

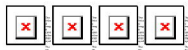
[REDACTED]

From: Marfleet, Patrick
Sent: 13 September 2017 16:34
To: Planning
Subject: FW: Planning application for 4 Aldred Road (2017/4526/P).

Please upload

Patrick Marfleet
Planning Officer

Telephone: 020 7974 1222



From: Sean Macdonald [mailto:[REDACTED]]
Sent: 12 September 2017 20:40
To: Marfleet, Patrick <Patrick.Marfleet@camden.gov.uk>
Cc: Planning <Planning@camden.gov.uk>
Subject: Planning application for 4 Aldred Road (2017/4526/P).

Dear Patrick

Thank you very much for your time earlier today. As discussed we are writing regarding the planning application for 4 Aldred Road (2017/4526/P).

Whilst we at number 3 welcome the improvement to houses in the area and support our neighbours desire to expand their property, we have some objections. These are primarily to ensure that the rear extension replicates the existing house layouts and building lines in Aldred Road including those at the back of number 2 and 3. Specifically:

1. We believe that extensions should match the other houses in the road in particular the type, style and colour of the bricks, the requirement for a light well by the kitchen extension and the distance into the garden. On this:
 - 1.1. The new kitchen extension should not extend further into the garden than the kitchen extensions at number 2 and 3 as they have already established building lines to the rear of those properties. Consequently the metal bay conservatory/window (shown in the lower ground floor plan projecting 850mm beyond the back of the house) should be omitted. The proposed materials of this box are also incongruous with the overall character of the houses.
 - 1.2. The back bedrooms on both the entrance level floor and the first floor should not extend further than the existing levels at number 3, again keeping with the established building line at number 3.
 - 1.3. The light well beside the kitchen appears to be very small and this should be the same size as the one that was approved for our kitchen extension
 - 1.4. The extension appears to be particularly high with the new kitchen higher than the established height of other properties. We would want this to be limited to no more than 3 meters
2. We are concerned about the impact of the proposed development will have on daylight within our sitting living room at ground level. We would request a Daylight Impact Assessment be carried out to ensure any reduction is in-line with BRE guidelines. This is particularly important given the height of each of the three new proposed stories at the back
3. We are pleased to note that all the windows overlooking number 3 will have obscured glazing but we request that skylights at the second floor level should be positioned so that there is no light pollution
4. There should be no balconies/roof terraces created where there were none previously.
5. We would expect the building works to be carried out during normal permitted hours and that a party wall agreement be put in place.

Thank you for your help. We are happy to discuss further if you need any points clarified.

Kind regards

Sean Macdonald
3 Aldred Road
NW6 1AN

