

FLOWER MICHELIN

FROGNAL COURT, WARWICK HOUSE AND
MIDLAND COURT
158 FINCHLEY ROAD
LONDON NW3 5HL

PROPOSED PLANS SECTIONS AND ELEVATIONS

SEPTEMBER 2017



FLOWER MICHELIN
UNIT 8
27 ACKMAR ROAD
LONDON SW6 4UR

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EXISTING INFORMATION PROVIDED BY CLIENT
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- NOTES:
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 - 02 VEHICULAR ACCESS TO/FROM FINCHLEY ROAD
 - 03 HOLIDAY INN
 - 04 FLATS 14-29 (BLOCKS A AND B) FROGNAL COURT; SEE SEPARATE PLANNING APPLICATION BY OTHERS (CAMDEN REF: 2014/0342/P)
 - 05 FLATS 30-45 (BLOCKS A AND B) FROGNAL COURT; SEE SEPARATE PLANNING APPLICATION BY OTHERS (CAMDEN REF: 2014/0342/P)
 - 06 LAND BETWEEN FROGNAL COURT AND NETHERHALL GARDENS
 - 07 PRIVATE PARKING
 - 08 EXTENDING STAIRWELL TO EXISTING FLATS WITH EXTENSION TO STAIRWELL TO PROPOSED FLATS
 - 09 EXISTING WALKWAYS TO EXISTING FLATS BELOW, PLUS ADDITIONAL WALKWAY TO PROPOSED FLATS
 - 10 PARKING BAY DESIGNATED FOR DISABLED PEOPLE
 - 11 EXISTING STAIRWELL TO CONNECT WARWICK COURT TO CAR PARK AND LOWER GROUND
 - 12 PROPOSED BICYCLE PARKING
 - 13 PROPOSED BIN STORE

----- DENOTES LINE OF EXISTING

REVISION F 01.09.17	85 DEGREE CONTEMPORARY MANSARD AMENDED TO 70 DEGREE TRADITIONAL MANSARD TO FRONT ELEVATION ONLY. WINDOWS AMENDED TO ROOFLIGHT TO SUIT TRADITIONAL MANSARD
REVISION E 10.07.17	GENERAL ARRANGEMENT PLANS AMENDED TO SUIT INTRODUCTION OF VERTICAL MANSARD, AND ENSURE ALL BUILDING REGULATIONS AND MINIMUM SPACE STANDARDS ARE ADHERED TO
REVISION D 12.06.17	VERTICAL MANSARD REVISED TO INCORPORATE SLOPED ROOF TO FRONT AND SIDE ELEVATION TO APPEAR MORE LIKE A TRADITIONAL MANSARD. WINDOW SIZES REDUCED. SMALLER WINDOWS TO BE SET INTO THE SLOPED ROOF. DORMERS PROPOSED FOR LARGER WINDOWS.
REVISION C 10.05.17	WALKWAYS REVISED TO FLAT 5. OVERHEAD PORCHES REMOVED
REVISION B 03.05.17	LIFT REMOVED
REVISION A 02.02.2017	CYCLE PARKING ENLARGED TO PROVIDE SHELTERED CYCLE PARKING. BIN STORE EXTENDED TO PROVIDE ADDITIONAL WASTE STORAGE. ADDITIONAL TREES, GREEN ROOF ADDED TO WARWICK HOUSE.

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PROJECT	FROGNAL COURT, WARWICK HOUSE AND MIDLAND COURT 188 FINCHLEY ROAD, LONDON NW3 5RL		
TITLE	PROPOSED SITE PLAN		
NUMBER	122_44_01	REVISION	F
STATUS	PLANNING	SCALE	1:400@A3

0 1m 2m 5m

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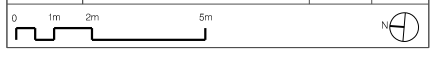
- 01 MANSARD WALKWAY FOR ACCESS TO ROOF
- 02 MOUNTED PLANT
- 03 EXISTING CHIMNEYS EXTENDED THROUGH NEW ROOF
- 04 EXISTING ROOF PLANT AND SERVICES RELOCATED TO NEW ROOF
- 05 EXISTING LIGHTWELL
- 06 EXISTING STAIRCASE, WITH EXTENSION TO NEW FLATS
- 07 ROOF OF EXISTING OUTHOUSE
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- 09 INDICATIVE LOCATIONS FOR PV PANELS / SOLAR WATER HEATERS / HEAT RECOVERY UNIT / AIR SOURCE HEAT PUMP, FINAL SIZE, SPECIFICATION, AND LOCATION TBC BY SPECIALIST
- 10 INDICATIVE GREEN ROOF OVER WARWICK HOUSE, BOUNDARY TBC BY SPECIALIST
- 11 STAIRCASE WITHIN LIGHT WELL EXTENDED TO FOURTH FLOOR
- 12 EXISTING ROOF TANKS
- 13 EXISTING STAIRCASE FROM WARWICK HOUSE TO CAR PARK AND LOWER GROUND

----- DENOTES LINE OF EXISTING

E	01.09.17	85 DEGREE CONTEMPORARY MANSARD AMENDED TO 70 DEGREE TRADITIONAL MANSARD TO FRONT ELEVATION ONLY. WINDOWS AMENDED TO ROOFLIGHT TO SUIT TRADITIONAL MANSARD
D	10.07.17	VERTICAL MANSARD REVISED TO INCORPORATE SLOPED ROOF TO FRONT AND SIDE ELEVATION TO APPEAR MORE LIKE A TRADITIONAL MANSARD. WINDOW SIZES REDUCED, SMALLER WINDOWS TO BE SET INTO THE SLOPED ROOF. DORMERS PROPOSED FOR LARGER WINDOWS. GENERAL ARRANGEMENT PLANS AMENDED TO SUIT INTRODUCTION OF VERTICAL MANSARD AND ENSURE ALL BUILDING REGULATIONS AND MINIMUM SPACE STANDARDS ARE ADHERED TO
C	10.05.17	WALKWAY REVISED MANSARD WALKWAY ADJUSTED, OVERHEAD PORCHES REMOVED
B	03.05.17	LIFT REMOVED
A	15.22.17	GREEN ROOF ADDED

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PROJECT	FROGNAL COURT, WARWICK HOUSE AND MIDLAND COURT 150 FINCHLEY ROAD, LONDON NW9 9HL		
TITLE	PROPOSED ROOF PLAN		
NUMBER	122_44_15	REVISION	E
STATUS	PLANNING	SCALE	1:200@A3



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- 01 STAIRCASE FROM LIGHTVOID TO CAR PARK AND LOWER GROUND
- 02 EXTENSION OF EXISTING EXTERNAL STAIRWELLS TO PROPOSED FLATS
- 03 NEW WALKWAY AT FOURTH FLOOR LEVEL
- 04 EXISTING LIGHTWELL MAINTAINED
- 05 RECEPTION
- 06 KITCHEN
- 07 TERRACE
- 08 FAMILY BATHROOM
- 09 WC
- 10 ENSUITE
- 11 BEDROOM 01
- 12 BEDROOM 02
- 13 BEDROOM 03

G	07.09.17	85 DEGREE CONTEMPORARY MANSARD AMENDED TO 70 DEGREE TRADITIONAL MANSARD TO FRONT ELEVATION ONLY. WINDOWS AMENDED TO ROOFLIGHT TO SUIT TRADITIONAL MANSARD
F	10.07.17	PREVIOUS DRAFT UPDATED TO INCORPORATE ALL CHANGES
E	10.07.17	GENERAL ARRANGEMENT PLANS AMENDED TO SUIT INTRODUCTION OF VERTICAL MANSARD, AND ENSURE ALL BUILDING REGULATIONS AND MINIMUM SPACE STANDARDS ARE ADHERED TO
D	12.06.17	VERTICAL MANSARD REVISED TO INCORPORATE SLOPED ROOF TO FRONT AND SIDE ELEVATION TO APPEAR MORE LIKE A TRADITIONAL MANSARD. WINDOW SIZES REDUCED. SMALLER WINDOWS TO BE SET INTO THE SLOPED ROOF DORMERS. PROPOSED FOR LARGER WINDOWS.
C	10.05.17	ENTRANCE AND LAYOUT OF FLAT 5 REVISED. WALKWAY REVISED
B	03.05.17	FLAT 5 AMENDED TO 2 BED /3 PERSON LIFT REMOVED
A	15.22.17	SIA'S REVISED TO REFLECT NATIONALLY DESCRIBED SPACE STANDARDS

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PROJECT	FROGNAL COURT, WARWICK HOUSE AND MIDLAND COURT 158 FINCHLEY ROAD, LONDON NW9 9HL		
TITLE	PROPOSED FOURTH FLOOR PLAN		
NUMBER	122_44_14	REVISION	G
STATUS	PLANNING	SCALE	1:200@A3



NOTES

DO NOT SCALE FROM THIS DRAWING

VERIFY ALL DIMENSIONS ON SITE

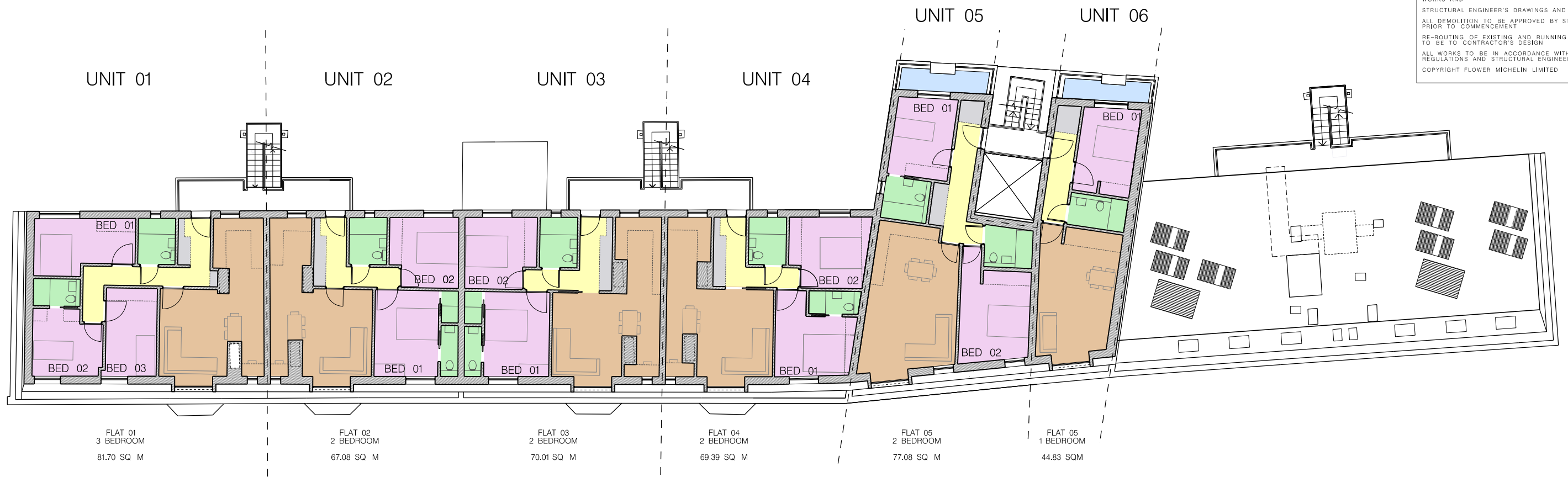
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UNIT 01
3 BED / 4 PERSON
FLAT 01 (SQ. M)

OUTSIDE SPACE	-
CIRCULATION	9.73
LIVING / KITCHEN	27.83
BEDROOM 01	11.83
BEDROOM 02	9.98
BEDROOM 03	10.34
FAMILY BATHROOM	3.94
ENSUITE 01	2.92
STORAGE / UTILITY	3.21
TOTAL GIA	81.70

UNIT 03
2 BED / 3 PERSON
FLAT 03 (SQ. M)

OUTSIDE SPACE	-
CIRCULATION	6.31
LIVING / KITCHEN	27.53
BEDROOM 01	12.52
BEDROOM 02	11.14
FAMILY BATHROOM	4.33
ENSUITE 01	3.24
STORAGE / UTILITY	2.72
TOTAL GIA	70.01

UNIT 05
2 BED / 3 PERSON
FLAT 05 (SQ. M)

OUTSIDE SPACE	4.20
CIRCULATION	7.06
LIVING / KITCHEN	29.75
BEDROOM 01	10.99
BEDROOM 02	15.36
FAMILY BATHROOM	4.39
ENSUITE 01	4.40
STORAGE / UTILITY	3.86
TOTAL GIA	77.08

UNIT 07
2 BED / 3 PERSON
FLAT 07 (SQ. M)

OUTSIDE SPACE	-
CIRCULATION	5.57
LIVING / KITCHEN	24.13
BEDROOM 01	16.96
BEDROOM 02	10.90
FAMILY BATHROOM	5.05
ENSUITE 01	4.51
STORAGE / UTILITY	2.94
TOTAL GIA	70.06

UNIT 02
2 BED / 3 PERSON
FLAT 02 (SQ. M)

OUTSIDE SPACE	-
CIRCULATION	6.03
LIVING / KITCHEN	26.12
BEDROOM 01	12.56
BEDROOM 02	10.55
FAMILY BATHROOM	4.04
ENSUITE 01	3.26
STORAGE / UTILITY	2.60
TOTAL GIA	67.08

UNIT 04
2 BED / 3 PERSON
FLAT 04 (SQ. M)

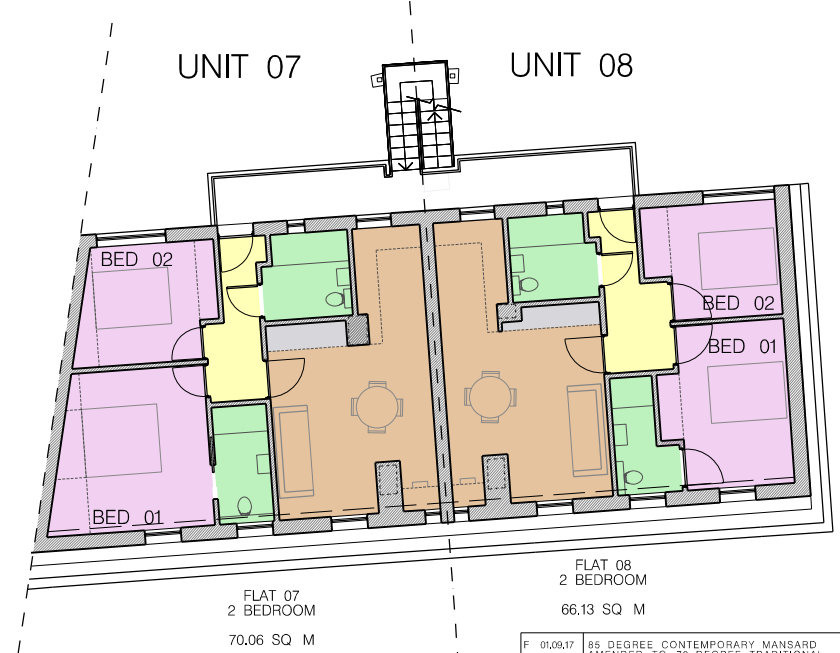
OUTSIDE SPACE	-
CIRCULATION	5.79
LIVING / KITCHEN	27.46
BEDROOM 01	13.07
BEDROOM 02	12.46
FAMILY BATHROOM	4.10
ENSUITE 01	2.68
STORAGE / UTILITY	2.38
TOTAL GIA	69.39

UNIT 06
1 BED / 1 PERSON
FLAT 06 (SQ. M)

OUTSIDE SPACE	3.80
CIRCULATION	4.82
LIVING / KITCHEN	22.55
BEDROOM 01	11.49
FAMILY BATHROOM	4.22
STORAGE / UTILITY	1.82
TOTAL GIA	44.83

UNIT 08
2 BED / 3 PERSON
FLAT 08 (SQ. M)

OUTSIDE SPACE	-
CIRCULATION	6.25
LIVING / KITCHEN	23.69
BEDROOM 01	13.59
BEDROOM 02	9.79
FAMILY BATHROOM	4.92
ENSUITE 01	4.24
STORAGE / UTILITY	1.96
TOTAL GIA	66.13



F 01.09.17	85 DEGREE CONTEMPORARY MANSARD AMENDED TO 75 DEGREE TRADITIONAL MANSARD TO FRONT ELEVATION ONLY. WINDOWS AMENDED TO ROOFLIGHTS TO SUIT TRADITIONAL MANSARD
E 10.07.17	GENERAL ARRANGEMENT PLANS AMENDED TO SUIT INTRODUCTION OF VERTICAL MANSARD, AND ENSURE ALL BUILDING REGULATIONS AND MINIMUM SPACE STANDARDS ARE ADHERED TO
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C 10.05.17	ENTRANCE AND LAYOUT OF FLAT 5 REVISED, WALKWAY REVISED
B 03.05.17	FLAT 5 AMENDED TO 2 BED / 3 PERSON
A 15.02.17	GIA's REVISED TO REFLECT NATIONALLY DESCRIBED SPACE STANDARDS

PROJECT	FROGNAL COURT, WARWICK HOUSE AND MIDLAND COURT 156 FINCHLEY ROAD, LONDON NW3 9LH		
TITLE	PROPOSED FLOOR PLANS - GA's		
NUMBER	122_44_14_01	REVISION	F
STATUS	PLANNING	SCALE	1:200@A3

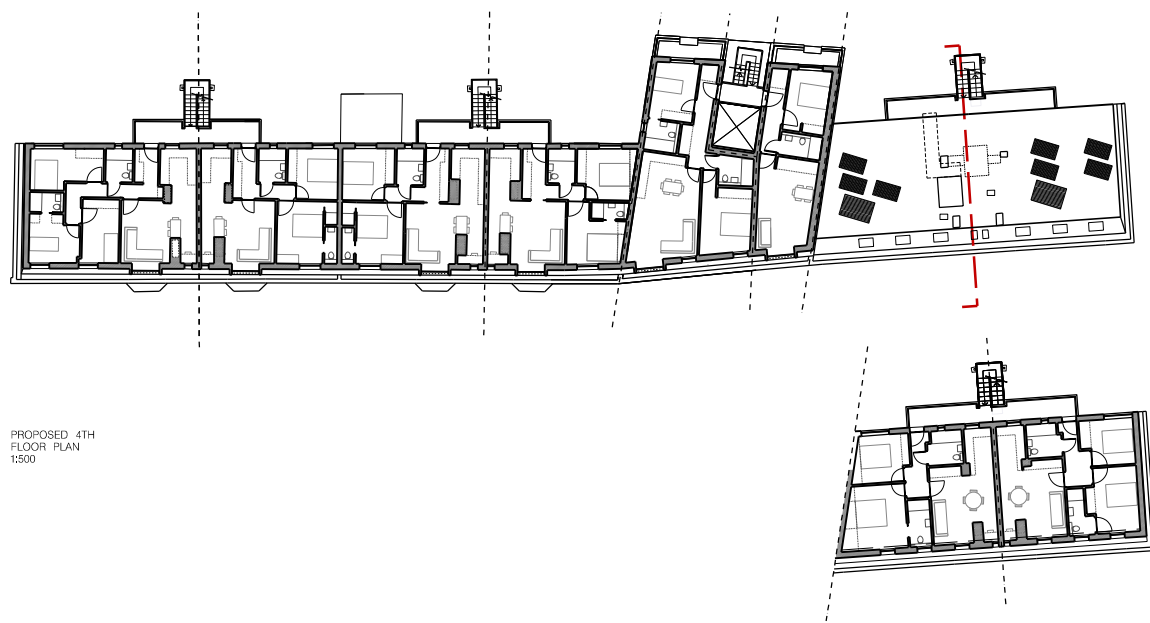
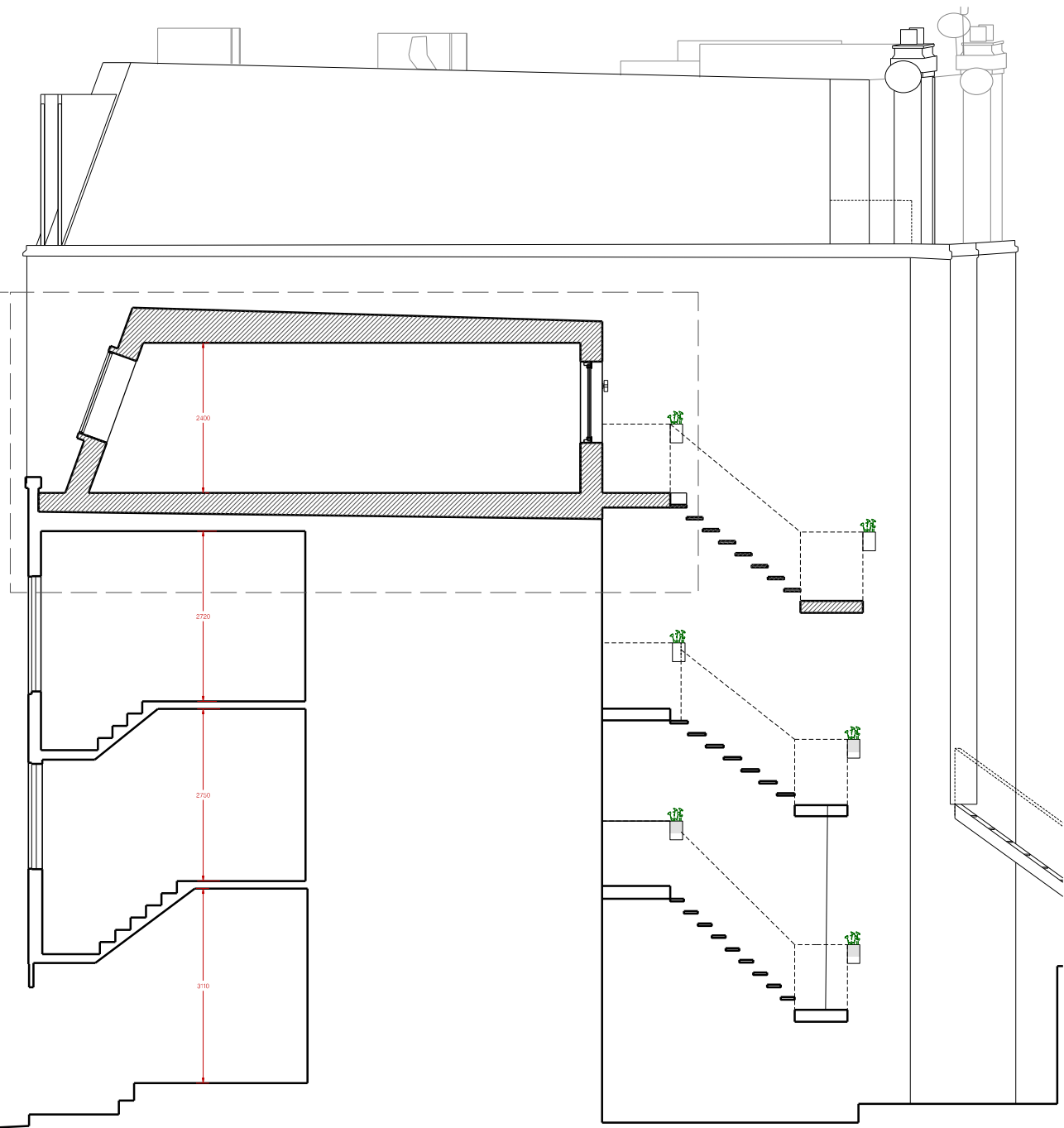






PROPOSED ELEVATION
1:100



PROPOSED SECTION
1:100



PROPOSED 4TH
FLOOR PLAN
1:500

C	01.09.17	85 DEGREE CONTEMPORARY MANSARD AMENDED TO 70 DEGREE TRADITIONAL MANSARD TO FRONT ELEVATION ONLY. WINDOWS AMENDED TO ROOFLIGHT TO SUIT TRADITIONAL MANSARD
B	10.07.17	VERTICAL MANSARD REVISED TO INCORPORATE SLOPED ROOF TO FRONT AND SIDE ELEVATION TO APPEAR MORE LIKE A TRADITIONAL MANSARD. WINDOW SIZES REDUCED. SMALLER WINDOWS TO BE SET INTO THE SLOPED ROOF. DORMERS PROPOSED FOR LARGER WINDOWS. GENERAL ARRANGEMENT PLANS AMENDED TO SUIT INTRODUCTION OF VERTICAL MANSARD, AND ENSURE ALL BUILDING REGULATIONS AND MINIMUM SPACE STANDARDS ARE ADHERED TO. FACADE MATERIAL CHANGED FROM FIBRE CEMENT BOARD TO ROLLED LEAD SHEET
A	12.06.17	FLOOR PLAN DIAGRAM REVISED TO SUIT CURRENT DRAWINGS
FLOWER MICHELIN RIBA  CHARTERED PRACTICE UNIT 8, 27 ACKMAR ROAD, LONDON SW6 4UR T: 020 7751 0444 E: studio@flowermichelin.com		
PROJECT	FROGNAL COURT WARMICK HOUSE AND MIDLAND COURT, 158 FINCHLEY ROAD LONDON NW3 5HL	
TITLE	PROPOSED SECTION 20	
NUMBER	122_44_20	REVISION C
STATUS	PLANNING	SCALE 1:100@A3
		

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FINAL HEIGHT DETERMINED BY GREEN ROOF BUILD-UP AND MINIMUM ROOF FALLS

NEW GREEN FLAT ROOF - BUILD UP TBC BY GREEN ROOF SPECIALIST

NEW WALLS FIXED TO NEW STRUCTURE BELOW, MIN. 300mm - ROLLED LEAD SHEET CLADDING, INSULATION, CROSS-LAMINATED TIMBER STRUCTURE, PLASTERBOARD FINISH

EXISTING VOID RETAINED

EXISTING STAIRCASE RETAINED AND EXTENDED TO PROPOSED 4TH FLOOR WALKWAY, LEADING TO PROPOSED FLATS

PROPOSED THIRD FLOOR LEVEL

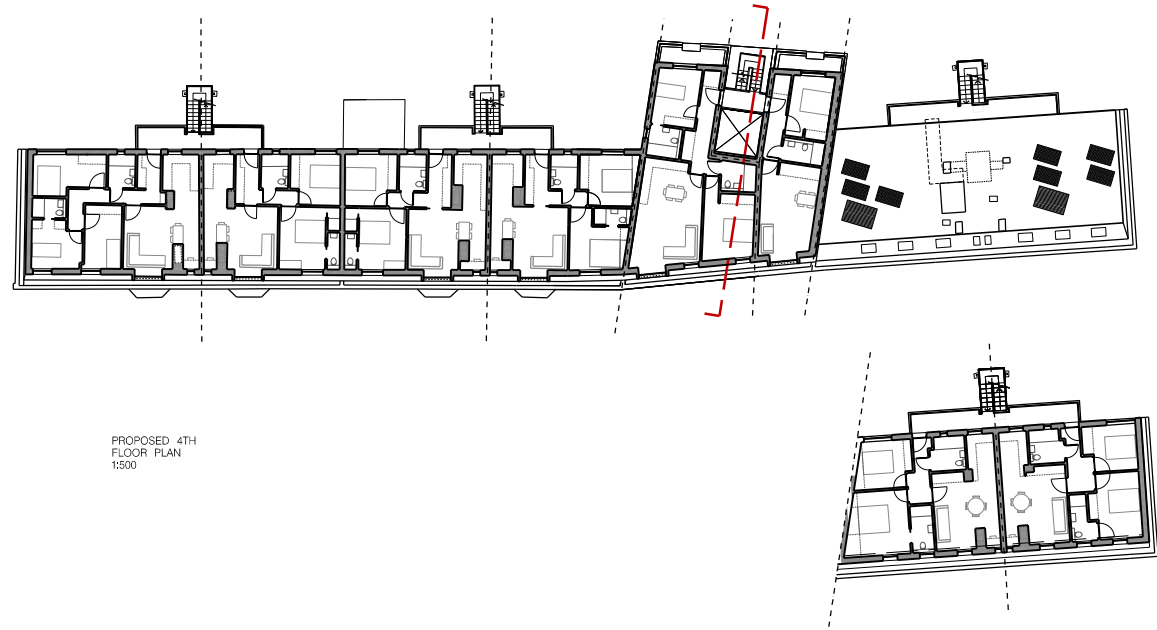
EXISTING ROOF LEVEL

PARAPET REMOVED AND RAISED TO MATCH EXISTING

NEW FLOOR CONSTRUCTION TO SIT ATOP EXISTING ROOF MIN. 300mm STRUCTURAL ZONE, ALL TO STRUCTURAL ENGINEER'S DETAILS

EXISTING ROOF TO BE RETAINED AND WATERPROOFED TO MINIMISE DISRUPTION TO NEIGHBOURING PROPERTIES AND IMPROVE THERMAL PERFORMANCE OF OVERALL ROOF BUILD UP

PROPOSED SECTION 122_43_21.1
1:50



PROPOSED 4TH FLOOR PLAN
1:500

C	01.09.2017	85 DEGREE CONTEMPORARY MANSARD AMENDED TO 70 DEGREE TRADITIONAL MANSARD TO FRONT ELEVATION ONLY, WINDOWS AMENDED TO ROOFLIGHTS TO SUIT TRADITIONAL MANSARD
B	10.07.17	WARWICK HOUSE ROOF LINE DROPPED TO ALIGN WITH FROGNAL COURT; GREEN ROOF INTRODUCED TO WARWICK HOUSE; VERTICAL MANSARD REVISED TO INCORPORATE SLOPED ROOF TO FRONT AND SIDE ELEVATION TO APPEAR MORE LIKE A TRADITIONAL MANSARD. WINDOW SIZES REDUCED, SMALLER WINDOWS TO BE SET INTO THE SLOPED ROOF. DORMERS PROPOSED FOR LARGER WINDOWS. GENERAL ARRANGEMENT PLANS AMENDED TO SUIT INTRODUCTION OF VERTICAL MANSARD, AND ENSURE ALL BUILDING REGULATIONS AND MINIMUM SPACE STANDARDS ARE ADHERED TO. FACADE MATERIAL CHANGED FROM FIBRE CEMENT BOARD TO ROLLED LEAD SHEET
A	12.06.17	FLOOR PLAN DIAGRAM REVISED TO SUIT CURRENT DRAWINGS

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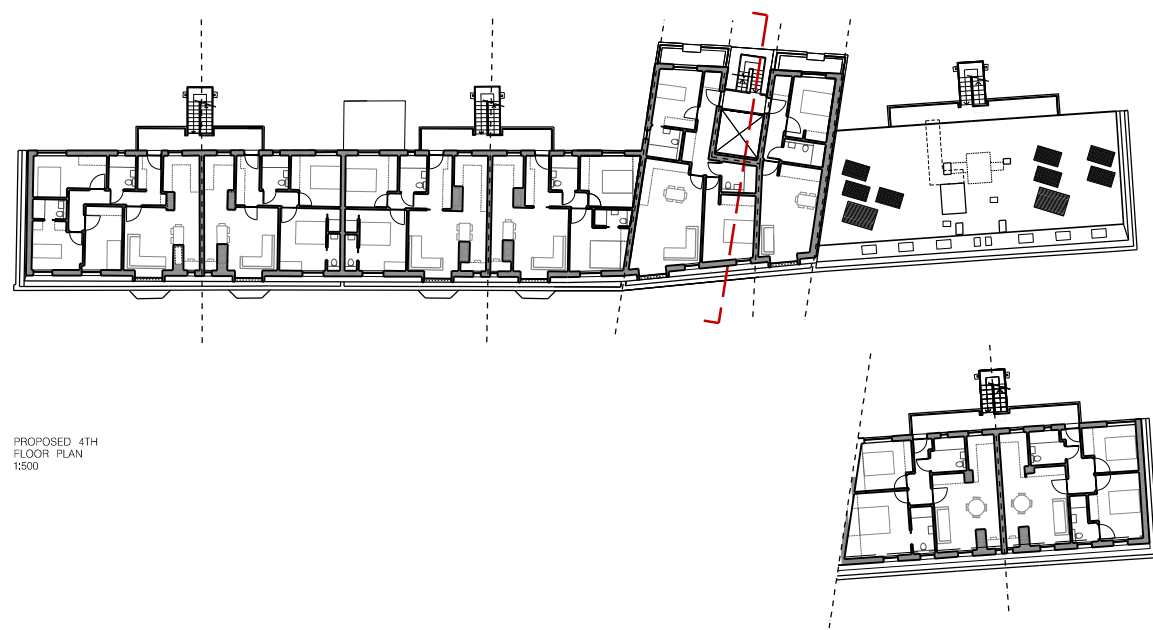
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PROJECT	FROGNAL COURT WARWICK HOUSE AND MIDLAND COURT, 158 FINCHLEY ROAD LONDON NW3 5HL		
TITLE	PROPOSED SECTION 21.1		
NUMBER	122_44_21.1	REVISION	C
STATUS	PLANNING	SCALE	1:50@A3

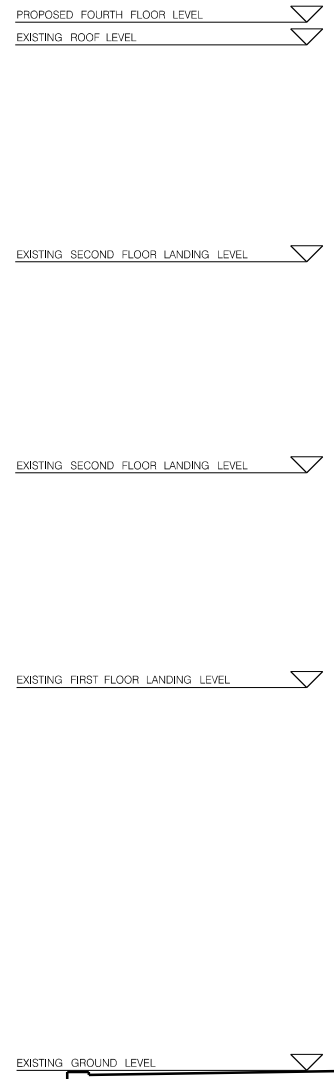
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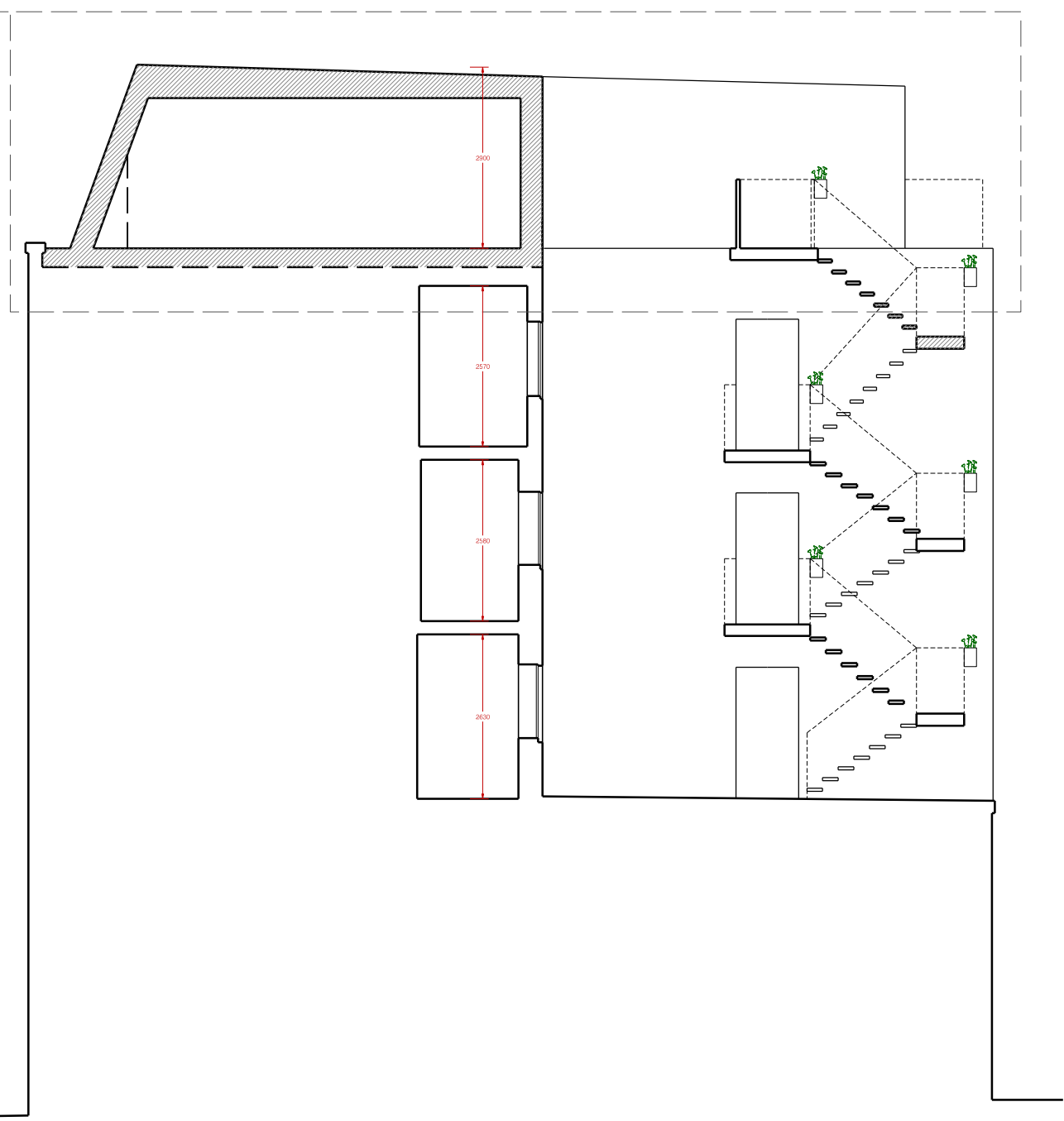
PROPOSED ELEVATION
1:100



PROPOSED 4TH
FLOOR PLAN
1:500



PROPOSED SECTION
1:100



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B	10.07.17	WARWICK HOUSE ROOF LINE DROPPED TO ALIGN WITH FROGNAL COURT. GREEN ROOF INTRODUCED TO WARWICK HOUSE. VERTICAL MANSARD REVISED TO INCORPORATE SLOPED ROOF TO FRONT AND SIDE ELEVATION TO APPEAR MORE LIKE A TRADITIONAL MANSARD. WINDOW SIZES REDUCED. SMALLER WINDOWS TO BE SET INTO THE SLOPED ROOF. DORMERS PROPOSED FOR LARGER WINDOWS. GENERAL ARRANGEMENT PLANS AMENDED TO SUIT INTRODUCTION OF VERTICAL MANSARD. AND ENSURE ALL BUILDING REGULATIONS AND MINIMUM SPACE STANDARDS ARE ADHERED TO. FACADE MATERIAL CHANGED FROM FIBRE CEMENT BOARD TO ROLLED LEAD SHEET
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PROJECT	FROGNAL COURT WARWICK HOUSE AND MIDLAND COURT, 158 FINCHLEY ROAD LONDON NW3 5HL		
TITLE	PROPOSED SECTION 21		
NUMBER	122_44_21	REVISION	C
STATUS	PLANNING	SCALE	1:100@A3

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FINAL HEIGHT DETERMINED BY GREEN ROOF BUILD-UP AND MINIMUM ROOF FALLS

NEW GREEN FLAT ROOF - BUILD UP TBC BY GREEN ROOF SPECIALIST

NEW WALLS FIXED TO NEW STRUCTURE BELOW, MIN. 300mm - ROLLED LEAD SHEET CLADDING, INSULATION, CROSS-LAMINATED TIMBER STRUCTURE, PLASTERBOARD FINISH

EXISTING VOID RETAINED

EXISTING STAIRCASE RETAINED AND EXTENDED TO PROPOSED 4TH FLOOR WALKWAY, LEADING TO PROPOSED FLATS

PROPOSED THIRD FLOOR LEVEL

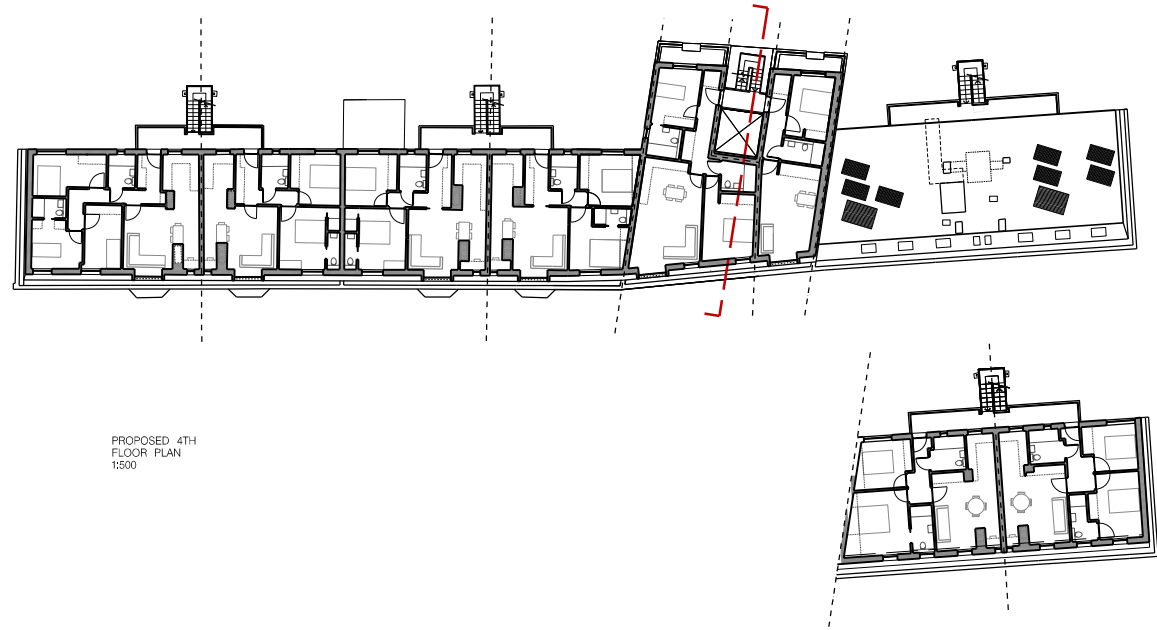
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PROPOSED SECTION 122_43_21.1
1:50



PROPOSED 4TH FLOOR PLAN
1:500

C	01.09.2017	85 DEGREE CONTEMPORARY MANSARD AMENDED TO 70 DEGREE TRADITIONAL MANSARD TO FRONT ELEVATION ONLY, WINDOWS AMENDED TO ROOFLIGHTS TO SUIT TRADITIONAL MANSARD
B	10.07.17	WARWICK HOUSE ROOF LINE DROPPED TO ALIGN WITH FROGNAL COURT; GREEN ROOF INTRODUCED TO WARWICK HOUSE; VERTICAL MANSARD REVISED TO INCORPORATE SLOPED ROOF TO FRONT AND SIDE ELEVATION TO APPEAR MORE LIKE A TRADITIONAL MANSARD. WINDOW SIZES REDUCED, SMALLER WINDOWS TO BE SET INTO THE SLOPED ROOF. DORMERS PROPOSED FOR LARGER WINDOWS. GENERAL ARRANGEMENT PLANS AMENDED TO SUIT INTRODUCTION OF VERTICAL MANSARD, AND ENSURE ALL BUILDING REGULATIONS AND MINIMUM SPACE STANDARDS ARE ADHERED TO. FACADE MATERIAL CHANGED FROM FIBRE CEMENT BOARD TO ROLLED LEAD SHEET
A	12.06.17	FLOOR PLAN DIAGRAM REVISED TO SUIT CURRENT DRAWINGS

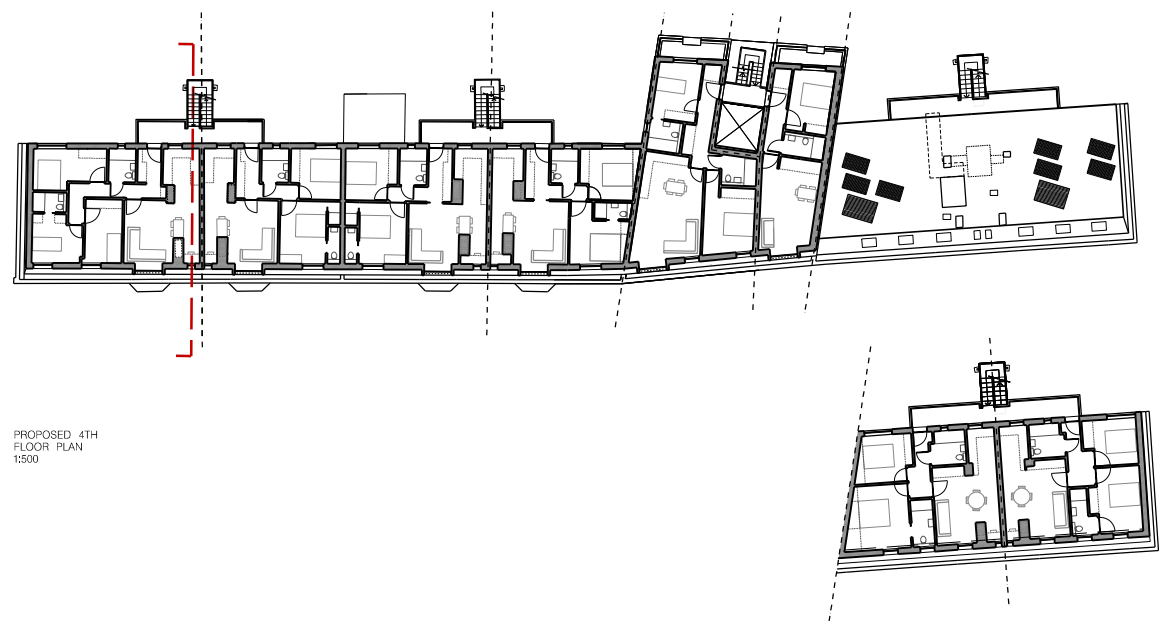
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 T: 020 7751 0444 E: studio@flowermichelin.com

PROJECT	FROGNAL COURT WARWICK HOUSE AND MIDLAND COURT, 158 FINCHLEY ROAD LONDON NW3 5HL		
TITLE	PROPOSED SECTION 21.1		
NUMBER	122_44_21.1	REVISION	C
STATUS	PLANNING	SCALE	1:50@A3

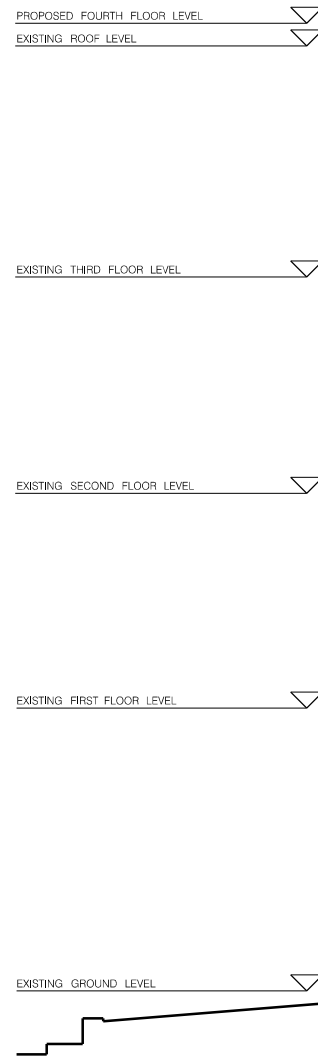


PROPOSED ELEVATION
1:100

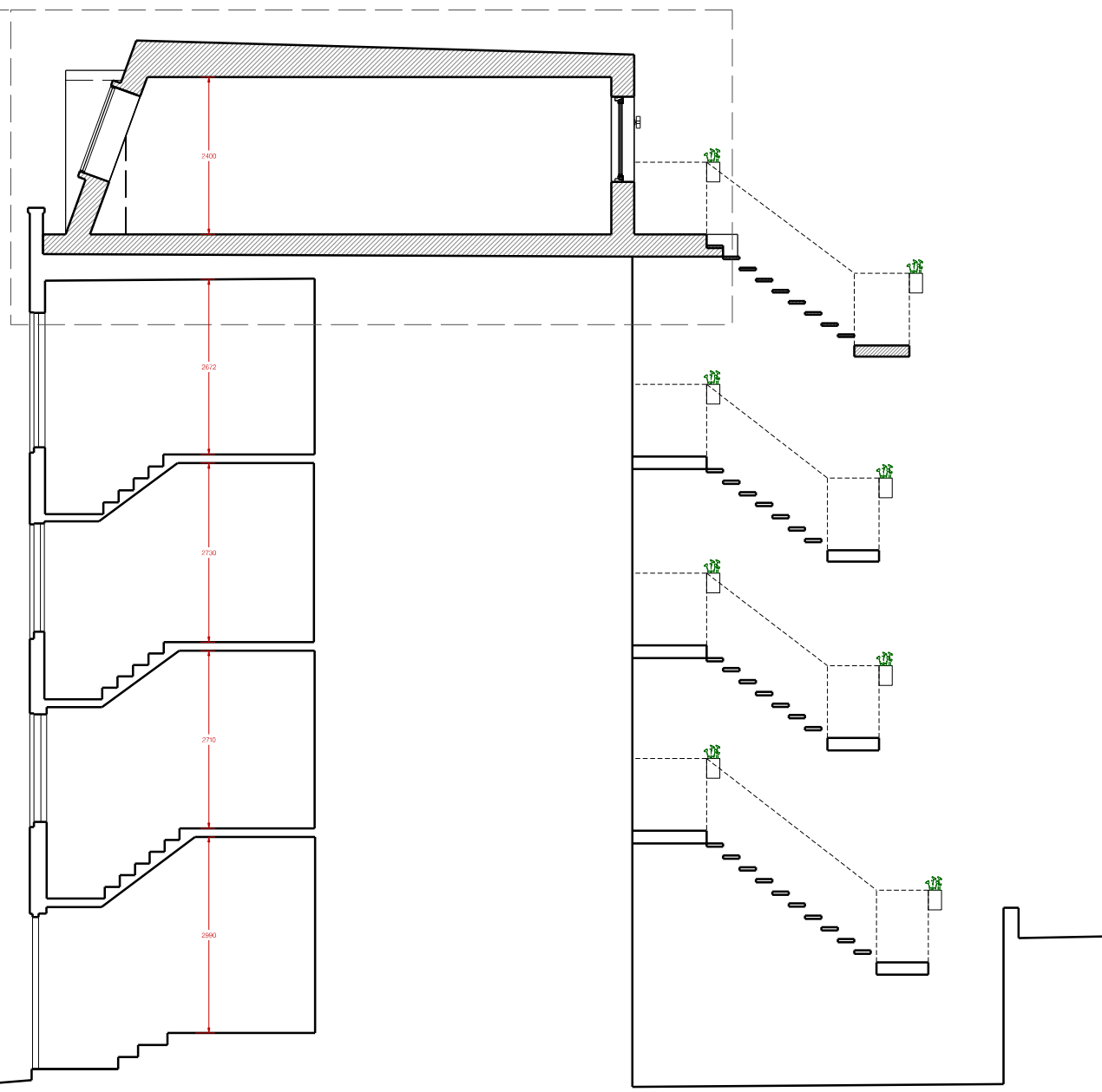



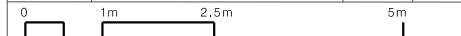
PROPOSED 4TH
FLOOR PLAN
1:500

122_43_22.1



PROPOSED SECTION
1:100



D	01.09.2017	85 DEGREE CONTEMPORARY MANSARD AMENDED TO 70 DEGREE TRADITIONAL MANSARD TO FRONT ELEVATION ONLY. WINDOWS AMENDED TO ROOFLIGHTS TO SUIT TRADITIONAL MANSARD
C	10.07.17	GENERAL ARRANGEMENT PLANS AMENDED TO SUIT INTRODUCTION OF VERTICAL MANSARD, AND ENSURE ALL BUILDING REGULATIONS AND MINIMUM SPACE STANDARDS ARE ADHERED TO. FACADE MATERIAL CHANGED FROM FIBRE CEMENT BOARD TO ROLLED LEAD SHEET
B	12.06.17	VERTICAL MANSARD REVISED TO INCORPORATE SLOPED ROOF TO FRONT AND SIDE ELEVATION TO APPEAR MORE LIKE A TRADITIONAL MANSARD. WINDOW SIZES REDUCED. SMALLER WINDOWS TO BE SET INTO THE SLOPED ROOF. DORMERS PROPOSED FOR LARGER WINDOWS
A	12.06.17	FLOOR PLAN DIAGRAM REVISED TO SUIT CURRENT DRAWINGS
<p>FLOWER MICHELIN RIBA  CHARTERED PRACTICE</p> <p>UNIT 8, 27 ACKMAR ROAD, LONDON SW6 4UR T: 020 7751 0444 E: studio@flowermichelin.com</p>		
PROJECT	FROGNAL COURT WARMICK HOUSE AND MIDLAND COURT, 158 FINCHLEY ROAD LONDON NW3 5HL	
TITLE	PROPOSED SECTION 22	
NUMBER	122_43_22	REVISION D
STATUS	PLANNING	SCALE 1:100@A3
		

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FINAL HEIGHT DETERMINED BY MINIMUM ROOF FALLS

DORMERS PROPOSED FOR LARGER WINDOWS

SMALLER WINDOWS TO BE ROOFLIGHTS

PROPOSED FOURTH FLOOR LEVEL

EXISTING ROOF LEVEL

NEW FLOOR CONSTRUCTION TO SIT ATOP EXISTING ROOF, MIN 300mm STRUCTURAL ZONE, ALL TO STRUCTURAL ENGINEER'S DETAILS

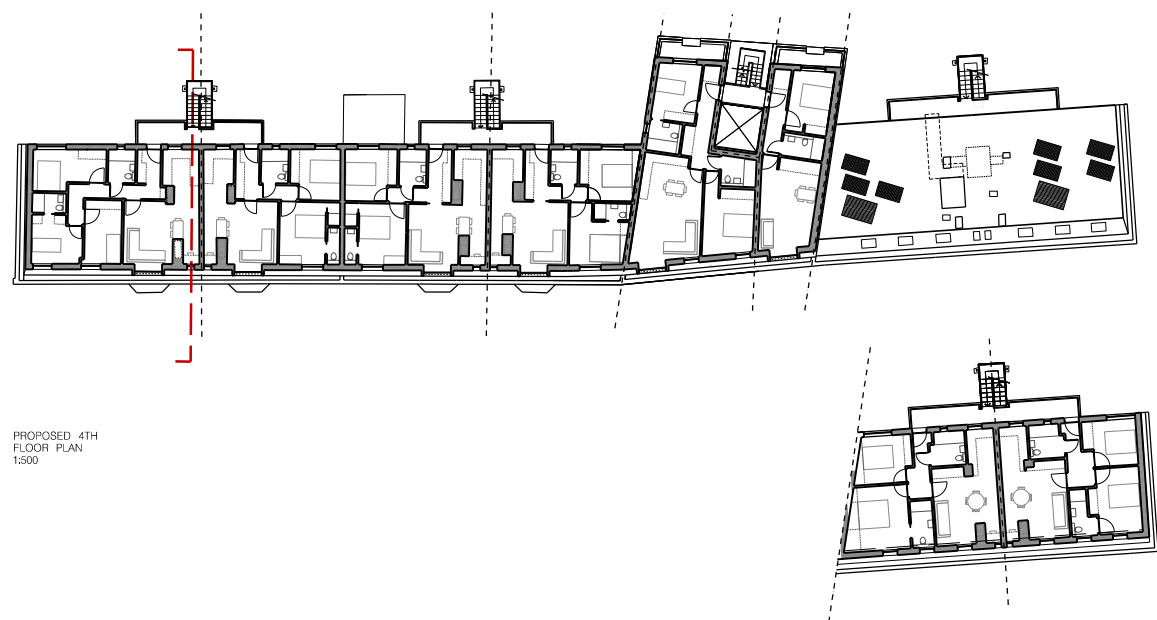
EXISTING ROOF TO BE RETAINED AND WATERPROOFED TO MINIMISE DISRUPTION TO NEIGHBOURING PROPERTIES, AND IMPROVE THERMAL PERFORMANCE OF OVERALL ROOF BUILD UP

PROPOSED SECTION 122_43_22.1
 1:50

NEW FLAT ROOF LAID TO MINIMUM FALLS, MIN 350mm - SINGLE PLY MEMBRANE, INSULATION, PLYWOOD, CROSS LAMINATED TIMBER WITH SUSPENDED CEILING AND PLASTERBOARD FINISH

NEW WALLS FIXED TO NEW STRUCTURE BELOW, MIN 300mm - ROLLED LEAD SHEET CLADDING, INSULATION, CROSS-LAMINATED TIMBER STRUCTURE, PLASTERBOARD FINISH

EXISTING STAIRCASE RETAINED, AND EXTENDED TO PROPOSED 4TH FLOOR WALKWAY WITH PORCH OVER, LEADING TO NEW FLATS



PROPOSED 4TH FLOOR PLAN
 1:500

D	01.09.2017	85 DEGREE CONTEMPORARY MANSARD AMENDED TO 70 DEGREE TRADITIONAL MANSARD TO FRONT ELEVATION ONLY. WINDOWS AMENDED TO ROOFLIGHTS TO SUIT TRADITIONAL MANSARD
C	10.07.17	GENERAL ARRANGEMENT PLANS AMENDED TO SUIT INTRODUCTION OF VERTICAL MANSARD, AND ENSURE ALL BUILDING REGULATIONS AND MINIMUM SPACE STANDARDS ARE ADHERED TO. FACADE MATERIAL CHANGED FROM FIBRE CEMENT BOARD TO ROLLED LEAD SHEET
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A	12.06.17	FLOOR PLAN DIAGRAM REVISED TO SUIT CURRENT DRAWINGS
FLOWER MICHELIN RIBA CHARTERED PRACTICE		
UNIT 8, 27 ACKMAR ROAD, LONDON SW6 4UR T: 020 7751 0444 E: studio@flowermichelin.com		
PROJECT	FROGNAL COURT, WARMICK HOUSE AND MIDLAND COURT, 158 FINCHLEY ROAD, LONDON NW3 5HL	
TITLE	PROPOSED SECTION 22.1	
NUMBER	122_44_22.1	REVISION D
STATUS	PLANNING	SCALE 1:50@A3

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PROPOSED FRONT ELEVATION

F	01.09.2017	85 DEGREE CONTEMPORARY MANSARD AMENDED TO 70 DEGREE TRADITIONAL MANSARD TO FRONT ELEVATION ONLY. WINDOWS AMENDED TO ROOFLIGHTS TO SUIT TRADITIONAL MANSARD
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C	07.06.17	INTERNAL REVIEW OF WINDOW CONFIGURATION
B	03.05.17	WINDOW SIZES REDUCED TO REFLECT CASE OFFICERS COMMENTS
A		INTERNAL REVIEW OF WINDOWS

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PROJECT	FROGNAL COURT, WARWICK HOUSE AND MIDLAND COURT 166 FINCHLEY ROAD, LONDON N1G 9L		
TITLE	PROPOSED FRONT ELEVATION		
NUMBER	122_44_30	REVISION	F
STATUS	PLANNING	SCALE	1:200@A3

0 1m 2m 5m

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PROPOSED REAR ELEVATION

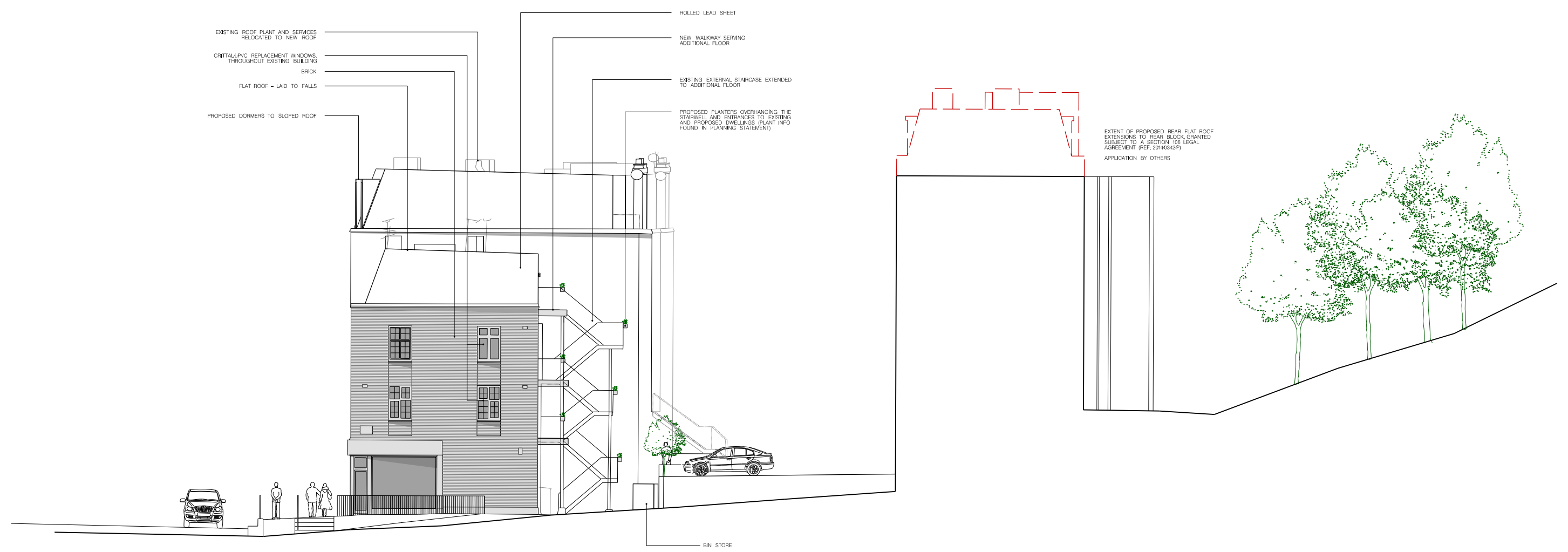
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F	01.09.17	85 DEGREE CONTEMPORARY MANSARD AMENDED TO 70 DEGREE TRADITIONAL MANSARD TO FRONT ELEVATION ONLY. WINDOWS AMENDED TO ROOFLIGHTS TO SUIT TRADITIONAL MANSARD
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C	10.05.17	ENTRANCE AND LAYOUT OF FLAT 5 REVISED. WALKWAY REVISED. PANELS REVISED TO REFLECT FRONT ELEVATION.
B	15.22.17	LIFT REMOVED
A	09.11.16	FLUE ROUTE REVISED

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PROJECT	FROGNAL COURT, WARWICK HOUSE AND MIDLAND COURT 166 FINCHLEY ROAD, LONDON N10 9L		
TITLE	PROPOSED REAR ELEVATION		
NUMBER	122_44_31	REVISION	F
STATUS	PLANNING	SCALE	1:200@A3

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A	12.06.2017	ROOF TO FRONT AND SIDE ELEVATION SLOPED TO APPEAR LIKE A MANSARD, DORMER WINDOWS ADDED TO SOME OF WINDOWS TO FRONT EXTENSION TO WARMKX HOUSE REDUCED IN HEIGHT TO ALIGN WITH EXTENSION TO FROGNAI COURT
FLOWER MICHELIN RIBA  CHARTERED PRACTICE UNIT 8, 27 ACKMAR ROAD, LONDON SW6 4UR T: 020 7751 0444 E: studio@flowermichelin.com		
PROJECT	FROGNAI COURT, WARWICK HOUSE AND MIDLAND COURT 166 FINCHLEY ROAD, LONDON N10 9L	
TITLE	PROPOSED SIDE ELEVATION	
NUMBER	122_44_32	REVISION C
STATUS	PLANNING	SCALE 1:200@A3
