

New complete lead dormer to be built at Loft level. Refer to **1626-D-604, 613** and to **Windows Schedule**.

Existing rafters to be removed and replaced with new rafters for ease of construction. Refer to **Structural Engineer's specification and information**.

Install new timber framed double-glazed door to new opening to new roof terrace. Make good and redecorate where needed. Refer to **Doors Schedule**.

New cast iron balustrade to match existing adjacent. Refer to **1626-D-601, 602** and to **Finishes Schedule** for details.

New condensing boiler to be relocated into undereaves storage and to be connected to new cylinder. New vertical flue to be rerouted through ceiling to existing flue to rear part of roof. Contractor to propose routes to architect prior to construction. Refer to **Scope of Works** for further details.

Supply + install new horizontal water tank. Contractor responsible for ensuring correct water pressure and heating throughout as part of CDP. Refer to **Scope of Works** for further details.

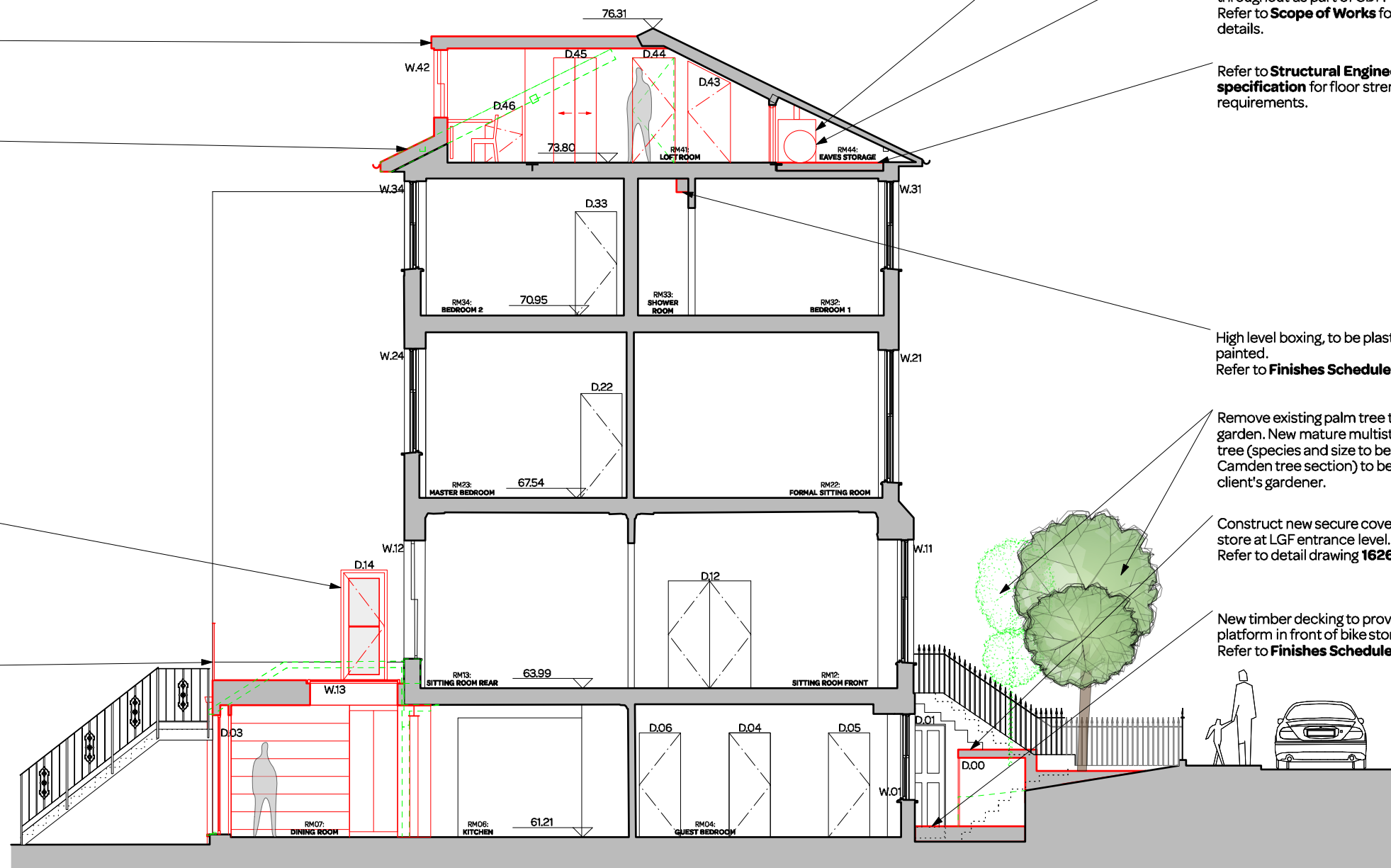
Refer to **Structural Engineer's specification** for floor strengthening requirements.

High level boxing, to be plastered + painted. Refer to **Finishes Schedule**.

Remove existing palm tree to front garden. New mature multistem specimen tree (species and size to be agreed with Camden tree section) to be planted by client's gardener.

Construct new secure covered cycle store at LGF entrance level. Refer to detail drawing **1626-L-171**.

New timber decking to provide horizontal platform in front of bike store. Refer to **Finishes Schedule**.



notes:

General notes:
 1. Do not scale drawings. Dimensions govern.
 2. All dimensions are in millimeters unless noted otherwise.
 3. All dimensions shall be verified on site before proceeding with the work.
 4. Square Feet Architects shall be notified in writing of any discrepancies.

Party Wall Act 1996:
 Note: If the project progresses on to site without the involvement of Square Feet Architects the Client must seek advice prior to commencement of the planned works as detailed on the drawings to establish whether the works fall within the scope of the Act which required adjoining property owners to be served with a statutory notice.

C.D.M. Regulations 2015:
 These drawings have been produced for the purpose of applying for Planning and Building Regulations only. If the project progresses on to site without the involvement of Square Feet Architects, the client and contractor must ensure that they fulfil the duties in respect of the construction (Design and Management) Regulations 2015. If advice is required please do not hesitate to contact Square Feet Architects.

KEY
 Note: If the project progresses on to site without the involvement of Square Feet Architects the Client must seek advice prior to commencement of the planned works as detailed on the drawings to establish whether the works fall within the scope of the Act which required adjoining property owners to be served with a statutory notice.

- existing
- new
- to be demolished

PLANNING

0 4000mm

revision:

- *DECEMBER 2016
- C18/04/17 Updates
- D 02/05/17 All shown as existing except proposed front garden, steps to LG shown as new
- E 08/05/17 Boxed-in pipe added
- F 31/05/17 Rear extension, dormer, cycle store updated
- G 08/06/17 Notes added
- H 20/06/17 TENDER DRAFT
- I 25/08/17 CONTRACT DRAFT
- J 15/09/17 CONTRACT ISSUE
- K 18/09/17 PLANNING- Revised balustrade



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drawing title:
PROPOSED SECTION AA

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project:
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date: December 2016 scale: 1:100 @ A3

drawing number: **1626-L-119** revision: **K**