusivity Strategy (2005) have been applied in the design of Building S1 and surrounding public realm.

9.3 In addition, in accordance with Section V of the Section 106 Agreement, it is confirmed that the evolution of the Building S1 scheme and the preparation of the submitted Access and Inclusivity Statement (AIS) have been guided by the applicant's designated Inclusive Design Champion, James Holmes-Siedle of All Clear Designs. The champion body has extensive experience of the KXC development, from its inception through to many of the Reserved Matters submissions made and approved to date.

9.4 The proposals were presented to and discussed with the King's Cross Design and Access Forum at a meeting held on the 15th May 2017. Feedback from this meeting has been addressed in the AIS.

9.5 The Access and Inclusivity Statement is submitted to meet the requirements of Condition 19 and Section V of the Section 106 Agreement.

## 10.0 **Condition 20: Particulars to Accompany Reserved Matters Applications - Illustrative Build-out Plan**

### 10.1 The condition and its reason state

*"Relevant applications for approval of Reserved Matters shall be accompanied by an illustrative build out plan showing:*

*(a) the disposition of any buildings for which approval has been given and the take-up through those approvals of the land uses permitted by this planning permission;*

*(b) the disposition of any buildings for which approval of Reserved Matters is sought and how the approved uses are to be incorporated in these buildings;*

*(c) how the Development Zones within which buildings for which approval has been given under (a) and those for which approval has been sought under (b) above, may be built out and completed in conformity with this planning permission;*

*(d) development zones (or part thereof) for which buildings have yet to come forward for approval of Reserved Matters;*

*(e) the status of each area of Principal Public Realm, the phasing of development and its date of adoption or target date of adoption (where appropriate);*

*(f) demonstrate ongoing provision of green and brown roofs in accordance with condition 46; and*

*(g) the relationship between the buildings/development referred to in (a), (b), (c), (d) and (e) above.*

*Reason: To ensure a comprehensive and sustainable development and to achieve regeneration, integration and good design in accordance the Environmental Impact Assessment, in accordance with policies S1, S2, 53, SKC1 and KC8, of the London Borough of Camden Replacement Unitary Development Plan 2006."*

## **Response to Condition 20**

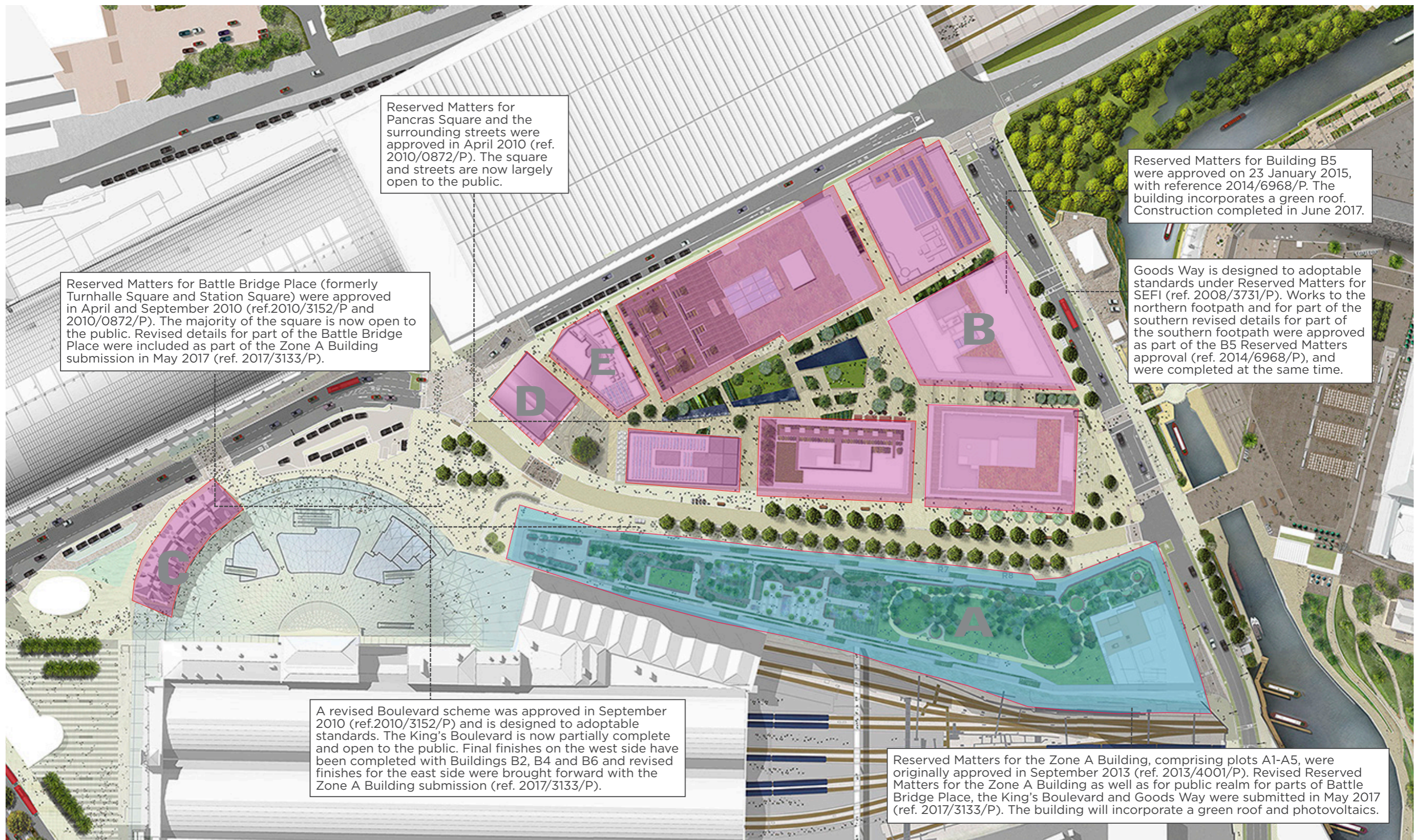
10.2 Two Illustrative Build-out Plans are presented on the following pages, addressing the sub-sections of the condition.

10.3 In respect of 20(a) above, the plan shows the buildings for which approval has already been given (coloured in red) and those subject to a current Reserved Matters submission (in blue). Completed buildings are shown in purple.

10.4 With regard to 20(b), the plan shows Building S1, for which Reserved Matters approval is now sought, coloured green. The way in which the approved uses are to be incorporated in the building is covered in more detail by the information presented in this Compliance Report under Condition 27 and within the drawings and Urban Design Report included with this submission.

10.5 As required by 20(c), the plan shows how the buildings already permitted within the Development Zones, and those subject to current Reserved Matters submissions may be built-out in accordance with the Outline Planning Permission.

- 10.6        The buildings for which Reserved Matters are yet to come forward are shown on the plans and coloured yellow, to meet the requirements of 20(d).
- 10.7        In relation to 20(e), the plan includes details of the Principle Areas of Public Realm. Works proposed within this submission include associated public realm works, as detailed in the drawings and Urban Design Report included within this submission
- 10.8        With regard to 20(f), the plan indicates the on-going provision of green/brown roofs across the site as a whole.
- 10.9        The Illustrative Build-out Plans, together with the above information, demonstrate the relationship between the different components and phases of the development, as required by 20(g).
- 10.10       The details thus provided are submitted to meet the requirement of Condition 20.



Development zones for which buildings have yet to come forward for approval

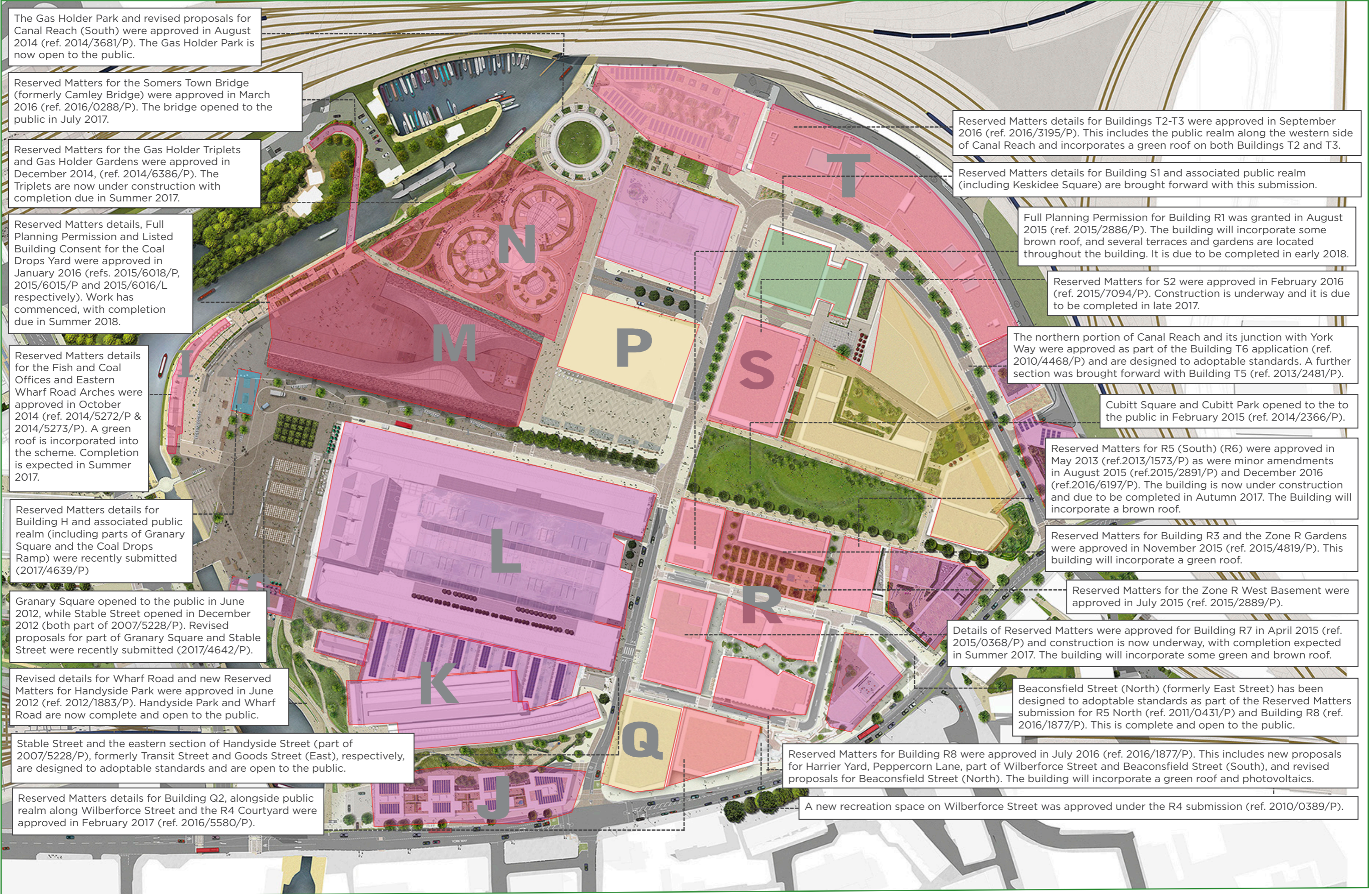
Subject to a current Reserved Matters submission

Buildings for which approval has been given

Buildings brought forward with this submission

Completed Buildings

Illustrative Build Out Plan  
KXC, South of the Regent's Canal  
August 2017



The Gas Holder Park and revised proposals for Canal Reach (South) were approved in August 2014 (ref. 2014/3681/P). The Gas Holder Park is now open to the public.

Reserved Matters for the Somers Town Bridge (formerly Camley Bridge) were approved in March 2016 (ref. 2016/0288/P). The bridge opened to the public in July 2017.

Reserved Matters for the Gas Holder Triplets and Gas Holder Gardens were approved in December 2014, (ref. 2014/6386/P). The Triplets are now under construction with completion due in Summer 2017.

Reserved Matters details, Full Planning Permission and Listed Building Consent for the Coal Drops Yard were approved in January 2016 (refs. 2015/6018/P, 2015/6015/P and 2015/6016/L respectively). Work has commenced, with completion due in Summer 2018.

Reserved Matters details for the Fish and Coal Offices and Eastern Wharf Road Arches were approved in October 2014 (ref. 2014/5272/P & 2014/5273/P). A green roof is incorporated into the scheme. Completion is expected in Summer 2017.

Reserved Matters details for Building H and associated public realm (including parts of Granary Square and the Coal Drops Ramp) were recently submitted (2017/4639/P)

Granary Square opened to the public in June 2012, while Stable Street opened in December 2012 (both part of 2007/5228/P). Revised proposals for part of Granary Square and Stable Street were recently submitted (2017/4642/P).

Revised details for Wharf Road and new Reserved Matters for Handside Park were approved in June 2012 (ref. 2012/1883/P). Handside Park and Wharf Road are now complete and open to the public.

Stable Street and the eastern section of Handside Street (part of 2007/5228/P), formerly Transit Street and Goods Street (East), respectively, are designed to adoptable standards and are open to the public.

Reserved Matters details for Building Q2, alongside public realm along Wilberforce Street and the R4 Courtyard were approved in February 2017 (ref. 2016/5580/P).

Reserved Matters details for Buildings T2-T3 were approved in September 2016 (ref. 2016/3195/P). This includes the public realm along the western side of Canal Reach and incorporates a green roof on both Buildings T2 and T3.

Reserved Matters details for Building S1 and associated public realm (including Keskidee Square) are brought forward with this submission.

Full Planning Permission for Building R1 was granted in August 2015 (ref. 2015/2886/P). The building will incorporate some brown roof, and several terraces and gardens are located throughout the building. It is due to be completed in early 2018.

Reserved Matters for S2 were approved in February 2016 (ref. 2015/7094/P). Construction is underway and it is due to be completed in late 2017.

The northern portion of Canal Reach and its junction with York Way were approved as part of the Building T6 application (ref. 2010/4468/P) and are designed to adoptable standards. A further section was brought forward with Building T5 (ref. 2013/2481/P).

Cubitt Square and Cubitt Park opened to the to the public in February 2015 (ref. 2014/2366/P).

Reserved Matters for R5 (South) (R6) were approved in May 2013 (ref.2013/1573/P) as were minor amendments in August 2015 (ref.2015/2891/P) and December 2016 (ref.2016/6197/P). The building is now under construction and due to be completed in Autumn 2017. The Building will incorporate a brown roof.

Reserved Matters for Building R3 and the Zone R Gardens were approved in November 2015 (ref. 2015/4819/P). This building will incorporate a green roof.

Reserved Matters for the Zone R West Basement were approved in July 2015 (ref. 2015/2889/P).

Details of Reserved Matters were approved for Building R7 in April 2015 (ref. 2015/0368/P) and construction is now underway, with completion expected in Summer 2017. The building will incorporate some green and brown roof.

Beaconsfield Street (North) (formerly East Street) has been designed to adoptable standards as part of the Reserved Matters submission for R5 North (ref. 2011/0431/P) and Building R8 (ref. 2016/1877/P). This is complete and open to the public.

Reserved Matters for Building R8 were approved in July 2016 (ref. 2016/1877/P). This includes new proposals for Harrier Yard, Peppercorn Lane, part of Wilberforce Street and Beaconsfield Street (South), and revised proposals for Beaconsfield Street (North). The building will incorporate a green roof and photovoltaics.

A new recreation space on Wilberforce Street was approved under the R4 submission (ref. 2010/0389/P).

Development zones for which buildings have yet to come forward for approval

Subject to a current Reserved Matters submission

Buildings for which approval has been given

Buildings brought forward with this submission

Completed Buildings

Illustrative Build Out Plan  
KXC, North of the Regent's Canal  
August 2017

## 11.0 **Condition 21: Particulars to Accompany Reserved Matters Applications - Construction Timetable**

11.1 The condition and its reason state:

*“Relevant applications for approval of Reserved Matters shall be accompanied by details of:*

- the construction timetable for those developments for which approval is sought;*
- how that construction timetable relates to the overall sequence of the development and its division into a number of major phases; and*
- demonstrates compliance with conditions 66 and 67.*

*Reason: To ensure a comprehensive and sustainable development, to protect amenities and ensure safe access in accordance the Environmental Impact Assessment, in accordance with policies S1, S2, S3, SKC1 and KC6 of the London Borough of Camden Replacement Unitary Development Plan 2006.”*

### **Response to Condition 21**

11.2 The following pages present, first, a diagram showing the anticipated construction timetable for Building S1 and associated landscaping and, following that, a series of 3 plans placing the current proposal within the anticipated sequence of implementation of the KXC development as a whole.

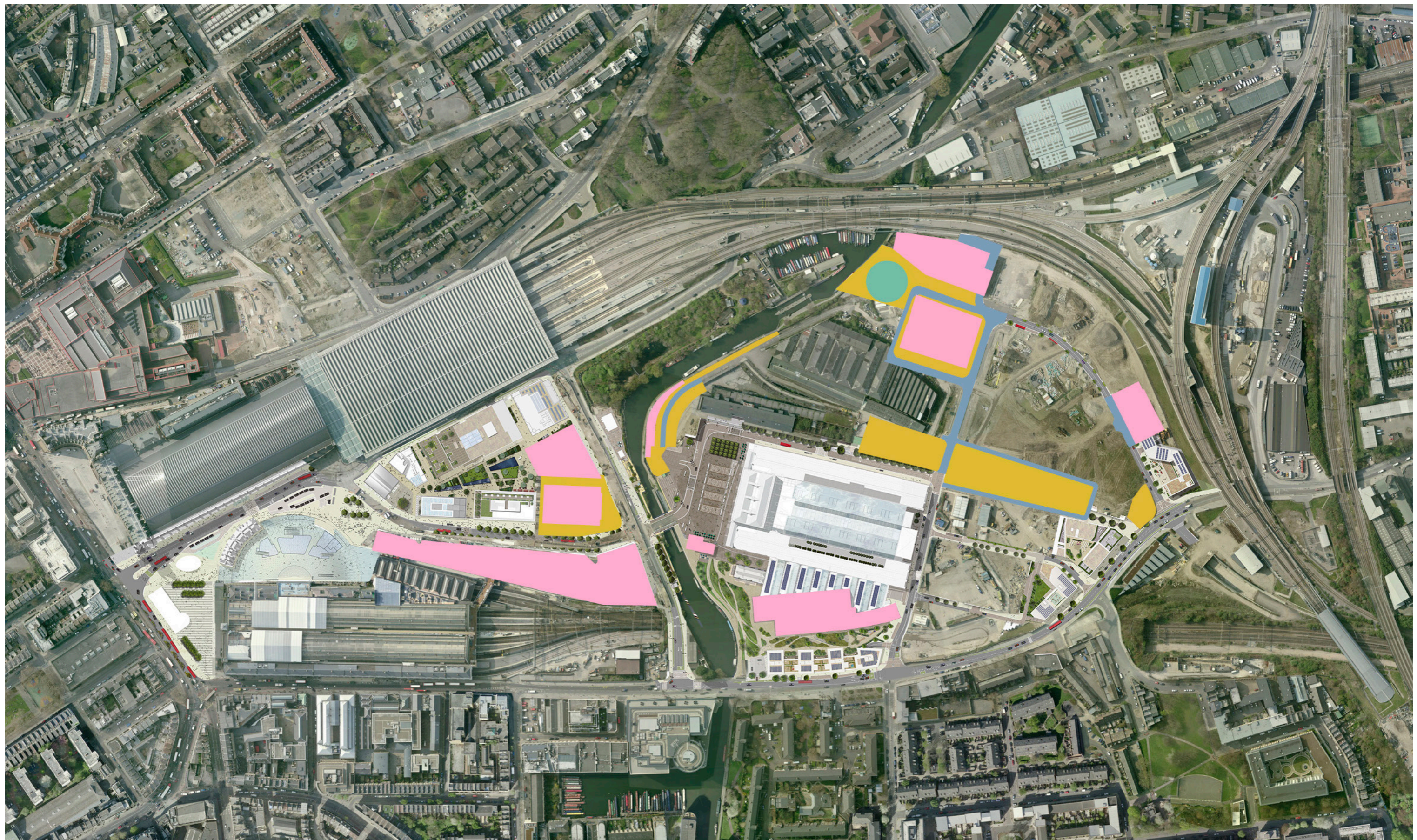
11.3 The phasing of construction of Building S1 will determine the timing of the import of infrastructure and construction materials to the site. This aspect is dealt with more directly under Conditions 66 and 67 of this Compliance Report.

11.4 These details are provided to meet the requirements of Condition 21.

**09/08/2017**

Line	Name	Duration	Start	Finish	2018												2019												2020											
					J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D
1	Piling	15w	08 Jan 18	27 Apr 18																																				
2	Groundbeams & Pilecaps	9w	09 Apr 18	08 Jun 18																																				
3	Transfer Structure	18w	04 Jun 18	05 Oct 18																																				
4	Core	23w	30 Jul 18	18 Jan 19																																				
5	Basement	16w	03 Sep 18	21 Dec 18																																				
6	Steel Frame	28w	12 Nov 18	14 Jun 19																																				
7	Concrete Slabs	27w	13 Feb 19	27 Aug 19																																				
8	Cladding	31w	25 Mar 19	01 Nov 19																																				
9	Roof Works	24w	13 Jun 19	27 Nov 19																																				
10	Internal Works	37w	03 Jun 19	28 Feb 20																																				
11	Test And Comission	15w	09 Dec 19	03 Apr 20																																				
12	Public Realm	49w	06 Jan 20	18 Dec 20																																				

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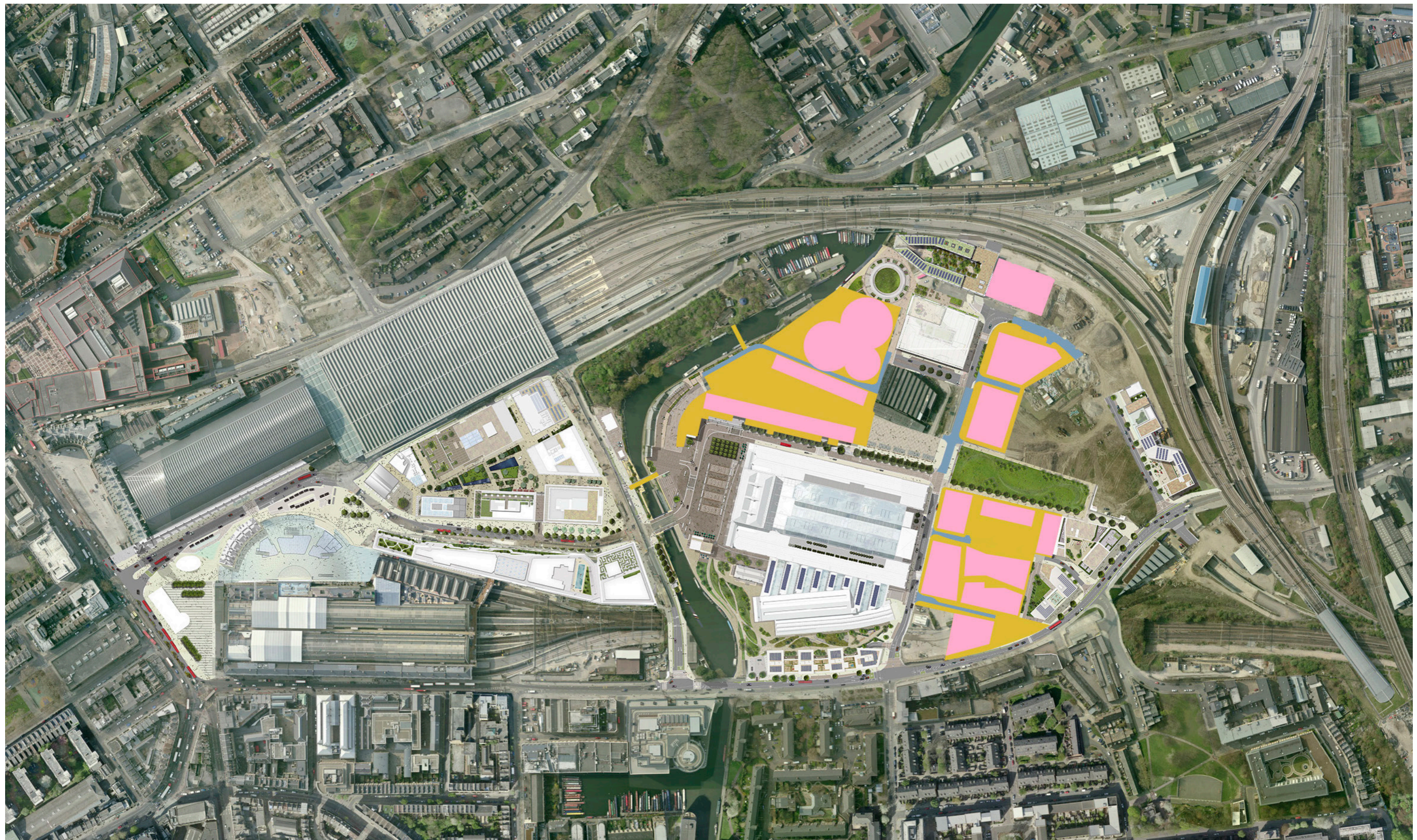


- Demolition
- Public Realm
- Highway Works
- Built Development

- Relocation of features/facilities
- E Energy Centre

The Second Major Phase (Illustrative)

August 2017



- Demolition
- Public Realm
- Highway Works
- Built Development

- Relocation of features/facilities
- E Energy Centre

The Third Major Phase (Illustrative)

August 2017



## 12.0 **Condition 22: Particulars to Accompany Reserved Matters Applications - Servicing Strategy**

12.1 The condition and its reason state:

*"A servicing strategy consistent with plan KXC 017 Rev R demonstrating where servicing for any building will be located will support any relevant application for approval of Reserved Matters. The strategy shall include details of the proposed hours of servicing and the mechanisms that will be used to ensure loading and unloading takes place in accordance with the strategy as approved. No servicing of any building shall take place on any part of the highway network or public realm other than in accordance with the servicing strategy so approved.*

*Reason: To ensure safe, efficient and sustainable access to, and protect amenities in, the development in accordance with the Environmental Impact Assessment, in accordance with policies B1, T1, KC5, KC6 and SD6 of the London Borough of Camden Replacement Unitary Development Plan 2006."*

### **Response to Condition 22**

12.2 The Servicing Strategy for Building S1 is described in more detail in Section 1.5 of the UDR.

12.3 In summary the servicing arrangements for Building S1 are based on the following principles:

- deliveries will be unloaded at ground floor level within the service bays to the east of the building before being transported to the back of house storage areas in the basement, via the goods lift located adjacent to the service bays;
- the parking areas in the loading bay can accommodate a 17 tonne, 10 metre truck. Larger vehicles are only expected to be required for refits and therefore infrequently; and
- the parking/service area will be actively managed to ensure the safe co-ordination of vehicle movement and parking within this area. Access to the loading bay will be controlled by a 24 hour manned security within the building, with arrangements made with primary service and delivery providers to ensure a managed strategy to deliveries within the hours of operation.

12.4 Further details are provided in Section 1.5 of the UDR. The details provided meet the requirements of Condition 22 and are submitted for approval.

## 13.0 **Condition 27: Details Required by Condition - Floorplans etc.**

13.1 The condition and its reason state:

*“Details and particulars including floorspace figures, floorplans and layouts of the uses, and the vehicle and other servicing and access, including provision for any coach access and parking to be accommodated in built and refurbished accommodation, shall be submitted to and approved in writing by the local planning authority before any of those uses commences and the uses will commence only in accordance with the details so approved.*

*Reason: To ensure a comprehensive and sustainable development, to ensure safe and efficient access, to achieve good design and protect amenities and to ensure the development is carried out in accordance with the assessment and conclusions of the Environmental Impact Assessment, in accordance with policies SKC2, SKC3, KC1, KC2, KC3, KC6 and T15 of the London Borough of Camden Replacement Unitary Development Plan 2006.”*

### **Response to Condition 27**

13.2 The plans and drawings within the submitted drawing package provide the floorplan, layout and access details required by this condition. Table 13.1 below summarises the proposed floorspace figures in Building S1 by floor. References to the different floor levels across the building reflect those on the submitted drawings.

13.3 The building provides a total floorspace of 23,374 m<sup>2</sup> GEA, excluding infrastructure and utility elements (i.e. waste and other storage, plant and cycle and refuse stores), in accordance with Table 1 and Annex B of the Outline Planning Permission.

Table 13.1 Figures in Building S1 by floor

Level	Office (B1) (Including circulation space & cores)	Flexible Office (B1) or Leisure (D2)	Retail (A1- A4)	Other (within Planning GEA – cycle welfare facilities, security and fire offices)	Total Planning GEA	Exclusions (in accordance with Table 1 and Annex B of the Outline Planning Permission (Plant, Refuse, Cycle Store, Loading bay)
Ground	621	777	401	77	1,876	471
L01	305	1,080	0	248	1,633	97
L02	256	2,114	0	2	2,372	98
L03	2,370	0	0	2	2,403	98
L04	2,401	0	0	2	2,403	98
L05	2,401	0	0	2	2,384	98
L06	2,382	0	0	2	2,106	98
L07	2,104	0	0	2	2,130	98
L08	2,128	0	0	2	2,080	98
L09	2,078	0	0	2	1,384	98
L10	1,382	0	0	2	206	106
L11	172	0	0	34	25	103
L12	25	0	0	0	0	75
<b>Total</b>	<b>18,625</b>	<b>3,971</b>	<b>401</b>	<b>377</b>	<b>23,374</b>	<b>1,636</b>

13.4 The proposed basement area is considered separately in response to Condition 37.

13.5 Section LL: 'Retail' of the S106 states that no 'A3 units shall exceed 250m<sup>2</sup> GIA unless otherwise agreed in writing by the Council' in Development Zone S. As shown in the table below, at ground floor level, there are two retail units that are proposed to be in flexible (A1-A4) retail use. The breakdown of the retail floorspace per unit is in compliance with the Outline Planning Permission and the S106 Agreement, as shown below.

Table 13.2 Breakdown of retail space by unit

Unit	Proposed Use	Floorspace (m <sup>2</sup> GEA)
Northeast Unit	A1-A4	248
Northwest Unit	A1-A4	153
<b>Total</b>		<b>401</b>

13.6 These details are submitted to meet the requirements of Condition 27 and are submitted for approval.

## 14.0 **Condition 28: Details Required by Condition - Refuse Storage and Collection**

14.1 The condition and its reason state:

*“Details of arrangements for storage and collection of refuse, for the development hereby approved, including location, design, screening, operation and the provision of facilities for the storage of recyclable materials shall be submitted to and approved in writing by the LPA as part of the relevant applications for approval of Reserved Matters for each phase of the Development and the development shall be carried out only in accordance with the details so approved and shall be retained thereafter.*

*Reason: To ensure good design, to safeguard the amenity of the area and ensure that the development is sustainable and has adequate facilities, in accordance with the Environmental Impact Assessment, in accordance with policies SD6 and KC8 of the London Borough of Camden Replacement Unitary Development Plan 2006.”*

### **Response to Condition 28**

14.2 A shared refuse storage area is located in the basement (shown on the Proposed Basement Floorplan, ref. KXC-S1-001-A-16080-20-1009P), for storage of the refuse from the office, office/leisure space and the two retail units within Building S1. Although the refuse is expected to be collected every day, capacity for 2 days' storage is provided. The proposed location of the refuse store is shown on Proposed Basement Floorplan within the submitted Drawing Package, and the servicing arrangements are further described in Section 1.5 of the UDR.

14.3 These details are submitted to meet the requirements of Condition 28 and are for approval.

## 15.0 **Condition 31: Development to be Carried Out in Accordance with Permission - Parameter Plans and Development Specification**

### 15.1 The condition and its reason state:

*“The development shall be carried out in accordance with the Revised Parameter Plans and as described in the specified paragraphs of the Revised Development Specification dated September 2005 comprising:*

- a the Principal Public Realm Areas shown on drawing KXC004 Rev S together with paras 4.9, 4.13 (insofar as it relates to public realm), 4.14, 4.17 and 4.19;
- b the boundaries of Development Zones shown on drawing KXC005 Rev T together with paras 4.20, 4.21, 4.23 - 4.26, and with Table 2 to the extent that it provides a summary and indicative description of the proposals in each development zone only;
- c the Regent's Canal works shown on drawing KXC006 Rev Q together with paras 4.27 - 4.29;
- d the Principal Access and Circulation Routes shown on drawing KXC007 Rev S together with paras 4.30 - 4.47 and with Annex C to the extent that it provides a summary and indicative specification for the routes only;
- e the Upper Floor Land Uses Along Street Elevations shown on drawing KXC008 Rev R together with paras 4.48 - 4.54 to the extent that these describe the overall distribution of land uses only;
- f the Ground Floor Land Uses Along Street Frontages shown on drawing KXC009 Rev P together with paras 4.49 - 4.54 to the extent that these describe the overall distribution of land uses only;
- g the Proposed Finished Site Levels shown on drawing KXC012 Rev T together with paras 4.62 - 4.67;
- h the Development Massing shown on drawing KXC013 Rev L together with paras 4.68 - 4.72 and Table 3;
- i the Maximum Building Heights shown on drawing KXC014 Rev W together with paras 4.73 -4.75;
- j the Strategic View Corridor Constraints shown on drawing KXC015 Rev S together with paras 4.79 - 4.81;
- k the Basement Zones shown on drawing KXC016 Rev O together with paras 3.40 - 3.41 and 4.82- 4.86;
- l the Servicing arrangements shown on drawing KXC017 Rev R, together with para 4.87;
- m the Utilities Strategy shown on drawing KXC018 Rev M, together with paras 4.88 and 4.90 -4.98;
- n the Gas Holder Triplet Development shown on drawing KXC020 Rev E together with paras 4.104 and 4.105 to the extent that they show indicative proposals only for the works and land uses; and

- o the Priority Zones for Green/Brown Roofs and Wind Turbines shown on drawing KXC021 Rev A, together with paras 3.43, 3.44, 4.106 and 4.107”.

*Except that in relation to (i) above the building heights within Plot S2 identified on drawing KXC005 Rev T shall be at least 6.5m below the maximum heights shown in Parameter Plan KXC014 rev W across at least 80% of the plot, unless otherwise approved in writing by the local planning authority.*

*Reason: The development is the subject of an Environmental Impact Assessment and any change to the development from the particulars assessed as above might have an impact which has not been identified and assessed. The requirements of this condition are to ensure a comprehensive and sustainable development, to achieve integration, regeneration and good design and to accord with the assessment and conclusions of the Environmental Impact Assessment in accordance with policies S1, S2, S3, SKC1, SKC2, SKC3, SKC4 and KC8 of the London Borough of Camden Replacement Unitary Development Plan 2006.”*

### **Response to Condition 31**

- 15.2 It should be noted that the Parameter Plans referred to in sub-paragraphs (c) Regent's Canal, (m) Utilities Strategy, and (n) Gas Holder Triplets do not apply to the proposed Building S1 development and, therefore, are not addressed below.

- 15.3 The other relevant sub-paragraphs of Condition 31 are addressed as follows:

#### **(a) Principal Public Realm Areas (Parameter Plan KXC 004 Rev S)**

- 15.4 The proposals for Building S1 include an area of public realm immediately surrounding the building, the proposed Keskidee Square to the northeast, and the public realm to the south (along Handyside Street) and north of Building S2 - as shown on the Location Plan (TOWN279.28.02(08)5001). Some of the landscape/public realm area within the proposed submitted drawings falls within the Reserved Matters boundary submitted and approved for Building S2. This submission supersedes these elements where relevant to reflect the development of the design of the public realm as a whole since the Building S2 submission. This includes the pavement along Handyside Street to the south, which is identified as a Principal Public Realm Area on Parameter Plan KXC 004.
- 15.5 The proposals include a double height colonnade, along the eastern part of the southern elevation, comprising high quality stone and aluminium columns, mirroring the materiality and rhythm of the proposed building, alongside Building S2, and other buildings along the northern side of Handyside Street, further to the east. This is envisaged to be a positive addition to Handyside Street, giving the building a robust 'civic' quality. The colonnade will be lit by discrete lights creating an attractive and welcoming space after dark when the building is open.

#### **(b) Boundaries of Development Zones and Types of Development in Each (Parameter Plan KXC 005 Rev T)**

- 15.6 In relation to sub-paragraph (b) of the condition, the boundaries of Building S1 conform to the Development Zone's allowable limits of deviation, as set out on Parameter Plan KXC005.
- 15.7 The proposed use of primarily office (Class B1) with smaller units for retail/food and drink (Classes A1 –A4) and leisure uses (class D2) at ground floor is consistent with the Summary Description for Development Zone S as set out in Table 2 of the Revised Development Specification.

**(d) Principal Access and Circulation Routes (Parameter Plan KXC 007 Rev S)**

- 15.8 The proposals for Building S1 are consistent with the Principal Access and Circulation Routes as set out in KXC007. The access/drop off only route through the development Zone will be located in a north south direction between Buildings S1 and S2, and further access and circulation routes in an east west direction to the north of the building, consistent with Routes S1 and S2 in KXC007. These routes are specifically for access and drop off only, with Route S1 providing the access into the dedicated servicing area within the footprint of the building, accessed along the eastern elevation.
- 15.9 The access arrangements proposed accord with the access and drop off requirements as set out in the Revised Development Specification and therefore, the proposals accord with Parameter Plan KXC 007.

**(e) and (f) Upper and Ground Floor Land Uses (Parameter Plans KXC 008 Rev R and KXC 009 Rev P)**

- 15.10 Parameter Plan KXC008 identifies Building S1 as being predominantly for business and employment uses at upper floor level along the western and southern elevation and the ground floor land uses of Building S1 'May be any permitted Uses'. Annex B of the Development Specification allows for B1 office, A1-A5 retail, D1 and D2 uses within Development Zone S. The proposed ground floor uses of office, shopping/food and drink uses (Classes B1, A1 to A4) and leisure use (Class D2), along with the upper floor use of office accommodation (Use Class B1) are consistent with those specified by the Parameter Plans and the Development Specification.
- 15.11 The requirements of Condition 31(e) and (f) are therefore met.

**(g) Finished Site Levels (Parameter Plan KXC 012 Rev T)**

- 15.12 As shown on the submitted Site Levels Plan (ref. TOWN 279.28.02(08)5002) submitted within the Drawing Package, the proposals for Building S1 are consistent with the finished site levels indicated on the Parameter Plan KXC 012 read in conjunction with the limits of deviation.

**(h) Development Massing (Parameter Plan KXC 013 Rev L)**

- 15.13 The massing criterion specifying the maximum percentage, in this case 25%, of the total floorspace applied for within each Development Zone that may be constructed 30m or above finished ground levels. The floorspace at Level 8 and above is more than 30m above the finished ground level, this equates to 5,825sq.m of the total 23,374m<sup>2</sup> of floorspace (excluding the basement) or 24.9%, below the 25% threshold. Building S1 is compliant with the parameters as set within KXC 013.

**(i) Maximum Building Height (Parameter Plan KXC 014 Rev W)**

- 15.14 The maximum allowable height within Plot S1 is 75.0m AOD. Building S1 is, at its highest part, 74.95m AOD with the northern side of the building stepping down to 65.21m AOD, the southern side stepping down to 69.95m AOD and the western side stepping down to 65.21m AOD. As such, the building height is compliant with the parameter plan.

**(j) Strategic View Corridors (Parameter Plan KXC015 Rev S)**

- 15.15 Building S1 lies within the Strategic View Corridor to St. Paul's shown on Parameter Plan KXC 015. The proposed building height is below the constraint height at this location (76.6m), as

shown on Parameter Plan KXC 015. Accordingly, the proposed development complies with Parameter Plan KXC015 and part (j) of Condition 31.

- 15.16 It should be noted that the Parameter Plan shows the viewing corridor as defined in RPG3a which has since been replaced by the London View Management Framework SPG published in July 2012. For this reason, Parameter Plan KXC014 is the more important and proposals which comply with that plan will always comply with Parameter Plan KXC015.

#### **(k) Basements (Parameter Plan KXC016 Rev 0)**

- 15.17 Building S1 lies within an area in which new basements may be constructed, according to Parameter Plan KXC016. The Parameter Plan also notes that basements are not to compromise the integrity of the Thameslink Tunnels.
- 15.18 The applicant has been in close dialogue with Network Rail regarding the proposals for Building S1 and associated basement area. Discussions covered the proposed foundations and its relationship with the tunnels below ground, so as not to compromise the integrity of the tunnels below ground. The size of the basement has been limited and is situated primarily to the east of the main building, under the area between Buildings S1 and S2.

#### **L) Servicing Arrangements (Parameter Plan KXC017 Rev R)**

- 15.19 As set out in Section 1.5 of the submitted Urban Design Report, the Servicing Strategy for Building S1 includes access to the service bay within the footprint of the building via the access and drop off route between Buildings S1 and S2. This complies with Parameter Plan KXC 017, which states that no direct car park or service yard entrances, or direct service access will be from the perimeter of Development Zone S.
- 15.20 As such, the proposals comply with part (l) of Condition 31.

#### **(o) Priority Zones for Green/Brown Roofs and Wind Turbines (parameter plan KXC0021 Rev A)**

- 15.21 Parameter Plan KXC021 includes Development Zone S as a 'Priority Zone' for green/brown roofs.
- 15.22 As the size of the basement is severely limited by the Thameslink Tunnel running beneath Building S1, some plant has to be located on the roof reducing the area available for a green/brown roof. However, the proposals for Building S1 still include a sedum roof area of 53.1m<sup>2</sup>, which equates to 21% of the roof area (which exceeds the 15% required), containing a minimum of 8 species of known biodiversity value.
- 15.23 The response to Condition 46 within this document, along with the UDR and ESP, outlines this provision in detail, and shows compliance with Parameter Plan KXC 021.

#### **Summary**

- 15.24 In summary, the submitted drawing set and reports, together with the explanations above, demonstrate that the proposed development will be carried out in accordance with the approved Parameter Plans and the Development Specification, as required by Condition 31.

## 16.0 **Condition 33: Development to be Carried Out in Accordance with Permission - Floorspace Permitted Site-Wide**

16.1 The condition and its reason state:

*"The total floorspace constructed and used pursuant to this outline planning permission shall not exceed 713,090 sq m gross external area, provided that this total floorspace excludes:*

*a. basements to be constructed in accordance with condition 31(k) other than the public bicycle interchange/storage facilities and public health and fitness facilities in Development Zone B partly within basement space specified in Table 1 and Annex B attached;*

*b. infrastructure and utilities forming part of and supporting the development including the substations, transformers, waste storage and ancillary recycling facilities;*

*c. rooftop plant;*

*d. the district gas governor; and*

*e. car parking other than the multi storey car park.*

*Reason: The development is the subject of an Environmental Impact Assessment and any change to the development from the particulars assessed might have an impact which has not been identified and assessed. The requirements of this condition are to ensure a comprehensive and sustainable development, to achieve integration, regeneration and good design, to protect the setting of listed buildings, to preserve or enhance the character or appearance of conservation areas and protect Strategic Views and to accord with the assessment and conclusions of the Environmental Impact Assessment, in accordance with policies S1, S2, S3, SKC1, SKC2, SKC3 and KC8 of the London Borough of Camden Replacement Unitary Development Plan 2006."*

### **Response to Condition 33**

16.2 The proposed floorspace for Building S1 per floor is set out in Table 13.1 of this Compliance Report in connection with Condition 27.

16.3 The total amount of floorspace in terms of Condition 33 so far approved/submitted across the KXC development is 609,026m<sup>2</sup> GEA (including Building S1). This is illustrated by Table 16.1 below.

Table 16.1

North of the Regent's Canal	Floorspace (m <sup>2</sup> GEA)
Eastern Goods Yard (as amended 2011 & 2014)	55,324
Building T1 (as amended 2014)	30,616
Building R4	11,761
Building R5 (North)	14,214
Building T6	16,292
Building J	16,265
Building P1 (as amended 2013)	29,600
Regeneration House	1,002
Building T5	8,964
Midland Goods Shed and Canopies	7,223
Fish and Coal and Eastern Wharf Road Arches	2,405

Gas Holder Triplets	18,327
Building R5 (south) (as amended 2015)	7,870
Building R1	9,167
Building R3 and Zone R Gardens	6,686
Coal Drops Yard	10,084
Building R7 (as amended 2015)	19,532
Building S2	23,201
Building R8	24,682
Building T2	29,264
Building T3	20,225
Building Q2	1,973
Building H	209
<i>Building S1</i>	<i>23,374</i>
<b>Sub-Total</b>	<b>388,260</b>
<b><i>South of the Regent's Canal</i></b>	
Building B2 (as amended 2012)	7,176
Building B4 (as amended 2012)	17,071
Great Northern Hotel (as amended 2011)	4,548
Building B3 (as amended 2012)	20,382
Building E1	4,015
German Gymnasium (Zone D)	1,225
Building B6 (as amended 2014)	20,597
Building B1 (as amended 2014)	43,080
Building B5 (as amended 2015)	21,896
Zone A Building	80,819
<b>Sub-Total</b>	<b>220,809</b>
<b>Total floorspace submitted to date</b>	<b>609,069</b>

16.4 The site-wide figure of 713,090m<sup>2</sup> prescribed by Condition 33 would not be exceeded.

16.5 The details submitted enable the Council to monitor the position with regard to floorspace build-up and do not require approval.

17.0 **Condition 34: Development to be Carried Out in Accordance with Permission - Floorspace Permitted North of Regent's Canal**

17.1 The condition and its reason state:

*"The maximum floorspace of buildings constructed and refurbished in accordance with condition 33 within the Development north of Regents Canal shall not exceed 468,840 sqm gross external area and south of Regents Canal shall not exceed 244,250 sqm gross external area.*

*Reason: The development is the subject of an Environmental Impact Assessment and any change to the development from the particulars assessed might have an impact which has not been identified and assessed. The requirements of this condition are to ensure a comprehensive and sustainable development, to achieve integration, regeneration and good design, to protect the setting of listed buildings, to preserve or enhance the character or appearance of Conservation Areas and protect Strategic Views and accord with the assessment and conclusions of the Environmental Impact Assessment, in accordance with policies and policies S1, S2, S3, SKC1, SKC2, SKC3 and KC8 of the London Borough of Camden Replacement Unitary Development Plan 2006."*

**Response to Condition 34**

17.2 In the same way that the submission demonstrates compliance with Condition 33 concerning overall floorspace in the KXC development, the total cumulative figure to date for the area to the north of the Regent's Canal, of 388,260m<sup>2</sup> GEA (including Building S1, see Table 16.1 above), shows that the Condition 34 limit for the relevant sub-area, of 468,840m<sup>2</sup>, will not be exceeded.

17.3 This information is provided to assist in the monitoring of floorspace coming forward across the KXC development. Again, no specific approval of the details is required.

## 18.0 **Condition 35: Development to be Carried Out in Accordance with Permission - Uses Permitted**

18.1 The condition and its reason state:

*"Permission is hereby granted for the following uses as set out in the description of development to take place within buildings constructed and refurbished within the Development:*

- a. Business and employment uses within Class B1;*
- b. Residential uses within Class C3 and student accommodation and a residential home within Class C2;*
- c. Hotel use within Class C1 and serviced apartments (sui generis outside of Class C3);*
- d. Shopping, food and drink uses within Classes A1, A2, A3, A4 and A5;*
- e. Uses within Class D1;*
- f. Cinema use(s);*
- g. Uses within Class D2, and nightclub uses and casino use;*
- h. A multi storey car park;*
- i. Other miscellaneous uses, including public bicycle interchange/storage facilities, substations, transformers, waste storage and recycling facilities and the gas governor.*

*and the floorspace constructed and used pursuant to the planning permission shall not, unless otherwise agreed in writing by the local planning authority, exceed in the case of any use or group of uses within each of the areas north and south of Regents Canal the individual maximum floorspace figures as set out in Table 1 attached, that Table being read together with the notes 4 to 13 inclusive.*

*Reason: The development is the subject of an Environmental Impact Assessment and any change to the development from the particulars assessed might have an impact which has not been identified and assessed. The requirements of this condition are to ensure a comprehensive and sustainable development, to achieve integration, regeneration and good design, to protect the setting of listed buildings, to preserve or enhance the character or appearance of conservation areas and protect Strategic Views and to accord with the assessment and conclusions of the Environmental Impact Assessment, in accordance with policies S1, S2, S3, SKC1, SKC2, SKC3, KC2 and KC8 of the London Borough of Camden Replacement Unitary Development Plan 2006."*

### **Response to Condition 35**

18.2 Table 18.1 below shows that the proposed floorspace for the uses within Building S1, together with those approved/submitted for other areas north of the Regent's Canal, would not exceed the maximum figures for the relevant land uses, as set out in Table 1 to the Outline Planning Permission.

18.3 These details enable the Council to monitor the position regarding the maximum floorspace permitted for each of the relevant uses and do not require approval.

Table 18.1 Floorspace north of the Regent's Canal by land use (GEA in m<sup>2</sup>)

Location	Max B1	Max Residential	C1 Use	Max A1-A5	Max D1	Max Cinema Use	Max D2	Multi Storey Car Park
Eastern Goods Yard (as amended) <sup>1</sup>	6,881			5,595	46,653			
Building T1 (As amended) <sup>2</sup>		15,982		453			942	12,914
Building R4	487	11,274		487	487		487	
R5 North	669	13,545		599	599			
Building T6 <sup>3</sup>		15,973		319				
Building J	1,253	15,012		1,253	1,253			
Building P1 (as amended)		24,411		114	5,075			
Regeneration House	1,002				330			
Building T5		8,717		247	247			
Midlands Good Shed				3,385	3,838			
Fish and Coal Offices and Eastern Wharf Road Office <sup>4</sup>	1,442			963				
Gas holder triplets		17,305		1,022				
Building R1	8,780			387				
R5 (south) (as amended 2015)	351	7,519		351	351			
Building R3 and Zone R Gardens		6,410		276				
Coal Drop's yard <sup>5</sup>				10,084				
Building R7	17,460			682		803		
Building S2	22,385			816				
Building H				209				
Building S1	22,596	0	0	401	0	0	3,971	
<b>Total</b>	<b>83,306</b>	<b>136,148</b>	<b>0</b>	<b>27,643</b>	<b>58,833</b>	<b>803</b>	<b>4,458 (excluding T1 MUGA)</b>	<b>12,914</b>
Maximum for area North of Regents Canal: Table 1 of Outline Permission	234,000	193,800	14,600	30,865	67,880	8,475	24,275	21,500

Notes:

- 1 The figure for the Eastern Goods Yard is as amended by the minor amendments submission in respect of Pavilion G1 (reference 2014/2247/P).
- 2 This figure is as amended by the minor amendments to Building T1 submission (reference 2014/4605/P). The D2 figure represents the floorspace proposed for the MUGA within Building T1. This is not counted against the maximum D2 floorspace for Zone T. This facility was originally documented in the S106 Agreement as a facility at

roof level and was not treated as floorspace. It is therefore appropriate to treat the Zone T maximum D2 floorspace as exclusive of the MUGA.

- 3 Building T6: These figures represent the floorspace below the original parameter height of 67m AOD as permitted by planning permission (2010/4468/P).
- 4 This figure is exclusive of an additional 82m<sup>2</sup> of floorspace in connection with the associated conservatory, which is subject to a separate and associated full planning application.
- 5 This figure is the figure of the total development floorspace that will be counted against the Outline Planning submission (references FPP 2015/6015/P and RM 2015/6018/P) triggers and thresholds as detailed in the submission documents.

## 19.0 **Condition 36: Development to be Carried Out in Accordance with Permission – Floorspace and Development Zones)**

19.1 The condition and its reason state:

*“Unless otherwise agreed in writing by the local planning authority, the new and refurbished floorspace constructed as part of the development hereby permitted, within the maxima set out in condition 35, will be distributed between the Development Zones in accordance with the maximum floorspace allocations in Annex B attached subject to Annex B (north and south of the canal) being read together with the notes excluding notes 4 and 5 and Annex B (north of the Canal) being read together with the notes excluding note 15.*

*Reason: The development is the subject of an Environmental Impact Assessment and any change to the development from the particulars assessed might have an impact which has not been identified and assessed. The requirements of this condition are to ensure a comprehensive and sustainable development, to achieve integration, regeneration and good design, to protect the setting of listed buildings, to preserve or enhance the character or appearance of conservation areas and protect Strategic Views and to accord with the assessment and conclusions of the Environmental Impact Assessment, in accordance with policies S1, S2, S3, SKC1, SKC2, SKC3, KC2 and KC8 of the London Borough of Camden Replacement Unitary Development Plan 2006.”*

### **Response to Condition 36**

- 19.2 Annex B to the Outline Planning Permission refers to the maximum amount of floorspace that may be developed for specified uses within Development Zone(s), unless otherwise approved. In this case, within Development Zones P and S, a maximum combined floorspace of 150,530m<sup>2</sup> is permitted.
- 19.3 Within Development Zone P, Reserved Matters Approval for Building P1 was granted in December 2012 (ref. 2012/4741/P) and subsequent minor amendments were granted in March 2014 (ref. 2014/0691/P). Therefore, the only floorspace in Development Zone P currently relates to Building P1.
- 19.4 Building S1 is the second reserved matters submission for Development Zone S after Reserved Matters Approval was granted for Building S2 (ref. 2015/7094/P) in February 2016.
- 19.5 Table 19.1 below demonstrates that the maximum proposed floorspace for the uses within Building S1 would not exceed the total maximum figures for the relevant land uses within Development Zones P and S, as set out in Annex B to the Outline Planning Permission.

Table 19.1 Proposed floorspace relative to maximum floorspace for Development Zones P and S (GEA in m<sup>2</sup>)

Location	Max B1	Max Residential	Max C1	Max A1-5	Max D1	Max D2 (cinema)	Max D2 (not cinema)
Building P1	0	24,411	0	114	5,075	0	0
Building S2	22,385	0	0	816	0	0	0
Building S1	22,596	0	0	401	0	0	3,971
<b>Total submitted/approved floorspace for Zones P and S to date</b>	<b>44,981</b>	<b>24,411</b>	<b>0</b>	<b>1,331</b>	<b>5,075</b>	<b>0</b>	<b>3,971</b>
Maximum floorspace totals for Zones P/S as set out in Annex B to the Outline Planning Permission Remaining	95,800	66,800	14,600	6,155	6,065	8,475	8,475

## 20.0 **Condition 37: Development to be Carried Out in Accordance With Permission – Basement Size**

20.1 The condition and its reason states:

*“The basement floorspace to be constructed in accordance with this permission, and specifically with conditions 33 and 35 shall be constructed in accordance with condition 31 (k) above and shall not exceed 83,500 square metres gross external area in total (comprising up to 36,000 square metres gross external area to the south of the Regent's Canal and up to 47,500 square metres gross external area to the north of the Regent's Canal).*

*Reason: The development is the subject of an Environmental Impact Assessment and any change to the development from the particulars assessed might have an impact which has not been identified and assessed. The requirements of this condition are to ensure a comprehensive and sustainable development, to achieve integration, regeneration and good design, and to accord with the assessment and conclusions of the Environmental Impact Assessment, in accordance with policies S1, S2, S3, SKC1, SKC2, SKC3, KC2 and KC8 of the London Borough of Camden Replacement Unitary Development Plan 2006”.*

### **Response to Condition 37**

- 20.2 The basement proposed in Building S1 is 1,158m<sup>2</sup> GEA. The basement is constrained by the Thameslink Tunnel directly below the building. Accordingly it has been offset from the building footprint and extends into the area below ground between Buildings S1 and S2.
- 20.3 Due to this constraint, the basement is smaller in size than Building S2, and principally includes essential plant with some storage space. Cycle storage, changing rooms, welfare facilities and waste storage for Building S1 are located above ground.
- 20.4 The Reserved Matters submission boundary for Building S2 included a section of the footprint and piling for the basement of Building S1, as the piling was constructed for both buildings together. However the floorspace and layout of the S1 basement were not included. The floorspace, layout and full footprint of the Building S1 basement are included within this submission, for approval.
- 20.5 Together with the new basement floorspace already approved/submitted to date across the KXC site gives a cumulative site-wide total of 69,664m<sup>2</sup> and, north of the Regent's Canal there is a cumulative total of 26,610m<sup>2</sup>. These totals fall well below the overall site-wide total of 83,500 m<sup>2</sup> and the total of 47,500m<sup>2</sup> for north of the Regent's Canal, permitted under Condition 37.
- 20.6 This information enables the Council to monitor the position with regard to basement floorspace provided and does not require approval.

Table 20.1 Basement Floorspace already approved/submitted to date across KXC

Development Area	Basement Floorspace (m <sup>2</sup> GEA)
<b>North of Regents Canal</b>	
Eastern Goods Yard	2,444
Building J	2,267
Building P1 (as amended 2013)	2,751
Regeneration House	252
Gas Holder Triplets	5,299
Building R7	2,024
Building R1	1,559
Zone R West Basement <sup>1</sup>	3,374
Building S2	2,403
Building R8	3,079
<i>Building S1</i>	<i>1,158</i>
<b>Subtotal north of the Canal</b>	<b>26,610</b>
<b>South of the Regents Canal</b>	
Shared Service Yard <sup>2</sup>	1,907
Zone B basement (as revised 2011) <sup>3</sup>	7,153
Great Northern Hotel (as amended 2011)	1,259
Building B3 (as amended 2012)	1,338
Building E1	515
Zone A Development	7,235
Building B6	2,421
Building B1 (as amended 2014)	7,153
Building B5 (as amended 2015) <sup>4</sup>	3,019
Zone A Building	11,054
<b>Subtotal South of the Canal</b>	<b>43,054</b>
<b>Overall total for Kings Cross Central</b>	<b>69,664</b>

Notes:

- 1 The Zone R West Basement includes all basement areas within the footprint of the proposed Building R3 and Zone R Gardens and the approved Building R5 South (as amended 2015, with ref. 2015/2891/P). It therefore replaces the basement figure first approved as part of the Reserved Matters for Building R5 South (2013/1573/P), which has been removed from the table above.
- 2 In accordance with paragraph 4.85 of the Development Specification, the floorspace for the Shared Service Yard excludes the Access Ramp.
- 3 The Zone B Basement Figure excludes the 2010 Building B6 basement area, which equated to 1,182m<sup>2</sup> (part of the overall 8,335m<sup>2</sup> Zone B Basement figure). The 2014 revised Building B6 basement figure is provided here separately, representing an increase of 1,239m<sup>2</sup> on the previously approved figure.
- 4 Although the minor amendments for Building B5 propose an overall floorspace change, they do not propose any floorspace change to the basement levels.

21.0 **Condition 38: Development - to be Carried Out in Accordance With Permission – Basement Layout, Design, Access Plan**

21.1 The condition and its reason states:

*“Details of this basement floorspace including layout, design, access, the provision of plant and ventilation, shall be included in the relevant application for approval of Reserved Matters. The basement space so permitted shall only be used for purposes ancillary to the primary purposes permitted for the relevant buildings including the storage of plant equipment, building services, plant and equipment, other ancillary storage, servicing and parking.*

*Reason: To ensure a comprehensive and sustainable development, to ensure safe and efficient access, to achieve good design and protect amenities in accordance with the Environmental Impact Assessment, in accordance with policies SKC2, SKC3, KC1, KC2, KC3, KC6 and T15 of the London Borough of Camden Replacement Unitary Development Plan 2006”.*

**Response to Condition 38**

21.2 The suite of documents included with this submission, in particular the Basement Floor Plan (drawing ref. KXC-S1-001-A-16080-20-950P), the UDR, and AIS, provide details of the proposed layout, design, access, plant and ventilation within the proposed basement, as required by Condition 38.

21.3 The basement principally includes essential plant with some storage space. Cycle storage, changing rooms, welfare facilities and waste storage are located above ground, at ground floor level of the building. The uses within the basement are ancillary to the main building use and accord with the requirements of Condition 38. These details are submitted for approval.

## 22.0 **Condition 45: Development to be Carried Out in Accordance with Permission – Drainage Infrastructure**

22.1 The condition and its reason states:

*“The new drainage infrastructure within the site shall be designed to achieve a combined (storm and foul) peak discharge to the existing combined sewers of 2292 l/s or less.*

*Reason: To protect future occupiers of the development, services and utilities, and prevent the pollution of the water environment, in accordance with policy SD9 and KC8 of the London Borough of Camden Replacement Unitary Development Plan 2006.”*

### **Response to Condition 45**

22.2 The information to show compliance with Condition 45 is included within the ESP submitted in response to Condition 17.

22.3 The cumulative peak discharge from the many building plots and areas of infrastructure will exceed 2,292l/s under certain weather conditions. In these instances, the site wide drainage infrastructure, including online and offline attenuation, will attenuate peak flows discharging from individual plots, highways and public realm, enabling cumulative peak flows to be reduced to 2,292 l/s or less. The site wide surface and foul water disposal strategy can be summarised as follows:

- To provide separate surface and foul water networks where available, combining only at the final manhole prior to connection into the existing Thames Water sewerage network.
- To provide online attenuation (for example oversized pipe work) and offline attenuation (for example proprietary modular underground storage systems / tanks) to buffer peak flows generated within the site down to the agreed discharge rates into the existing Thames Water sewerage network.
- To ensure that no above ground flooding occurs during the worst case 1 in 30 year storm event.
- To ensure that no internal building flooding occurs during the worst case 1 in 100 year (+20%) storm event.
- To accord with PPS 25 and Sewers for Adoption 6th Edition's.
- To discharge at various locations into the sewerage network.
- To design the above infrastructure such that combined surface and foul water flows do not exceed 2,292 l/s during a 1 in 30 storm event.

22.4 This shows that, through a coordinated approach with the other design teams responsible for the surrounding infrastructure and public realm, the proposals for Building S1 are compatible with the site-wide drainage strategy. Through this strategy, each of the drainage sub-catchments, buildings and public realm areas will be attenuated and storm water and foul flows into the sewer network will be restricted. As such, the maximum drainage discharge specified in Condition 45 would not be exceeded.

## 23.0 **Condition 46: Development to be Carried Out in Accordance with Permission – Green and Brown Roofs**

23.1 The condition and its reason states:

*“At least 15% of the roofs of new buildings constructed pursuant to the planning permission shall be green and/or brown roofs as defined in the Revised Development Specification dated September 2005.*

*Reason: To ensure a comprehensive and sustainable development and to satisfactorily provide for biodiversity in accordance with the Environmental Impact Assessment, in accordance with policy KC8 and N7 of the London Borough of Camden Replacement Unitary Development Plan 2006.”*

### **Response to Condition 46**

23.2 Buildings S1 sits within a Green/Brown Roof Priority Zone under Parameter Plan KXC021. A green roof of 53.1 m<sup>2</sup> is proposed at roof level. This is approximately 21% of the total roof area (calculated as 257m<sup>2</sup>).

23.3 The roof habitat is likely to be a shady meadow green roof in line with the King's Cross green roof strategy for the site, created with the London Wildlife Trust. This will grow in suitable areas at roof level, with additional habitat features such as stone piles and deadwood habitats.

23.4 In addition to this green roof, raised planters are proposed to be situated on the roof terrace at level 11, and planted with wildflowers and potentially ornamental tree species. Further, the level 10 terrace will also include planters.

23.5 Further details of the proposed roof and terraces are provided within the submitted Drawing Package, Urban Design Report and Environmental Sustainability Plan.

23.6 Table 23.1 confirms that the green roof on Building S1 will exceed the 15% threshold. When the approved buildings to date are considered together they considerably exceed the required threshold. Accordingly the requirements of Condition 46 are satisfied.

Table 23.1 Green/ brown roofs provided on previously approved buildings

Building with Green/Brown Roof (m <sup>2</sup> )	Total Roof Area (m <sup>2</sup> )	Green/Brown Roof Provision (m <sup>2</sup> )	Green/Brown Roof Provision (%)	In Priority Zone
Eastern Goods Yard	Not recorded	79		No
Building R4	1150	150	13%	No
Building B4	1050	405	39%	No
Building B6 (2010)	1375	385	28%	No
Building J	2,136	692	32%	No
R5 North	1,601	853	53%	Yes
Building B3	1,625	470	29%	No
Building B1	4,287	1,227	29%	No
Building T1 (as amended 2014)	3,897	1,318	34%	No
R5 South	796	378	47%	Yes
Building T5	679	285	42%	Yes
Building P1	2,975	734	25%	Yes
Fish and Coal Offices	529	90	17%	No
Building B5	1,337	628	47%	No
Building R7	1,749	243	14%	Yes
Building R1	1,559	156	10%	Yes
Building R3 and Zone R Gardens	846	310	37%	Yes
Building S2	1,073	247	23%	Yes
Building R7	1,749	249	14%	Yes
Building R8	2,182	503	23%	Part
Building T2	3,640	1,079	30%	Yes
Building T3	2,731	718	26%	Yes
Zone A	9,492	3,779	40%	Yes
Building S1	275	53.1	21%	Yes
<b>Total (excl. Eastern Goods Yard)</b>	<b>48733</b>	<b>14952.1</b>	<b>31%</b>	

**24.0 Condition 48: Development to be Carried Out in Accordance with Planning Permission - Combined Heat and Power**

**24.1** The condition and the reason states:

*“All new buildings within development zones A, B, J, K, L, N, P, Q, R, S, and T shall incorporate the necessary pipework to connect to district heating/combined heat and power systems.*

*Reason: To ensure a comprehensive and sustainable development and to satisfactorily provide for an efficient energy supply in accordance with the Environmental Impact Assessment, in accordance with policies KC8 and SD9 of the London Borough of Camden Replacement Unitary Development Plan 2006.”*

**Response to Condition 48**

**24.2** As explained in the ESP which accompanies this submission, Building S1 will incorporate the necessary pipework for connection to the site-wide low-carbon district energy system.

**24.3** The proposals thus meet the requirements of Condition 48.

25.0

## **Condition 49 and 50A: Development to be Carried Out in Accordance with Planning Permission – Car Parking Standards**

25.1

The condition and its reason state:

*“Unless otherwise agreed in writing by the local planning authority, the development shall be constructed in accordance with the following:*

*a maximum car parking/storage standards:*

*i Residential: 800 spaces for 1,700 residential units at an average ratio of 0.47 per unit across all unit types and tenures;*

*ii Student Housing: 25 spaces for 650 units at an average ratio of 1.26 units;*

*iii Hotel/serviced apartments: No parking provision south of canal other than parking for people with disabilities (to be agreed in writing by the local planning authority at the Reserved Matter stage). Hotel resident parking at 1 space per 750 sqm north of canal;*

*iv Class D1/D2 uses;*

*1 space per 1,500 sqm gross floor area south of canal*

*1 space per 1,000 sqm gross floor area north of canal*

*Additional provision may be permitted if justified for health care purposes or to meet the needs of staff working anti-social hours;*

*v Class B1 uses;*

*Staff/operational parking at 1 space per 1,500 sqm gross floor area south of canal*

*Staff/operational parking at 1 space per 1,250 sqm gross floor area north of canal*

*vi Classes A1 to A5 inclusive uses; and*

*1 space per 1,500 sqm gross floor area south of canal*

*1 space per 1,000 sqm gross floor area north of canal.*

*b these standards shall apply to the overall development including parking provided along new streets within the built development; within the multistorey car park in Development Zone T and within the basements and any undercrofts of buildings;*

*c 5% of the spaces provided within these standards shall be for people with disabilities. Any additional parking required by the local planning authority for people with disabilities may be provided in addition to the above standards; and*

*d the standards exclude provision for city car club spaces (such spaces may be provided in addition to the above) and the provision of service bays to be approved as part of Reserved Matters for the development.*

*Reason: To ensure a comprehensive and sustainable development and to ensure that the development complies with the Environmental Impact Assessment, in accordance with policies KC6, KC7, T1, T7, T9, T10 and Appendix 6 (parking standards) in the London Borough of Camden Replacement Unitary Development Plan 2006."*

25.2 Condition 50A was added in February 2012 by a non-material amendment to the Outline Planning Permission (ref.2012/0669/P). It states:

*"Details of the use of any car parking spaces proposed within the development (with the exception of the multi-storey car park) shall be submitted to and approved in writing by the Local Planning Authority as part of the relevant applications for approval of Reserved Matters and such car parking spaces secured shall be used only in accordance with the details so approved".*

*Reason: To secure a comprehensive and sustainable development in accordance with policies CS5 and CS11 of the London Borough of Camden Local Development Framework Core Strategy and policies DP16, DP18, DP19 and DP26 of the London Borough of Camden Local Development Framework Development Policies."*

### **Response to Condition 49 and 50A**

25.3 Two accessible car parking spaces are proposed at ground floor, within the footprint of Building S1, as shown in the Ground Floor Plan Drawing ref. (ref. KXC-S1-001-A-16080-20-1010P). The parking spaces are accessed via the drop off and access only route between Buildings S1 and S2 and will be actively managed by the building management. No general car parking is included with the proposals. The proposed parking provision will therefore sit within the maximum figures set out above, meeting the requirements of Condition 51.

## 26.0 **Condition 51: Development to be Carried Out in Accordance with Planning Permission – Cycle Parking**

26.1 The condition and its reason state:

*“Unless otherwise agreed in writing by the local planning authority, the development shall be constructed in accordance with the cycle parking/storage standards as set out in Appendix 6 of the London Borough of Camden Replacement Unitary Development Plan 2006.*

*Reason: To ensure a comprehensive and sustainable development and in order to provide satisfactory provision for cyclists in the development in accordance with the Environmental Impact Assessment, in accordance with policies KC6, T3 and Appendix 6 (parking standards) in the London Borough of Camden Replacement Unitary Development Plan 2006.”*

### **Response to Condition 51**

- 26.2 It is proposed that Building S1 would provide a total 276 cycle spaces, located within the building at ground floor, comprising 246 Josta spaces (123 double-stacked Josta racks) and 30 Brompton spaces (in 10 three-tier lockers. A single staircase or goods lift gives access to lockers, showers and toilets on the first floor. This secure location would have a dedicated entrance on the east elevation of the building (shown on Drawing KXC-S1-001-A-16080-20-1010P).
- 26.3 Eight Sheffield stands would be located within the public realm to the south of Building S1 along Handyside Street, providing 16 spaces for visitors. A further eight stands would be located to the south of Building S2. The latter replace the 6 Sheffield stands (12 spaces) previously approved as part of the Building S2 Reserved Matters submission (ref. 2015/7094/P), representing an increase of two stands (four spaces) compared to the Building S2 approval. In total, the current submission includes a total of 308 cycle spaces, or a net increase of 296 spaces. The internal spaces would be allocated to staff working in the office/leisure and retail and the external spaces would be for visitors to Buildings S1 and S2.
- 26.4 To meet the cycle parking standards in Appendix 6 of the Camden UDP, 75 spaces would be required for the Office (B1) space with a further 2 visitor spaces (77 in total) for the maximum figure of 18,625m<sup>2</sup> of office floorspace. Further, 16 spaces would be required for staff working within the flexible B1/D2 space, plus another 16 spaces for D2 visitors. The total requirement would therefore be 109 spaces. The proposed Retail (Class A1-A4) floorspace is below the 500m<sup>2</sup> threshold within Appendix 6, and accordingly cycle provision would not be necessary to accord with the UDP standards.
- 26.5 The 16 visitor spaces required for the D2 use are accommodated within the public realm. In addition, the additional four spaces outside Building S2 could also be used by visitors as they are not required by Building S2 in order to conform to cycle parking standards.
- 26.6 The allocation of spaces within the building to different tenants would be a matter for building management. However, ample provision would be available as the proposed development provides almost three times the required provision. Further details are provided within section 1.4 of the UDR and within the Drawing Package that accompanies this submission.
- 26.7 These details meet the requirements of Condition 51.

## 27.0 **Condition 56: Archaeology – Archaeological Investigation and Mitigation**

27.1 The condition and its reason state:

*“No development shall take place in relation to each phase of the Development as notified under condition 21 until the applicant, their agent or successors in title has secured the implementation of a programme of archaeological work in accordance with a written scheme for investigation which has been submitted by the applicant and approved by the local planning authority.*

*Reason: Important archaeological remains may exist on the site. The requirements of this condition are to secure the provision of archaeological investigation and the subsequent recording of the remains prior to development and to minimise damage to them in accordance with the Environmental Impact Assessment, in accordance with policy B8 of the London Borough of Camden Replacement Unitary Development Plan 2006.”*

### **Response to Condition 56**

- 27.2 A Written Scheme of Investigation (WSI) for an archaeological watching brief, prepared by MOLA, is included in this submission. This sets out the methodologies (including Health & Safety) which will be followed during the watching brief and reporting stages. These will follow the Standards and Code of Practice laid down by the Chartered Institute for Archaeologists (CIFA 2014), London Region archaeological guidance from Historic England (GLAAS 2015) and Historic England Centre for Archaeology Guidelines where appropriate.
- 27.3 The principal works that require a watching brief at Building S1 are groundworks associated with site preparation and pile probing, and ground reduction for the new basement, along with any other excavation that may impact on archaeological remains.
- 27.4 The main potential archaeological interest on the site is the buried remains of 19th century railway tracks and ancillary railway structures associated with the former railway goods yard. The site also has a low potential for earlier archaeological remains below made ground deposits associated with the goods yard.
- 27.5 The results of the watching brief at Building S1 will be set out in a report to be issued within six weeks of completing the fieldwork. The site archive will be deposited with the London Archaeological Archive Resource Centre (LAARC) within 12 months of issuing the report.
- 27.6 The WSI, together with the above information, is submitted in discharge of Condition 56.

## 28.0 **Condition 60: Amenity – Plant Noise**

28.1 The condition and its reason state:

*“Applications for approval of Reserved Matters shall include full particulars of the noise impact of any plant or equipment included in that application which shall meet the following standards unless otherwise agreed in writing by the local planning authority:*

*a. noise levels at a point 1 metre external to sensitive facades to be at least 5dB(A) less than the existing background measurement (LA90) expressed in dB(A) when all plant/equipment are in operation;*

*b. where it is anticipated that any plant/equipment will have a noise that has a distinguishable, discrete continuous note (whine, hiss, screech, hum) and/or if there are distinct impulses (bangs, clicks, clatters, thumps) special attention to be given to reducing the noise levels from the piece of plant/equipment at any sensitive façade to at least 10dB(A) below the LA90, expressed in dB(A).*

*Reason: To ensure a sustainable development and to safeguard the amenities of the development and adjoining premises and the area generally and to ensure that the development is carried out in accordance with the Environmental Impact Assessment, in accordance with SD1, SD6, SD7 and KC8 of the London Borough of Camden Replacement Unitary Development Plan 2006.”*

### **Response to Condition 60**

28.2 A baseline noise monitoring survey by The English Cogger LLP (dated June 2007) was previously submitted to and approved by LB Camden in order to discharge the requirements of Condition 59. A further survey was subsequently carried out between December 2007 and March 2008 to include the 'Triangle site', resulting in a revised report dated April 2008. Those reports, referred to collectively as the 'Baseline Noise Survey', were undertaken to determine the pre-existing ambient noise levels across KXC site, prior to the commencement of any construction works.

28.3 In conformity with Condition 60, all noise generating building services plant/equipment will be specified and installed in Building S1 to achieve an acoustic performance at neighbouring sensitive facades (i.e. housing, schools, hospitals, offices and workshops), of at least 5 dBA below the prevailing baseline noise measurement, as defined by the above survey in relation to Condition 59.

28.4 Further, where possible, plant will be selected to avoid any tonal or impulsive characteristics described in part (b) of Condition 60. Where selected plant does have such characteristics, the noise from the plant will be designed to have a limit of 10dBA below the baseline measurement.

28.5 The nearest properties to Building S1 with sensitive facades are the forthcoming Building S3 to the North, Buildings S4 and Building S2 to the east, Building P1 to the south, Building T1 to the southwest and Buildings T2 and T3 to the west. These buildings form part of the KXC development, all of which are currently under construction. From the Baseline Noise Survey locations available, the nearest equivalent is the 'Granary - west'. This location is subject to similar road and rail noise sources as the nearest receptor properties referred to above. For the purposes of assessing Building S1, the Granary - west noise levels have been used as representative for these noise sensitive facades.

- 28.6 The lowest background noise levels measured at different times of the day during the Baseline Monitoring are shown in Table 28.1.

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Table 28.1 Lowest Measured Noise Levels During Baseline Monitoring.

Minimum background noise level (LA90, 15 min)			
Period	Day (0700-1900 hours)	Evening (1900-2300 hours)	Night (2300-0700 hours)
Weekday	50	49	44
Saturday	48	47	44
Sunday	45	48	44

- 28.7 Consequently, on the basis that building services plant/equipment associated with the development do not exhibit any of the characteristics described in Clause (b) of Condition 60, the following noise limits are deemed to be appropriate to meet the requirements of part (a) of the condition:

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Table 28.2 Design Noise Limits at Sensitive Facades for Plant and Equipment.

Noise limit for building services plant/equipment (LAeq 15 min)			
Period	Day (0700-1900 hours)	Evening (1900-2300 hours)	Night (2300-0700 hours)
Weekday	45	44	39
Saturday	43	42	39
Sunday	40	43	39

- 28.8 The preliminary plant selections and acoustic design works undertaken to date indicate that compliance with the specified criteria set out in Table 28.2 can and would be achieved. These criteria have been derived having regard to the requirements of Condition 60 and in the context of the prevailing noise climate established in relation to Condition 59. They have been applied to the appropriate assessment, assuming that all non-emergency plant is operating simultaneously.
- 28.9 With regard to emergency plant, discussions with the LB Camden Environmental Health Department has established that this may have a 5 dB relaxation from the relevant criteria for normally operating plant.
- 28.10 The design standards described above will be applied to any alternative plant selections made as a result of further design development, in order to comply with the requirements of Condition 60.

## 29.0 **Condition 63: Foundations of Buildings within Zone S**

29.1 The condition and its reason state:

*“Details of the foundations of those buildings within development zones S, T, F, J and Q to be constructed above the Thameslink and Piccadilly Line Tunnels shown on drawing KXC016 Rev 0 shall be submitted to and approved in writing by the local planning authority before any development in those zones is commenced and the foundations shall be constructed only in accordance with the details so approved.*

*Reason: To safeguard the amenities of the development and to ensure that the development is carried out in accordance with the Environmental Impact Assessment, in accordance with policies SD6, SD7 and KCB of the London Borough of Camden Replacement Unitary Development Plan 2006”.*

### **Response to Condition 63**

29.2 The Thameslink Tunnel runs below part of building S1. The applicant has been working closely with Network Rail regarding the proposals for the building and associated basement area including the proposed foundation solution and its relationship with the tunnels below.

29.3 Appendix 1 of the ERP includes foundations drawings prepared by Ramboll which include a Piling Plan (ref. KXC-S1-001-S-61033235-20-1FNB1). This shows that the piles avoid both of the Thameslink Tunnels and include sufficient allowance either side. These details satisfy the requirements of Condition 63.

## 30.0 **Conditions 64 and 65: Amenity – Volume of Spoil Removal and Lorry Movements**

30.1 The conditions and their reasons state:

30.2 Condition 64

*“Unless otherwise agreed in writing by the local planning authority the volume of spoil removed from the site shall not exceed 270,000 cubic metres within any calendar year.*

*Reason: To safeguard the amenities of the development, the adjoining premises and the area generally and to ensure that the development is carried out in accordance with the Environmental Impact Assessment, in accordance with policies SD6, SD8, SD12, KC6 and TI2 of the London Borough of Camden Replacement Unitary Development Plan 2006.”*

30.3 Condition 65

*“Unless otherwise agreed in writing by the local planning authority the number of lorry movements removing spoil from the site shall not exceed 31,500 within any calendar year.*

*Reason: To safeguard the amenities of the development, the adjoining premises and the area generally and to ensure that the development is carried out in accordance with the Environmental Impact Assessment, in accordance with policies SD6, SD8, SD12 and TI2 of the London Borough of Camden Replacement Unitary Development Plan 2006.”*

### **Response to Conditions 64 and 65**

30.4 As noted above in response to Condition 18, an ERP is submitted in support of the proposals for Building S1. This document sets out the necessary earthworks for the proposals, which would remove approximately 20,395m<sup>3</sup> of spoil. This removal would be split between 2017 and 2018 as shown in Table 30.1, and the totals for both years, of 133,508m<sup>3</sup> and 144,154m<sup>3</sup> respectively, would be comfortably within the annual threshold of 270,000m<sup>3</sup>. Accordingly, Condition 64 would be satisfied.

30.5 The ERP also provides a breakdown of lorry movements. The estimated number of lorry movements carrying all excavated material is 2,400. This is split between 2017 and 2018 as shown in Table 30.2, and the totals for both years, of 15,707 and 16,960 movements respectively, would be comfortably within the annual threshold of 31,500. Accordingly, Condition 65 would be satisfied.

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Table 30.1 Anticipated net spoil exported from KXC site (m<sup>3</sup>)

Development Area	2017	2018	2019
Building R8		113,806	
Buildings T2-T3		16,558	
Building Q2	1,343		
Development Zone A	124,650		
Granary Square			8
Building H	910		
Building S1	6605	13,790	
<b>TOTAL</b>	<b>133,508</b>	<b>144,154</b>	<b>8</b>

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Table 30.2 Anticipated net spoil exported from the KXC site (lorry movements)

Development Area	2017	2018	2019
Building R8		13,389	
Buildings T2-T3		1,948	
Building Q2	158		
Development Zone A	14,665		
Granary Square			8
Building H	107		
<i>Building S1</i>	<i>777</i>	<i>1,623</i>	
<b>TOTAL</b>	<b>15,707</b>	<b>16,960</b>	<b>8</b>

Note: 8.5m<sup>3</sup> equates to one lorry load

## 31.0 **Conditions 66 and 67: Amenity – Lorry Movements Importing Infrastructure and Construction Materials**

31.1 The conditions and their reasons state:

31.2 Condition 66

*“Unless otherwise agreed in writing by the local planning authority the number of lorry movements importing infrastructure materials to the site shall not exceed 8,300 within any calendar year.*

*Reason: To safeguard the amenities of the development, the adjoining premises and the area generally and to ensure that the development is carried out in accordance with the Environmental Impact Assessment, in accordance with policies SD6, SD8, SD12, KC6 and T12 of the London Borough of Camden Replacement Unitary Development Plan 2006.”*

31.3 Condition 67

*Unless otherwise agreed in writing by the local planning authority the number of lorry movements importing construction materials and plant to the site shall not exceed 73,000 within any calendar year.*

*Reason: To safeguard the amenities of the development, the adjoining premises and the area generally and to ensure that the development is carried out in accordance with the Environmental Impact Assessment, in accordance with policies SD6, SD8, SD12, KC6 and T12 of the London Borough of Camden Replacement Unitary Development Plan 2006.”*

### **Response to Conditions 66 and 67**

31.4 Infrastructure materials are not defined in the condition or elsewhere in the Outline Planning Permission supporting documents, but adopting a consistent approach with previous Reserved Matters submissions, they are taken to include road/paving build-up, kerbs, lighting poles, manholes/gullies, utility pipes and ducts and associated backfill and bedding provisions, landscape build-up and trees/planting and piling mats.

31.5 Infrastructure materials do not make up a materially significant proportion of the incoming materials for Building S1 and therefore the limited amount of infrastructure materials are considered jointly with construction materials in accordance with Condition 67. Taking the two elements together, the estimated number of lorries delivering infrastructure and construction materials to Building S1 is 3,140 over the build period as shown in Table 31.1. The number of lorry movements each year associated with the proposed development is shown in Figure 31.1.

Table 31.1 Projected Lorry Movements for Infrastructure and Construction materials at KXC

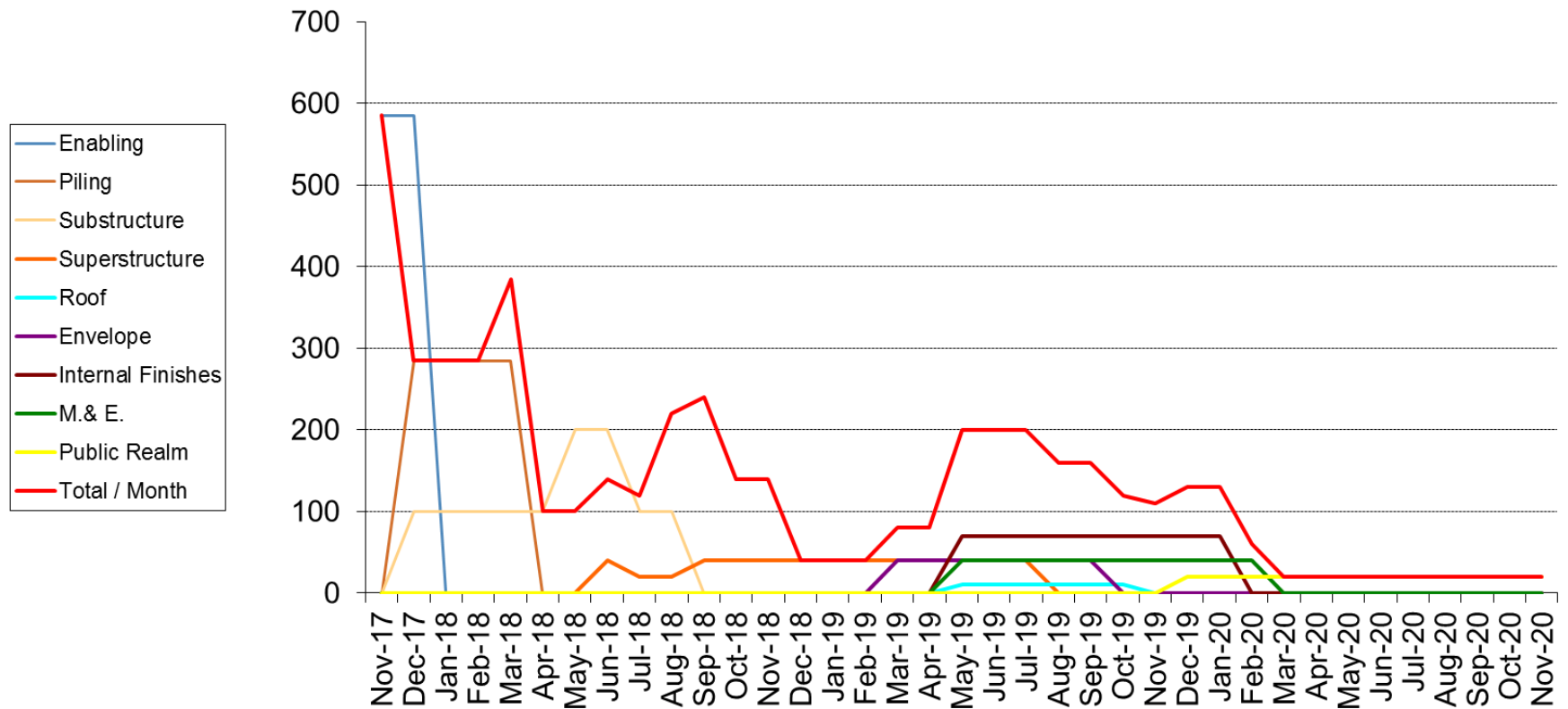
Development Area	2017	2018	2019	2020
R5 South	2,095	0	0	0
CDY	3,252	1,219	0	0
Building B6	656	0	0	0
Gas Holder Triplets	480	0	0	0
Building B5	2,729	0	0	0
Building R7	155	0	0	0
Building R1	2,574	390	0	0
Building R3 and Zone R Gardens	1,300	2,185	140	0
Buildings S2	126	0	0	0
Building R8	500	4,350	3,260	550
Buildings T2-T3	469	470	0	0
Building Q2	0	1,985	55	0
Zone A Development	17,556	30,430	28,272	26,448
Granary Square	0	0	100	0
Pavilion H	53	187	0	0
<i>Building S1</i>	<i>393</i>	<i>817</i>	<i>1,430</i>	<i>500</i>
<b>Totals</b>	<b>32,338</b>	<b>42,033</b>	<b>33,257</b>	<b>27,498</b>

31.6

The maximum number of annual delivery lorry loads over the forecast period would be 42,033 in 2018. This figure and the figures for the other years fall comfortably within the combined annual limit of 81,300 lorries (8,300 plus 73,000) for infrastructure and construction materials under Conditions 66 and 67 for the KXC site as a whole for any one calendar year. The conditions, therefore, would be met.

Figure 31.1 Monthly Deliveries Forecast

## Kings Cross - Building S1 Construction Forecast Lorry Movements per Month





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