

18 St Mark's Crescent, London NW1 7TS

DESIGN & ACCESS STATEMENT

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INTRODUCTION

This Design and Access Statement has been prepared to support the application for proposed alterations to the property at:

18 St Mark's Crescent, London NW1 7TS

This application seeks permission to make alterations to the existing rear pitched slate roof and dormer window and to replace the existing dormer window extension with 2 new dormer window extensions.

Previous application: 2017/3131/P, approved on 22nd August 2017.

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Previous page: Photograph looking along St Mark's Crescent.

This page: Ordnance Survey Map.

Next page: Google map image centred on 18 St Mark's Crescent (www.google.co.uk/maps)







This page: Photographs of the property: Top Left - View of existing tight winding stair to current loft level. Bottom Left - View up existing (non-complaint) stair to 3rd Floor loft level. Right - View from top of stair to back of existing loft room.





This page: Photograph of the rear elevation viewed from the garden.

SITE AND EXISTING BUILDING

18 ST MARK'S CRESCENT

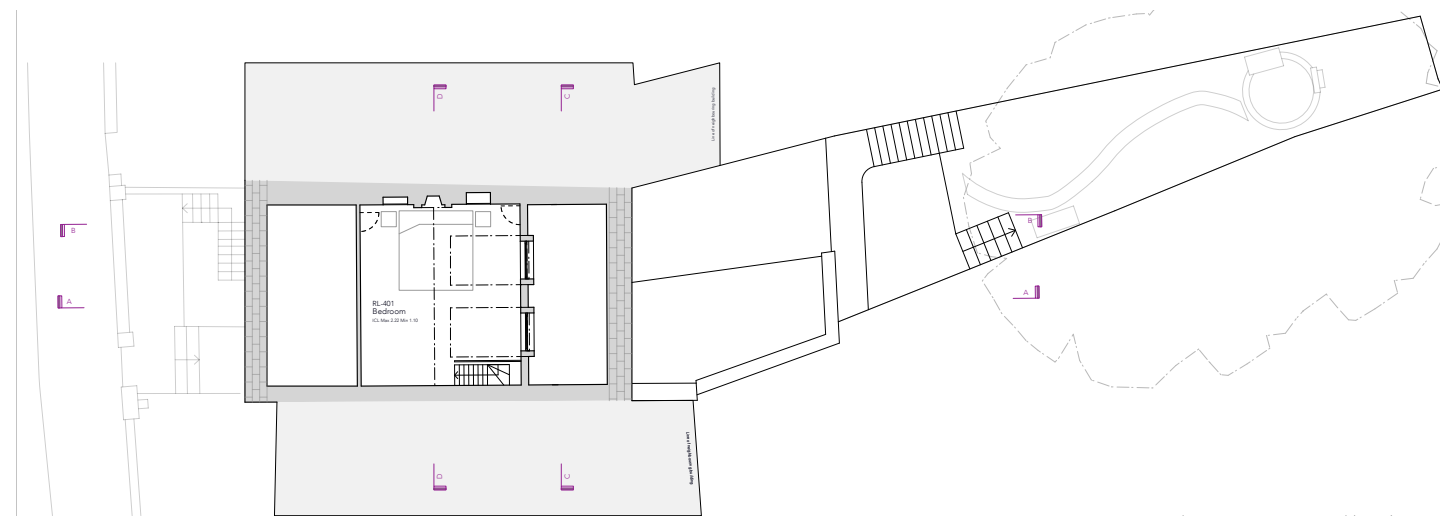
The property is situated on the North East side of Regent's Park, within Primrose Hill. Local shops and restaurants, the London Zoo, the canals and Regent's Park are all within close proximity to the property.

The building is a 5 storey late 19th Century, mid-terraced single family dwelling that faces onto St Mark's Crescent and is located within the Primrose Hill Conservation Area.

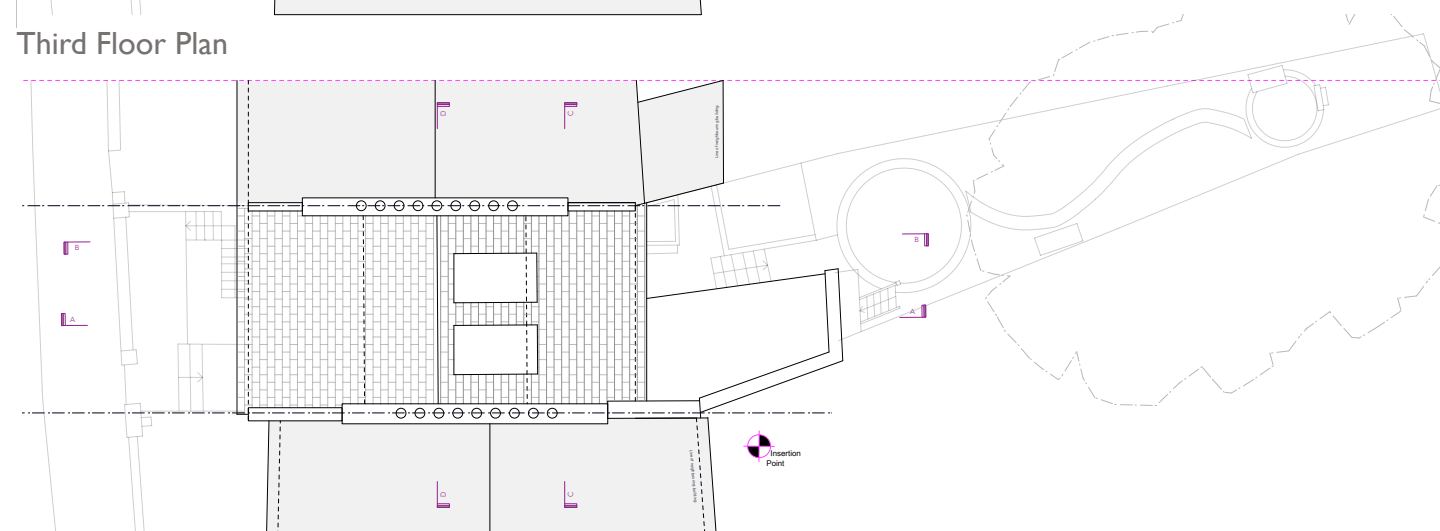
The front elevation comprises channelled stucco render to the lower and upper ground floor levels. The front entrance door is accessed from 4 steps from street level and has a fan light above. The 1st and 2nd floor levels are constructed in London Stock brickwork and each floor has 2 timber framed sash windows painted white. The roof is single pitched with slate tiles with a large chimney stack bounding either side.

The rear elevation comprises a lower ground floor level finished in white render with a timber framed sash window facing onto the lower Terrace. The 2 storey closet wing has a white rendered finish to the lower ground with french style doors opening onto the Terrace and 2 timber framed sash windows. At the upper floor level a timber framed glazed door leads onto a timber framed balcony with steps leading down to the Garden level. Large timber framed sash windows are located at staggered heights on the first and 2nd floors within the London Stock brick facade.

An existing dormer window is centred on the rear section of the pitched slate roof.



Third Floor Plan



Roof Plan



Proposed Section A-A

DESIGN PROPOSALS

The design proposal consists of the following:

Third Floor

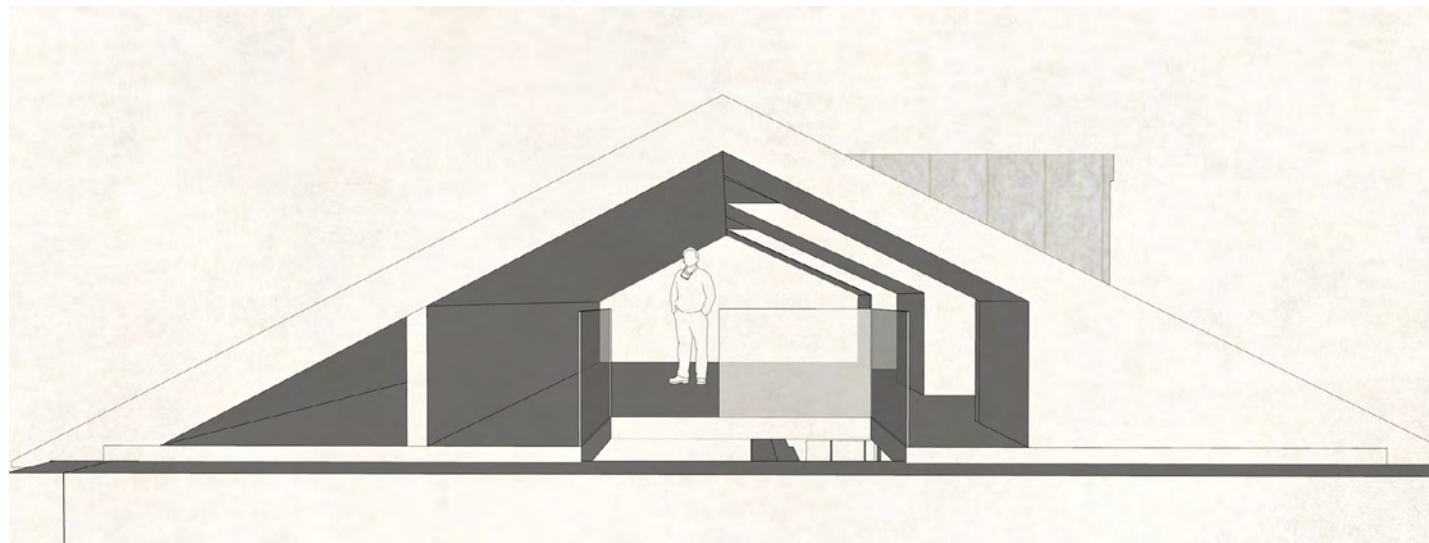
- Reconfigure the existing dormer window extension with 2 new dormer window extensions to increase natural daylight and ventilation, provide better useable head height and improve the insulation within the roof. The dormers will have lead clad walls and roof, to match the prevailing style. The existing slate roof tiles are to be re-used and the roof pitch will continue in between the 2 new dormer windows to retain a significant amount of the existing roof scape.

The reconfigured dormer extension design reflects a simplified version, with no balcony, of the recently approved proposal under application 2014/3837/P (shown below).



Photograph viewing towards
16 Regent's Park Road





3D Cut away sectional view into proposed 3rd Floor Bedroom.

USE AND LAYOUT

- There is no change of use from a single family dwelling.
- The Proposed Third Floor layout will remain, in principal, as existing with an increased floor to ceiling height and a new improved staircase (under the previous application 2017/3131) which is Building Regulations compliant, and provide better protection from fire spread. The room currently has limited access via a very tight winding stair and has become a 'storage room'. The room is required to function as an additional bedroom to meet the growing families needs.

SCALE AND APPEARANCE

- The principal alterations to the rear pitched slate roof of the property is to replace the existing single centrally positioned dormer window extension with 2 new dormer window extensions. Both windows will be timber framed sashes with matching dimensions to the recently approved extension on the Neighbouring property on Regent's Park Road.

LANDSCAPING

- There are no proposed works to the Front Terrace or rear garden under this application.



Existing Rear Elevation

Proposed Rear Elevation





ACCESS STATEMENT

- The entrance to the property is gained via a stone paved Front Pathway area with 3 steps up from the pavement with 1 step up to the Front Entrance. The Lower Ground Floor can be accessed via the existing wrought iron staircase in the front lightwell. The Garden is accessed via the Lower and Upper Ground Floor Levels.
- No modifications are planned to the existing access to the house from street level.

CONCLUSION

- The family have lived in the property for 2 years and whilst very keen to retain the traditional character of the property, including all existing features, acknowledge that the third floor and roof require refurbishment. Firstly, to make improvement so that the room can be used as a bedroom, and secondly, to improve insulation and ventilation into the room.
- All improvements and modifications are sensitive to the nature of the conservation area and seek to minimise their impact on the site.
- The scheme is based on minimal dormer extension to provide the essential needs of a modern family.

This page: 3D Rendered image viewed from garden towards the rear.

