

USING BRE DIGEST FOR  
PLANNING FOR DAYLIGHT AND  
SUNLIGHT

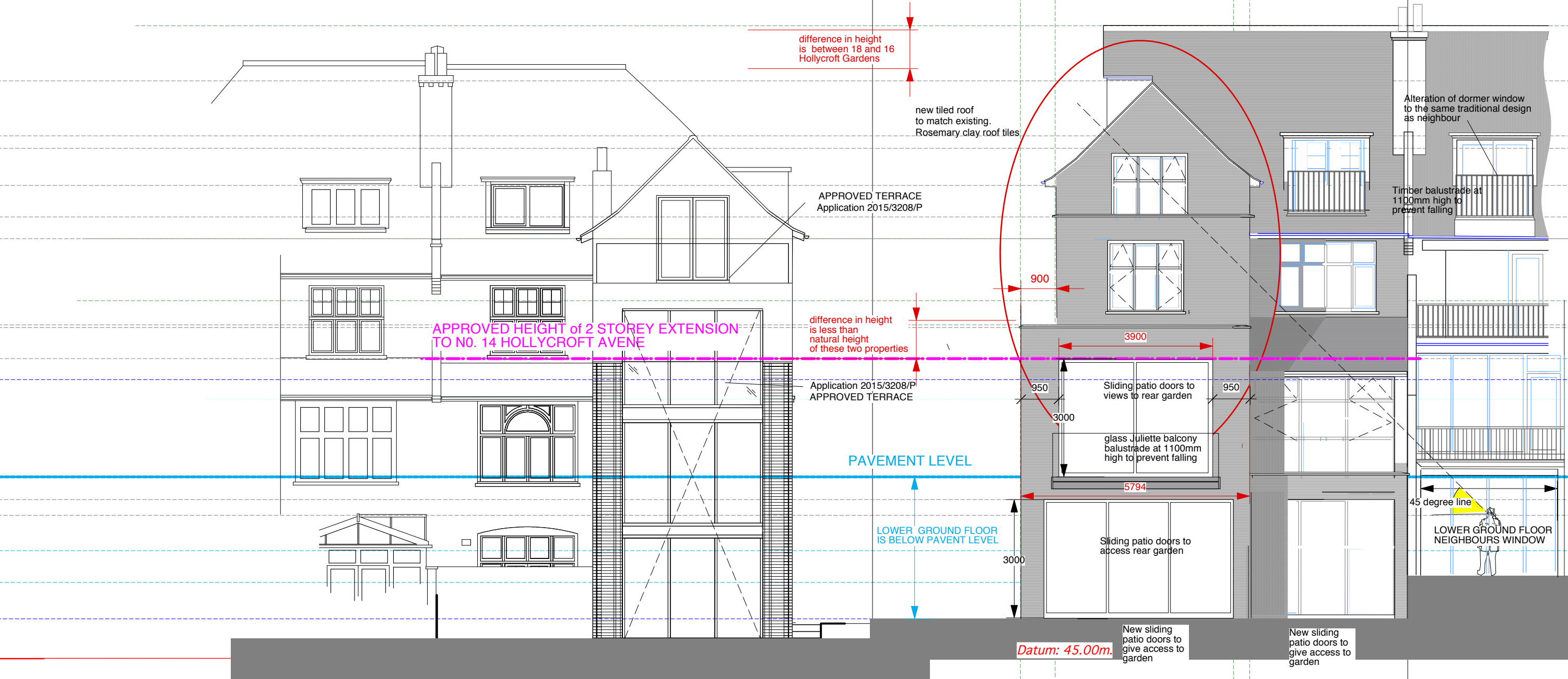
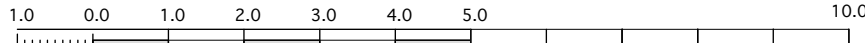
A signif cant amount of light is likely to be  
blocked if the centre of the window lies  
within the 45 degree angle on BOTH plan  
and elevation.

Here the centre line of the Lower Ground window lies outside the  
45 degree angle on elevation to both the LOWER GROUND and  
GROUND FLOOR rear extension. So the impact of the lower two  
f bors of the proposed extension is likely to be small.

THUS: In this instance the LOWER GROUND and GROUND f bor  
REAR EXTENSION is well within the limit set on the elevation view.

HOWEVER the 45 degree line does cross the FIRST FLOOR and  
SECOND FLOOR and so this must be looked on plan view to see if the  
obstruction occurs on the PLAN view

SEE NEW DRAWING no18 FOR A PLAN VIEW ASSESSMENT OF  
FIRST AND SECOND FLOOR



No 14 Hollycroft Avenue  
Planning Application - 2015/3208/P  
Granted 17-12-2015

A total of 28m2 of contemporary  
large glazed opening to the rear  
extension including a double height  
fully glazed atrium has been allowed  
at no 14 Hollycroft Ave

PROPOSED REAR ELEVATION  
OF no 14 HOLLYCROFT AVENUE

A total of 25m2 of  
contemporary large  
glazed openings is  
proposed to the rear  
extension. This being  
less than at 14  
Hollycroft Avenue

No 16 Hollycroft Avenue

PROPOSED REAR ELEVATION  
OF no. 16 HOLLYCROFT AVENUE

PART REAR ELEVATION  
OF no.18 HOLLYCROFT AVENUE

DRAWING NOT TO BE UESED OTHER THAN THE PURPOSE  
FOR WHICH IT WAS PREPARED.  
IT S SUPPLIED WITHOUT LIABILITY FOR ERRORS OR  
OMISSIONS.  
DO NOT SCALE FROM THE DRAWING. ALL DIMENSIONS  
ARE TO BE CHECKED ON SITE

This drawing is to be read in conjunction with all other drawings.  
NOTES ON THIS DRAWING WILL APPLY TO ALL OTHER  
DRAWINGS WHERE A SIMILAR POSITION EXISTS.

PLEASE NOTE

- 1). ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE FABRICATION
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- 9). ANY DISCREANCY BETWEEN THIS DRAWING AND ON-SITE DIMENSION SHALL BE REFERRED TO THE ARCHITECT FOR CLARIFICATION AND INSTRUCTION BEFORE WORKS ON THAT PART SHALL COMMENCE.

REVISIONS

NO	DATE	DESCRIPTION	BY
A	10.10.16	Projection of extension reduced and extension angled to take into account the widening of the site to the rear	GJP
B	24.03.17	Second f bor extension removed. Providing option for terrace at Second and First f bor level	GJP
C	27.03.17	Proposed rear terraces removed	GJP
D	28.03.17	45 degree daylight line added to neighbours house	GJP
E	31.03.17	BRE Digest notes added	GJP
F	18.04.17	Splay to rear extension has been removed. Extent of rear glazing reduced	GJP
G	19.04.17	Rear extension : Ground f bor sliding door reduced to two doors wide only	GJP
H	12.05.17	Rear extension has been increased from 700mm to 900mm to suit brick setting out	GJP

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LTD

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PROJECT  
**16 HOLLYCROFT AVENUE  
HAMPSTEAD  
LONDON NW3 7QL**

DRAWING TITLE  
**PROPOSED REAR ELEVATION  
showing no. 14 Hollycroft Ave.**

SCALE **1:100 @ A2** DATE **Mar 2017**

DRAWING NUMBER  
**06.951.12 Rev H**