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PD10653/PB/KFH

Planning Portal Reference: *PP- 06358792*

05 September 2017

Planning and Development  
London Borough of Camden  
5 St Pancras Square  
London***Submitted online only via the planning portal: PP- 06358792***

Dear Sir/Madam

**FORMER KING'S COLLEGE LONDON HAMPSTEAD RESIDENCE, KIDDERPORE AVENUE, LONDON, NW3 7SU****TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)****SUBMISSION OF MATERIAL PURSUANT TO CONDITION 34 OF PLANNING PERMISSION 2015/3936/P**

On behalf of Mount Anvil (Kidderpore) Ltd (the Applicant), please find enclosed documents to satisfy the requirements of condition 34 pertaining to the Planning Permission at Kidderpore Avenue.

**Description of Development**

The description of development to which the Planning Permission relates is as follows:

*'Development of the site to provide 156 residential units involving demolition of Queen Mothers Hall, Lord Cameron and Rosalind Franklin buildings and replacement with flats in three 4 and 5 storey buildings, seven houses to the northern boundary, a single townhouse to the north western boundary and three houses between The Chapel and Queen Mothers Hall; relocation and refurbishment of the Summerhouse; alterations and extensions to retained buildings, including listed buildings; excavation of 2-storey basement to the western part of the site and a 1-storey basement to the replacement buildings for Lord Cameron and Rosalind Franklin, lower the level of lower ground floor of Bay House; provision of 97 car parking spaces, associated cycle parking, refuse/recycling facilities, plant equipment and landscaping works including tree removal across the site.'*

The Planning Permission has since been twice amended by way of applications under s96a of the Town and Country Planning Act 1990 (As amended). These applications are as follows:

- Application with reference 2016/2914/P on 8 June 2016
- Application with reference 2016/4743/P on 21 February 2017.

An additional application under s96a has been made on 27 July to amend the crossovers outside Lord Cameron Hall and Queen Mother's Hall. This application is pending consideration.



**Submission documents**

This submission includes documents to satisfy the following condition attached to the Planning Permission:

Condition 34

*Before the occupation of each building, details of noise and vibration mitigation to protect the residential properties in that building against noise and vibration (including building services plant) shall be submitted and approved in writing by the Local Planning Authority. The approved scheme shall be implemented prior to occupation and remain in place for the lifetime of the development.*

The submission comprises the following:

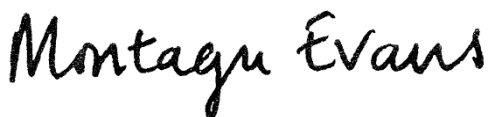
1. A completed application form;
2. A Site Location Plan (PL-ST-010 Rev 4) – for information and as consented Ref. 2015/3936/P
3. Environmental and Intrusive noise study prepared by Sol Acoustics. This document explains the approach taken to the implementation of the equipment and mitigation measures in accordance with the requirements of the Condition. Document ref: P1652-REP03-SJF
4. Drawings and supporting technical information:
  - P1538-M01 resilient detailing, sheets 1 and 2
  - P1652-S01 Kidderpore attenuator schedule, Pages 1 and 2, Rev B
  - P1652-S02 AVM schedule

**Closing**

We trust that this material is complete. We would be grateful if you could confirm receipt of this material and let me know if there is anything further we are required to provide to validate this application.

Should you require any further information or have any queries, please do not hesitate to contact Kate Falconer Hall at this office ([kate.falconerhall@montagu-evans.co.uk](mailto:kate.falconerhall@montagu-evans.co.uk), 02073127466).

Yours faithfully



**MONTAGU EVANS LLP**

Enc.