

Savills UK
33 Margaret Street
London
W1G 0JD

Application Ref: **2017/2394/P**
Please ask for: **Nora-Andreea Constantinescu**
Telephone: 020 7974 **5758**

15 September 2017

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Refused

Address:
6 Coptic Street
London
WC1A 1NH

Proposal:

Change of use of basement and ground floor levels from office (Class B1a) to restaurant (Class A3) and associated installation of extract system to the rear, installation of glazed entrance and enlargement of rooflights to existing ground floor rear extension, alterations to the rear window at third floor level, and installation of two rooflights to front elevation.

Drawing Nos: E001; E009; E010; E011; E012; E013; E014; E030; E031; E040; E050; E051; 002; 009 Rev C; 010 Rev C; 011 Rev C; 012 Rev C; 013 Rev C; 015 Rev D; 030 Rev D; 031 Rev D; 040 Rev D; 041 Rev B; 051 Rev D; Design and Access Statement; Planning Statement; Acoustic Assessment External plan noise dated 11/04/2017; Acoustic Design note dated 07/04/2017.

The Council has considered your application and decided to **refuse** planning permission for the following reason(s):

Reason(s) for Refusal

- 1 The proposed kitchen extractor flue, by reason of its location, design and bulk would result in harm to the character and appearance of the host building, the terrace row



of which it forms part and of this part of Bloomsbury Conservation Area contrary to policies D1 (Design) and D2 (Heritage) of Camden Local Plan 2017.

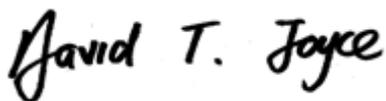
- 2 The proposed change of use, in the absence of an appropriate marketing exercise, fails to demonstrate that the premises are no longer suitable for continued business use. The proposal would therefore result in the loss of employment floorspace contrary to E1 (Economic Development), E2 (Employment premises and sites) of Camden Local Plan 2017.
- 3 In the absence of adequate mitigation measures and appropriate design the kitchen extract fails to maintain an acceptable quality of amenity for neighbouring occupiers in relation to noise, odours and fumes contrary to policies A1 (Managing the impact of development), A4 (Noise and vibration) of Camden Local Plan 2017.
- 4 The proposed rooflights, by reason of their location would result in harm to the appearance and character of host property front roof slope and the adjacent pair at no 5 Coptic Street, streetscene and of this part of the Bloomsbury Conservation area, contrary to policies D1 (Design) and D2 (Heritage) of Camden Local Plan 2017.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully



David Joyce
Director of Regeneration and Planning