

# Heritage, Design & Access Statement

8 Little Green Street,  
London, NW5 1BL

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## Issue notes

Rev A - Issued for planning 23rd August 2017

# 1/ Introduction

## 1.1 Aim of report

The purpose of this statement is to appraise the historical and architectural significance of the building located at 8 Little Green Street, a Grade II listed building, in order to inform the design process as part of proposed alterations and refurbishment to the property.

This report will discuss the principles behind the proposed works and analyse any impact of the proposals on the special character of the listed property.

## 1.2 Authorship

This statement has been prepared by 51 architecture; an award winning RIBA chartered architectural practice with experience of working with and in sensitive and historic environments. The author can be contacted at [info@51architecture.com](mailto:info@51architecture.com).

## 1.3 Methodology

This statement is the result of documentary research based upon primary and secondary sources of local history and architecture, including maps, drawings, archives and reports primarily from the London Borough of Camden and the London Metropolitan Archives.

A survey of the property was conducted in July 2016, where, by visual inspection, the surviving internal and external features of the building were recorded and mapped.

## 2/ Historical background

### 2.1 Site introduction

This section of the report examines the historical background of 8 Little Green Street, London NW5 1BL. It is compiled through research of various primary and secondary sources. These include: the London Metropolitan Archive, Camden Local History Archives, and the London Borough of Camden Planning Department Archives.

Little Green Street branches off from the east side of Highgate Road (formerly Green Street) just before the intersection with the London Overground Gospel Oak to Barking railway line. The street is described in the 1938 Survey of London as:

“Quite the most interesting survival of the work of the late 18th-century after Grove Terrace and is noticeable for its varied bow-windows. It contains on its north side seven houses. No. 1 is covered with advertisements. No.2 has a charming little three-sided bay to its ground-floor room, projecting slightly, six panes wide, two panes to each face, and four panes deep. No. 3 has been re-faced but the ground-floor window appears to be an old one. Nos. 4 and 5 are the best in the row, both have three faces like No. 2, only slightly projecting and similarly proportioned, but above them runs a full entablature with a delicately dentilled cornice which embraces both windows and both doorways and forms one delightful composition. The next two houses numbered 6 and 7 have similar bays but are not treated as one complete composition. The door and window to both houses are treated alike. There is, however, a modillioned cornice and a pair of very simple shaped brackets to both doors. No. 8 is not so distinguished, but is a larger structure. The back view from Highgate Road shows a charming variety of mansard roofs.”

“Little Green Street.” Survey of London: Volume 19, the Parish of St Pancras Part 2: Old St Pancras and Kentish Town. Eds. Percy Lovell, and William McB. Marcham. London: London County Council, 1938. 70-71. British History Online. Web. 12 October 2016. <http://www.british-history.ac.uk/survey-london/vol19/pt2/pp70-71>.

The terrace of 18th-century houses, mostly with slate mansard roofs and dormers on the north side of the street are listed; No.s 4-7 were given Grade II Listed status on 10th June 1954 and No.s 1-3 and No.8 were listed separately on 14th May 1974. The houses and flats on the south side, formerly workshops built in the 18th and 19th centuries, are not listed.

Little Green Street is included in the southernmost tip of the Dartmouth Park Conservation Area as well as the northern end of the newly adopted Kentish Town Neighbourhood Plan. A railway tunnel runs alongside the elevated railway line and beneath the gardens of the north side of Little Green Street, the exposed tracks of which can be seen to the rear of No.s 1-3.

Built before the suburban railways were introduced to the areas north of the city of London, the original houses on the street formerly had ground floor shops, except No.s 1 and 8, the only traces of which remain are the bow windows. The area was surrounded on all sides by fields, paddocks, crofts and meadows. The rear gardens were, in the 18th-century, much shorter than they are now. With the introduction of the railway line to the north of Little Green Street in the 19th-century and the subsequent demolition of three houses along Highgate Road up to the railway the boundaries of the rear gardens were extended to meet the railway cutting. The area continued to develop and densify with the original 18th Century streets remaining relatively intact for 150 years.

Throughout the 20th-century the streetscape continually changed as the houses were modernised to varying degrees and extended, one and two storey rear extensions were built to all the properties on the north side of Little Green Street and as such the original roof forms and the interiors of rear rooms have been completely replaced or altered, the only remaining original features are located in the front rooms and on the front facades of the properties.

The subject property, number 8, is the corner plot on the eastern end of Little Green Street at the junction with College Lane. It is distinguished, along with No. 1, as one of two three storey buildings on the north side of the street marking the beginning and end of the street with the two storey mansard roofed properties in between. No. 8 originally had a double breasted chimney stack rising through the centre of the property which was removed some time in the late 1960's before listing.

## 2.2 Map regression

The following maps plot the development of the area around the subject site from 1766 to the present day. The subject site or approximate location is highlighted or circled in pink. The maps included are:

Figure 1/ 1766 Rocque Plan of London

Figure 2/ 1801 Unknown author

Figure 3/ 1862-1871 Stanford (Edward), Library Map of London and its Suburbs.

Figure 4/ 1894 Ordnance Survey

Figure 5/ 1915 Ordnance Survey

Figure 6/ 1959 Ordnance Survey

Figure 7/ 2006 Ordnance Survey



**Figure 1/ 1766 Rocque**

Rocque's map of 1766 is one of the earliest to show the start of development along Green Street now Highgate Road. The surrounding area is entirely rural.



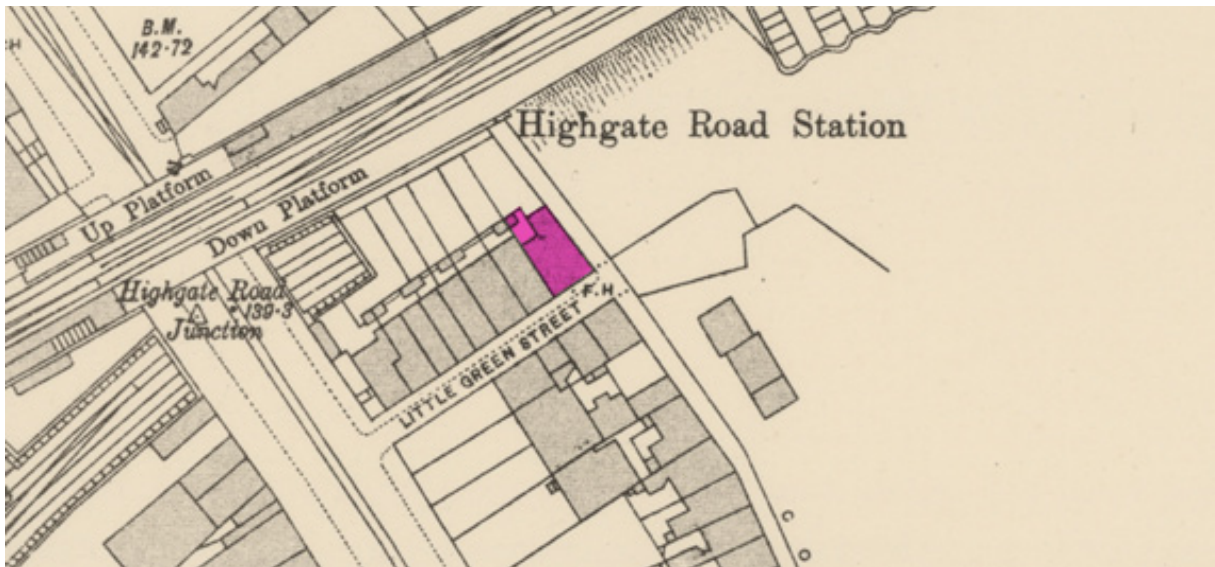
Figure 2/ 1801 Unknown author

This map from 1801 shows houses to the north of Little Green Street along the west side of College Lane (then called Holmans Buildings). Apart from the terraces along Green Street, now Highgate Road, the area was surrounded on all sides by fields.



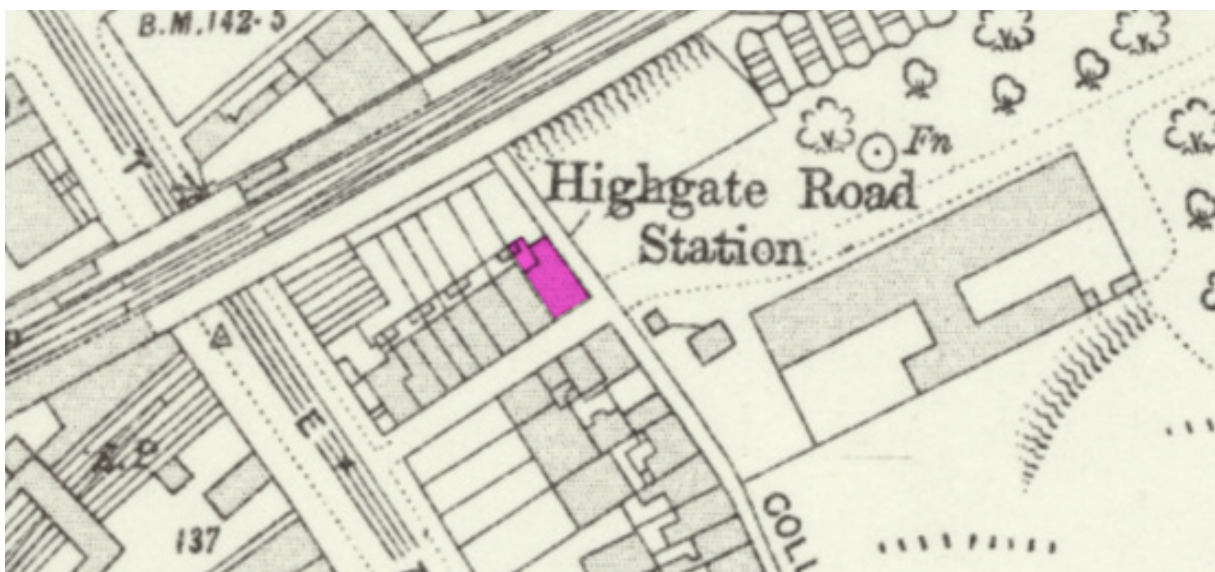
Figure 3/ 1862-1871 Stanford (Edward), Library Map of London and its Suburbs.

This map shows the introduction of the Hampstead Junction railway in 1860 and Kentish Town Station and the subsequent beginnings of urbanisation that followed. The map also shows a gap on the south side of the street between 124 Highgate Road and 9 Little Green Street. No. 1 is shown as a much larger property than is today.



**Figure 4/** 1894 Ordnance Survey

This map is dated 6 years after the opening of the Tottenham and Hampstead Junction Railway in 1868 when the elevated railway and tunnel were built to the rear of Little Green Street in the land owned by the Great Eastern Railway company. Highgate Road Station shown to the north of Little Green Street closed in 1918. At this time the gardens to the rear of No.s 1-8 were shorter than they are today. The gap in the south side of the street has been filled and houses to the north, on College Lane and Highgate Road, have been demolished.



**Figure 5/** 1915 Ordnance Survey

By 1915 a Railway Worker's Club and hostel has been constructed to the east of the site in what was until this time open farm land.



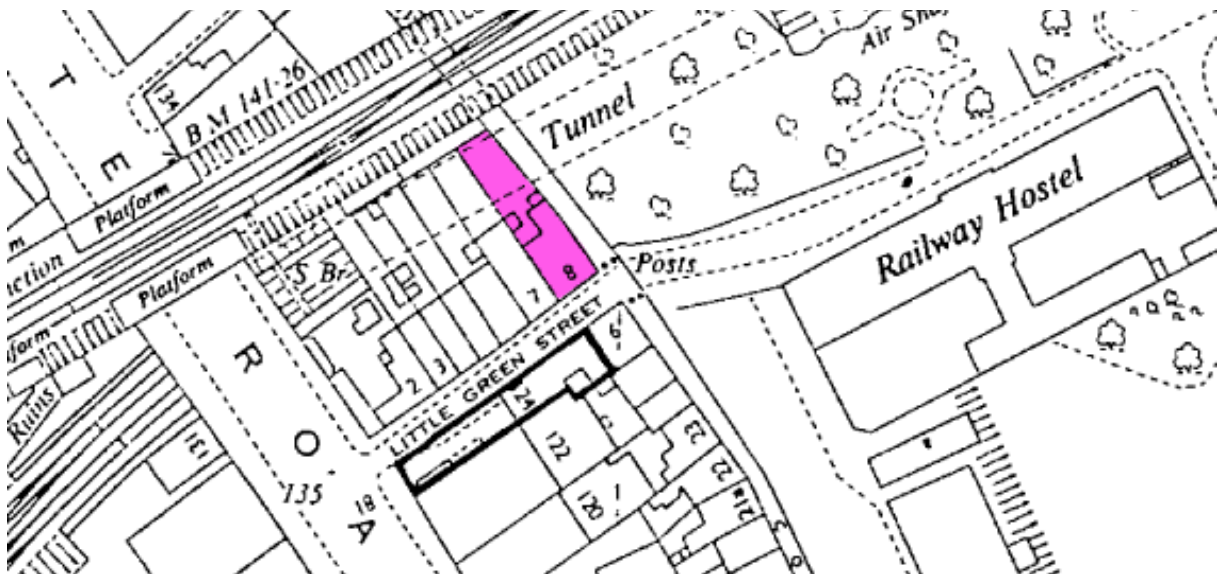


Figure 6/ 1959 Ordnance Survey

By the 1950's the land to the north of Little Green Street above the railway tunnel has been leased to the owners of the houses on the north side of the street, extending their rear gardens to the elevated railway line. The map shows a full width rear extension to No.7. No.s 1 and 2 have been combined into one property.

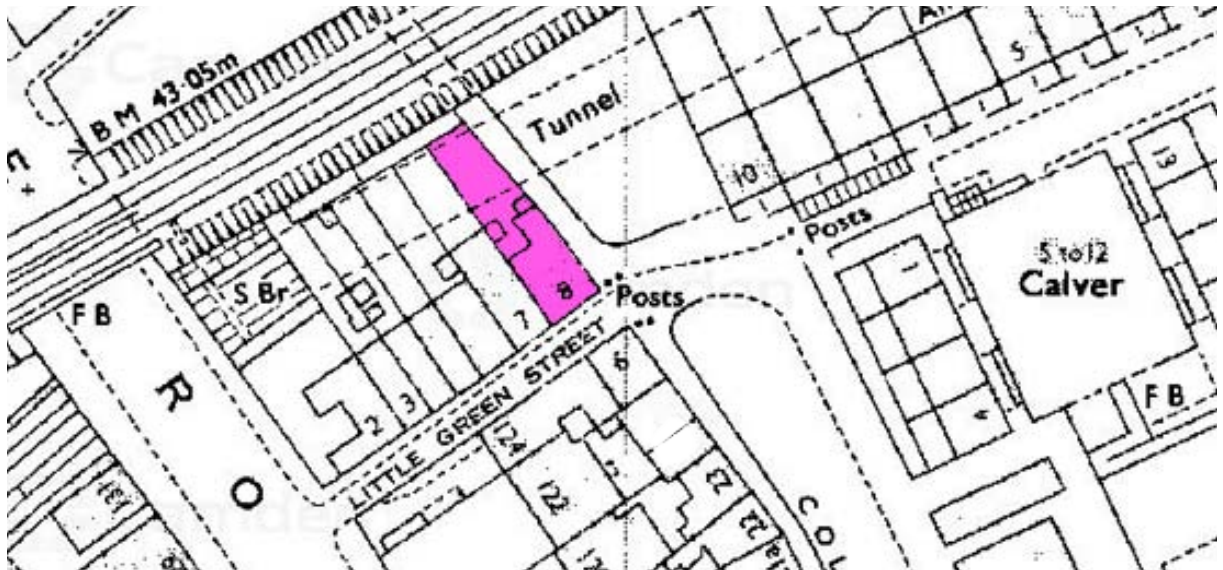


Figure 7/ 2006 Ordnance Survey

In the 1960's the Ingestre Road Estate was constructed to the east of the site. All the properties to the north side of the street have been heavily vertically extended throughout.

## 2.3 Historical photographs

The following photographs plot the development of the subject site since 1938.



**Figure 8/** No.s 1-7 Little Green Street, 1929  
© Camden Local Archive

The image to the left shows Little Green Street in 1929. The roofscape is very different to today, the roofs of No.s 3-5 are shown a whole storey lower than No.s 6-7 with a shallow pitched roof.

**Figure 9/** No.s 2-8 Little Green Street, 1938  
© Camden Local Archive.

The image to the right shows the front elevations of No.s 2-8 Little Green Street. At this time the street retains its original Yorkstone paving and has no bollards or street lights which were installed around the year 2000. At the end of the street is the entrance to the railway hostel and ironworks.





**Figure 10/** No.s 1-8 Little Green Street, 1960  
© London Metropolitan Archive.

The image to the left shows Little Green Street in 1960, a few small changes have occurred, the road has been cobbled and the front dormers of No.s 6-7 have been replaced.



**Figure 11/** Rear of No.s 7-5 Little Green Street, 1968 © London Metropolitan Archive.

The image to the right shows the start of extensive rebuilding and extension to the rear of the properties along the north side of the street beginning with number 6 in 1968.



**Figure 12/** Rear of No.s 4-3 Little Green Street, 1970 © London Metropolitan Archive.

The image to the left shows the rear of No.s 4-3 mid construction in 1970 when the roofs were being extended to add another storey and the large rear extensions were added.

**Figure 13/** Rear of No. 8 Little Green Street, 1970 © London Metropolitan Archive.

The image to the right shows the rear elevation of No. 8 Little Green Street in 1970. Note no chimney is visible above the parapet. A small single storey rear porch extension is visible on the right hand side. The first floor blind window to the left hand side has been opened out and replaced with a new window.





**Figure 14/** Rear of No.s 7-8 Little Green Street, 1970 © London Metropolitan Archive.

The image to the left shows the rear of No.s 7-8 in 1970 a year after construction of the rear full-width single and half width two storey extensions to No.7.

Evidence of rebuilding is visible to the left hand side of the rear elevation of 8 Little Green Street along College Lane.

**Figure 15/** No.s 2-8 Little Green Street, 2008

The image to the right shows the street in 2008. The street furniture, bollards and lamp posts were added around the year 2000. The original Yorkstone paving has been replaced with a cement finish. Ingestre Road estate can be seen in the distance.



## 2.4 Planning history for 8 Little Green Street

The relevant planning history of the site is as follows; to review planning changes to the whole street please see morphological street plan and elevations drawings 1001 and 1002.

Reference	Description	Decision	Implemented
CTP/E11/20/3/7043	Rear extension on footprint of existing, removal of double chimney breast at ground floor level and opening up of 1st floor blind window on rear elevation.	Granted April 1969	Yes
CTP/E11/20/3/1914	Half width, 3 storey rear extension with large glazed garden doors at ground floor.	Decision unknown (July 1974)	No
PL/8400846	7 foot high boundary wall to College Lane.	Granted on 28/06/1984	Yes
HB9270203	Demolition of existing rear extension and partial underpinning to front and side of main house and newly rebuilt garden wall.	Granted on 21/01/1993	Yes
HB9270194	Half width single storey rear extension with slate roof.	Granted on 21/05/1993	Yes
Unknown	Planting plan, involving remodelling and replanting whole rear garden	Granted October 1993	Yes
2017/0076/L & 2016/6070/P	Demolition of existing rear extension and new full width single storey rear extension with internal alterations.	Granted on 24/07/2017	No

## 3/ Significance appraisal

### 3.1 Introduction

No. 8 Little Green Street is Grade II listed under the Planning (Listed Buildings and Conservation Areas) Act for its special architectural or historic interest. The Historic England listing description is as follows:

“End of terrace house. Late C18. Multi-coloured stock brick. 3 storeys. 2 windows and 2-window return to College Lane. Round-arched recessed doorway with panelled door. Cambered arches to recessed sashes except ground floor with flat arch; some blind. Parapet. INTERIOR: not inspected.“

This section will outline the existing historical features of special architectural character that the building retains and describe its morphological development in terms of any alterations and repairs that have been undertaken.

### 3.2 Exterior appraisal

The front elevation of the property has remained largely unchanged. The original brickwork, panelled door recessed into a simple gauged brick archway and sash windows have survived. The former decorative fanlight above the door has been lost and boarded up with timber.

The front elevation has three blind windows and three segmental-arched sash windows; the east return elevation along College Lane is painted white and has six segmental-arched sash windows. The painted east elevation clearly shows evidence of rebuilding at the corner of Little Green Street and College Lane, the newer street name plate, with the remains of the older, painted sign above suggests that the corner and the painted side elevation of No 8 have been re-built, likely as the result of a WWII bomb.

All windows to the property are double hung 6 over 6 light sash windows with simple horns and their sash boxes set back 4 inches into the facade and recessed behind the brickwork, indicating that the property was built after the introduction of the Building Act in 1774.

The rear elevation has three segmental-arched sash windows, two at the landings to the staircase and a further first floor window, which is thought to have been a blind window that was opened up in the 1960's. The original brickwork of the ground floor has been rendered over. A single storey half width rear extension was built in 1993; a faux-victorian structure which has an overhanging slate roof at odds with the character of the rest of the property.

The simple timber and slate m-shaped double pitched hipped roof of the property was heavily reworked in the 1960's when it is thought that the original central chimney stack was removed. The two roofs hipped at both ends prevent the gabled ends of the roofs from being seen above the parapet. A poor quality timber dormer was constructed to allow access to the roof for maintenance. The lead box gutter around the internal perimeter of the parapet wall has been replaced with a modern flat roofing membrane. The coping stones are 1960's cementitious replacements.



Figure 16/  
Front elevation of No.s 7-8, 2016





**Figure 17/**  
Front and side elevation of No. 8 and side elevation of No. 9 showing possible WWII bomb damage, 2016.



**Figure 18/**

Detail of front and side elevation of No. 8 showing rebuilding due to possible WWII bomb damage, 2016. The newer street name plate, with the remains of the older, painted sign above suggests that the corner and the painted side elevation of No 8 have been re-built, likely as the result of a WWII bomb.



**Figure 19/**  
Side elevation of No. 8 along College Lane, 2016.



Figure 20/  
Rear elevation of No. 8, 2016

### 3.3 Interior appraisal

Throughout the property some original features remain.

The front room and the hallway of the ground floor retain some original mouldings particularly around the windows and the door pieces. The skirtings, dado rail, wainscoting and cornice were installed during a major refurbishment in 1938. In a few cases there is an accretion of modern mouldings fixed over the 1938 mouldings concealing 20th-century services, electrical cables and heating pipes. The two windows in the front room seem to be original sashes, with intact shutters and shutter boxes. Both windows have had fixed secondary glazing installed as well as covered radiators where original window seats may have been.

The only original feature in the rear half of the ground floor kitchen area is the door piece to the hallway. All other mouldings in this half of the room, including around the window were lost during refurbishment works in the 1960's and subsequently in the 1990's.

The hallway has a delicately dentilled cornice. The staircase dado rails have painted timber plank wainscoting below and continue up the staircase to the second floor, both of these date back to the 1938 refurbishment.

On the first floor, the original layout remains and the front and rear rooms retain skirting, dado rail, cornice and door pieces as well as exposed timber window boxes where the outer walls narrow. Some of the mouldings in the rear bedroom may be original, but those in the front room seem to be from the 1938 refurbishment. Again covered radiators have been installed beneath the windows. The mouldings and ceiling have been reinstated and replaced where the central chimney stack was removed in the 1960's. No fireplaces remain in the property.

On the second floor, all original internal features have been removed, simple modern cornice and skirting has been installed along with a family bathroom.

An inspection of the two attic spaces revealed that whilst some older timbers remained, all supporting cross beams and struts have been removed as a result of the works to remove the chimney and to make space for hot water cylinders. The inner face of the attic spaces are lined with thick black plastic sheet, presumably as a rudimentary damp proofing, this may have caused the timbers behind to sweat and rot. The roof in general is in a poor state with signs of damp and water ingress throughout the second floor.

### 3.4 Morphological plans

Morphological plans have been developed using current survey information to provide a diagrammatic representation of the site in relationship to its material integrity and history. The plans reflect a well informed assessment of the time-frames in which the main architectural and structural elements (such as walls, partitions, joinery, floors) were incorporated in the building. This assessment is based on the study of collected archival materials and on data gathered during visual inspection.

Please see accompanying document for the morphological plan drawings.

## 4/ Impact of proposed works on the listed building

### 4.1 Legislative context

The following relevant local and national planning policies have been considered in the development of this proposal:

Policies	Year
<b>1/ Acts of Parliament:</b>	
Enterprise and Regulatory Reform Act 2013	2013
National Planning Policy Framework (NPPF)	2012
Town and Country Planning Act	1990
Planning (Listed Buildings and Conservation Areas) Act	1990
<b>2/ London Borough of Camden planning policies and design guidance:</b>	
Camden Local Plan	2017
Kentish Town Neighbourhood Forum Neighbourhood Plan	2016
Camden Planning Guidance: CPG 1: Design Policy 3 - Heritage Policy 5 - Roofs, terraces and balconies	2015
Energy efficiency planning guidance for Dartmouth Park Conservation Area	2012
Dartmouth Park Conservation Area Appraisal and Management Statement	2009
<b>3/ Historic England Guidance:</b>	
London Terrace House 1660 - 1860: A guide to alterations and extensions	1996

## 4.2 Principles and justification of proposed works

The overall design concept is to create a high quality piece of architecture which will be sensitive to the listed building, the surrounding context and enhance the appearance and character of the conservation area. The proposal synthesises the design guidance given in local and national planning policies to create a holistic architectural response which responds to the constraints of the site and seeks to retain the historic character of the property.

### **The Listed Building**

The proposed development involves the conversion of the existing double pitched roof into a traditional slate mansard roof, with new dormer windows.

The existing roof of 8 Little Green Street is a simple timber and slate m-shaped double pitched hipped roof which was almost entirely rebuilt in the 1960's when it is thought that the original central chimney stack was removed. It seems that since this time the roof construction detailing was replaced with poor quality modern elements. For example, the lead box gutter around the internal perimeter of the parapet wall has been replaced with a modern flat roofing membrane. The coping stones are cementitious replacements. Most of the original roof timbers have been replaced with modern timbers. There is further rot in the remaining roof timbers due to the poor detailing of weatherproofing and insulation in the roof spaces.

When considering an appropriate replacement roof form, in terms of architectural style, the Camden Planning Guidance document (CPG 1) states that with regards to roof extensions and alterations '*mansard roofs are often the most appropriate form of extension for a Georgian or Victorian dwelling*'. The mansard roof form is the dominant form of the terrace as well as many significant properties of a similar age in the local Conservation Area such as nearby Grove Terrace. Given that 8 Little Green Street was built towards the end of the 18th Century a traditional slate mansard roof would appear to be an appropriate contemporaneous roof form for the property.

The proposed mansard has been designed to conform to the size restrictions set out in CPG 1. The rooftop additions will be subservient to the existing parapet as per CPG 1.

### **Sustainable living**

The proposed mansard roof will be well insulated and energy efficient. Renewing, insulating and converting the roof will provide thermal benefits to the whole house. Dormer windows allow for natural daylight to the roof space and staircase. Their east-west orientation aligns with the prevailing winds and allows for natural cross ventilation of the roof space avoiding the need for air conditioning or mechanical ventilation.

Where altered or added to the fabric of the building will be upgraded to meet the highest modern design and performance standards without detracting from the historic character of the property. The design balances the need for preservation of the character of a heritage asset with the requirements of modern family living, which in turn ensures the use of the listed property for future generations.



## **The Conservation Area**

The advice given in the Dartmouth Park Conservation Area Statement is such that roof alterations and additions are not acceptable where ‘the building forms part of a complete terrace or group of buildings which have a roof line that is largely unimpaired by alterations or extensions’ or where the ‘architectural style would be undermined by any addition’.

As shown in the morphological drawings (supplementary to this submission) the surrounding roofscape of the Conservation Area has been heavily altered with every property on Little Green Street having been extended to varying heights, with new mansard storeys, roof lights or dormers added over the last hundred years - the variety is part of the street’s character and charm. As previously mentioned, No. 8 has had its chimney removed and its original roof replaced. No.124 Highgate Road across the street has a modern glass roof infill extension.

Furthermore along neighbouring College Lane, to the East, there have been 5 substantial mansard roof extensions granted in the past few years. To the North listed Grove Terrace illustrates a similar Georgian pattern of development, albeit on a grander scale, to Little Green Street, where one building in this case (No. 14 Grove Terrace) stands a full storey higher than its neighbours. In 2004 approval was granted for a modern glass roof extension to No.14.

These local examples show that the roofscape in the Conservation Area is being actively developed in response to pressure on existing housing stock to address the Camden Local Plan requirements for meeting housing needs. The architectural style of No. 8 would not be undermined by a mansard roof as shown in CPG 1. The proposed mansard roof avoids the problems of light spillage associated with modern glass roof extensions by retaining a traditional dark silhouette in keeping with the predominantly Georgian and Victorian roofscape of the Conservation Area.

## **Development of the area**

Little Green Street originally formed the edge of the development along Highgate Road (known as Green Street until the early 20th Century, with No.8 rising a storey above its neighbours marking the boundary between the town and the surrounding paddocks, orchards and fields and forming a clear end to the street.

The land to the East, now the Ingestre Road Estate and the recently developed Wiblin Mews, was until the 1960’s a forgotten backwater alongside the railway; the land was surplus. With the development of the area Little Green Street has become a more public part of the city and a pedestrian cross route between Kentish Town, Tufnell Park and Gospel Oak.

The images on the following page illustrate the original condition of scrubland surrounding the site and show the radical change that the area has undergone.



Figure 21/  
Slide 4861 - Surplus land adjoining Little Green Street & Ingestre Road © Camden Local Archive



Figure 22/  
Slide 4862 - Surplus land adjoining Little Green Street & Ingestre Road © Camden Local Archive

### **Pre-application advice from Camden Planning Department**

A mansard roof scheme was discussed with Camden Planning Department in March 2017 as part of a dialogue with the Planning and Conservation Case Officers regarding alternatives to a proposed conversion of the existing roofspace under planning application reference 2017/0076/L & 2016/6070/P.

The roof conversion scheme involved infilling with glass between the existing roof pitches to create a modest habitable roof space. As part of feedback on the proposals the Conservation Officer accepted that the roof itself was not original, but that infilling between the two pitches would be unacceptable.

Initial telephone discussions with the case officer indicated that a more traditional solution, such as a mansard would be acceptable in town planning terms. We have taken this advice on board and with our clients have developed the current proposal for a traditional mansard roof which seeks to respond positively to the feedback by proposing a new roof form which as the Camden Planning Guidance (CPG 1) recommends is suitable for a Georgian dwelling and appropriate in character for the Conservation Area.

### 4.3 Schedule of works

This schedule briefly describes the proposed works (internally and externally) to the listed building at 8 Little Green Street. Please note this is not an exhaustive list and is to be read in conjunction with supplementary existing/demolition and proposed drawings for further detail.

Location	Works Description	Photograph
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#### A / Second floor

- |              |  |
|--------------|--|
| A1 / Hallway | <ol style="list-style-type: none"><li>1. Layout alterations and refurbishment as per approved application reference: 2017/0076/L &amp; 2016/6070/P</li><li>2. Existing staircase to be extended a flight, in the space above the existing window, to allow access to roof space.</li></ol> |
|--------------|--|



## B / Roof

B1/ Existing pitched slate roofs

1. Remove existing 1960's roof access dormer.
2. Demolish existing modern double pitched roofs including structure.
3. Form traditional slate mansard roof with dormers as per drawings.



B2 / Box gutter & parapet

1. Remove existing modern roof coverings and coping stones.
2. Re-form new lead box gutter with new coping stones.



#### 4.4 Impact on the special character and setting of the listed building

##### **Impact of proposed works on No.8 Little Green Street**

The existing roof has already been heavily altered, through the removal of the chimney and the replacement of the roof timbers, so it is considered that the creation of a new traditional mansard roof will have little or no impact on the historical significance of the property.

The proposed mansard roof conforms to guidance given on a 'true mansard' in CPG 1 so as not to add excessive height to the host building and provides a historically appropriate solution. Both slopes are proposed to have a slate covering (to match the existing) with traditional lead flashing details. The new box gutter will be a traditional lead box gutter providing robust and appropriate drainage around the new mansard roof.

An extension to the existing staircase will give access to the roof space; in order to protect the layout of the second floor the new staircase is proposed as a continuation of the existing stair.

The new habitable roof space is proposed to be used as a bedroom with en-suite bathroom. New side dormers will allow for safer and easier access to the rooftop for ongoing maintenance. All works will use high quality conservation grade materials.

The proposed development will increase the property's capacity for viable use as a growing family home and ensure its ongoing maintenance and conservation.

##### **Impact of proposed works on Conservation Area**

The main architectural interest of the property is in its contribution to the streetscape composition of Little Green Street, therefore the proposed design seeks to positively contribute to and maintain the existing views of the property from the surrounding area.

The north side of Little Green Street is listed and the street forms part of the southern spur of the Dartmouth Park Conservation Area, as such the development is designed to be discrete and subservient to the existing streetscape. Please see proposed views from Little Green Street looking north east; from Ingestre Road looking north west and from College Lane looking south on the following pages.

From the pavement, the proposed slate hung mansard roof will match the archaic rooftops of Little Green Street, which includes numerous tall brick chimneys and varied dormer windows.

From the two most prominent views of 8 Little Green Street, namely the north west approach from Ingestre Road and the view from College Lane to the north, the proposed mansard retains a traditional silhouette and material palette. The mansard is stepped back and subservient to the existing parapet wall making the roof recede and drawing the eye to the listed facade of the property.



Figure 23/ Existing Little Green Street elevation (north side front and rear)



Figure 24/  
Existing view of No.8 from Little Green Street looking north east.



Figure 25/  
Proposed view of No.8 from Little Green Street looking north east.





Figure 26/  
Existing view of No.8 from Ingestre Road looking north west (summer).



Figure 27/  
Proposed view of No.8 from Ingestre Road looking north west (winter).



Figure 28/  
Existing view from College Lane looking south.



Figure 29/  
Proposed view from College Lane looking south. The proposed rooftop retains a traditional silhouette as seen from College Lane and importantly remains a discrete presence with no visible light spillage or glassy reflections.

#### **4.5 Access & Building Regulations**

When formulating these proposals Building Regulations have been taken into account and all proposed works comply with their requirements, this includes, fire protection, means of escape, thermal and sound insulation and accessibility.

#### **4.6 Conclusion**

The proposals take account of the varied developmental history of the site and surrounding area and aim to work with the remaining historic fabric to form a more sustainable family home that will ensure the use and conservation of the property into the future.