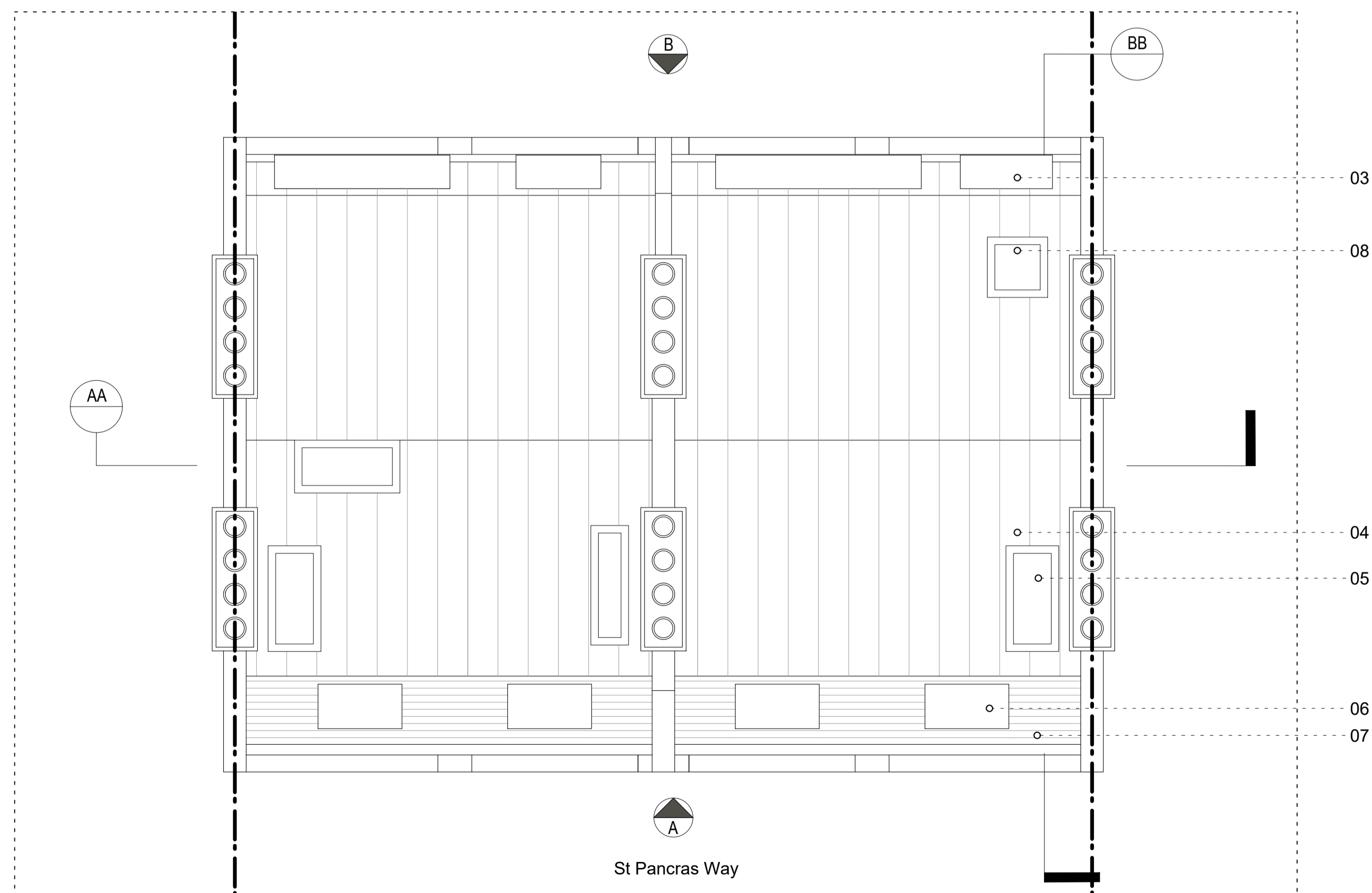
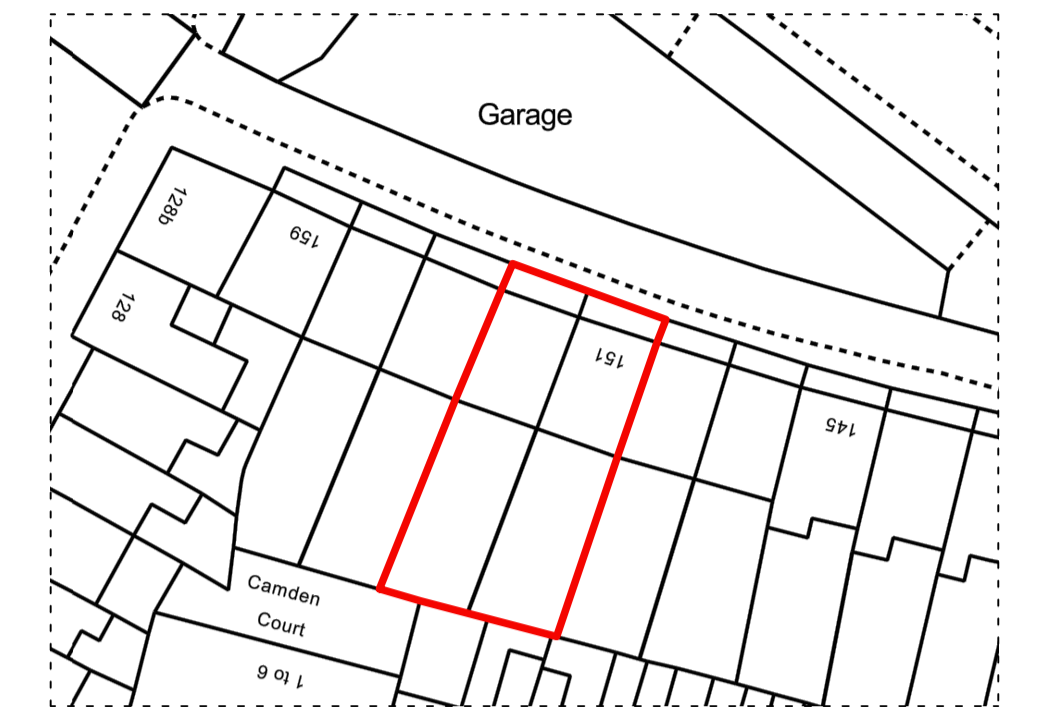


PROPOSED SECOND FLOOR PLAN



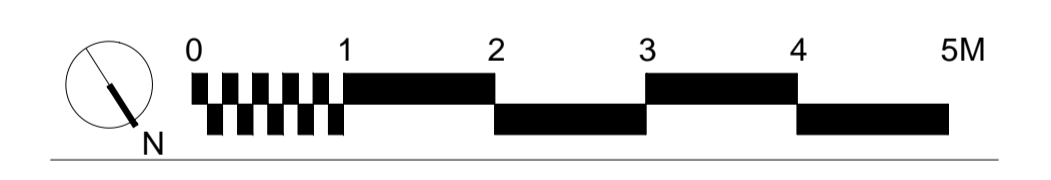
PROPOSED ROOF PLAN

Notes
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- Notes**
- 01 - Communal stair continued up to proposed new mansard floor.
 - 02 - Existing top floor flat to remain as existing.
 - 03 - Light brown/bronze colour zinc window surround.
 - 04 - Zinc standing seam cladding.
 - 05 - Proposed rooflight allowing natural light below.
 - 06 - Lead dormer windows to match rhythm of neighbouring properties.
 - 07 - Slate tiled roof to match neighbouring context.
 - 08 - Automatic Opening Ventilation

Rev	Date	Description
C	03.02.17	Amended to reflect construction drawings
B	15.07.16	PV Panels removed
A	14.06.16	Amendments reflecting planning comments



Project
 153C St Pancras Way, Camden

Client
 Michael Hubbard

Date 20/02/16 **Scale**
 1 : 50 at A1
 1 : 100 at A3

Drawing Title
 Proposed Floor Plans

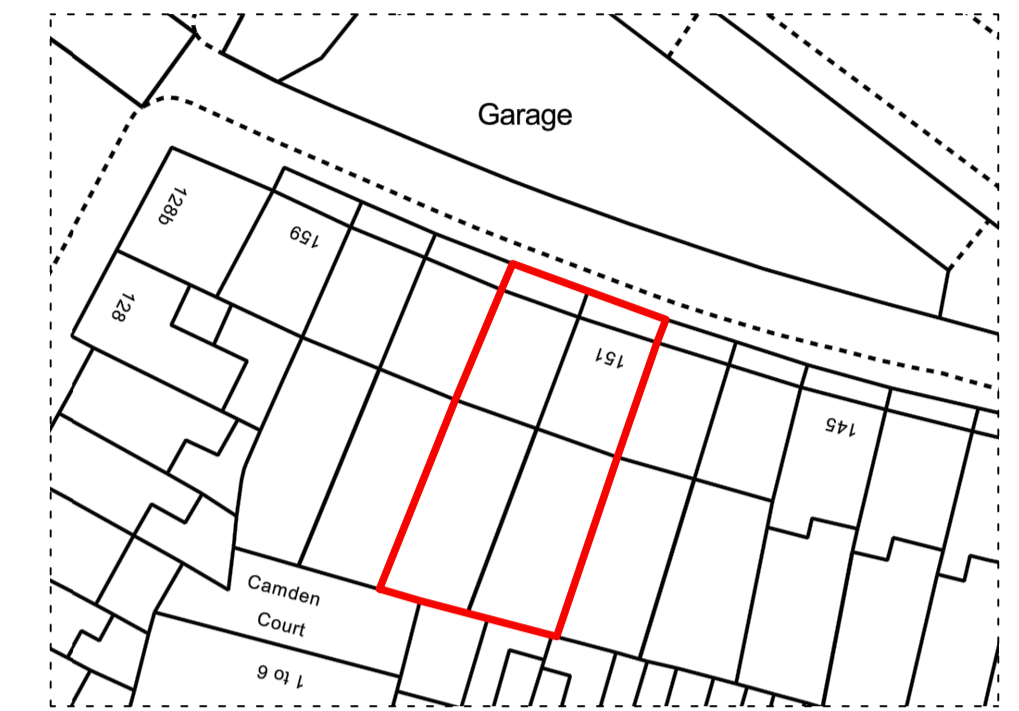
Drawn LW **Checked** **Approved**

Drawing Status
 For Planning

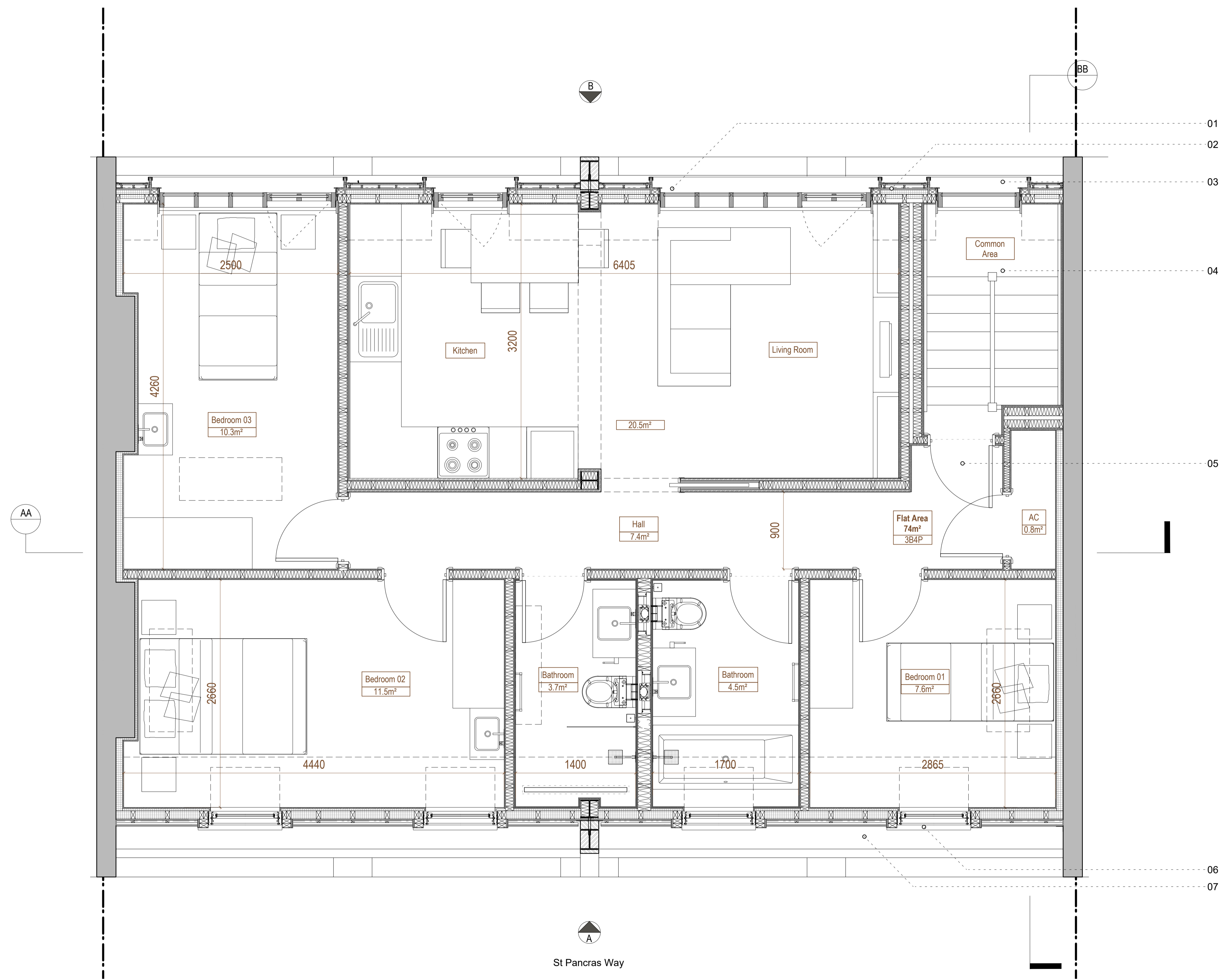
Project 0066 **View** P **Drawing No.** 020 **Rev** C

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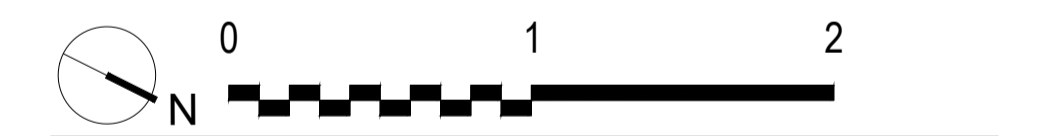
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Notes
 01 - Openable double glazed window set within internal timber frame. Aluminium external capping RAL colour to match roof.
 02 - Zinc standing seam cladding.
 03 - Light brown/bronze colour zinc window surround.
 04 - New stair up to Mansard floor lit with timber composite framed window.
 05 - Entrance to proposed 3 bedroom self-contained flat.
 06 - Lead dormer windows to match rhythm of neighbouring properties.
 07 - Slate tiled roof to match neighbouring context.



Rev	Date	Description
D	03.02.17	Amended to reflect construction drawings
C	15.07.16	Bath added to bathroom
B	14.06.16	Amendments reflecting planning comments
A	14.06.16	Amendments reflecting planning comments



Project
 153C St Pancras Way, Camden

Client
 Michael Hubbard

Date
 20/02/16

Scale
 1:25 at A1
 1:50 at A3

Drawing Title
 Proposed Third Floor Plan

Drawn LW **Checked** **Approved**

Drawing Status
 For Planning

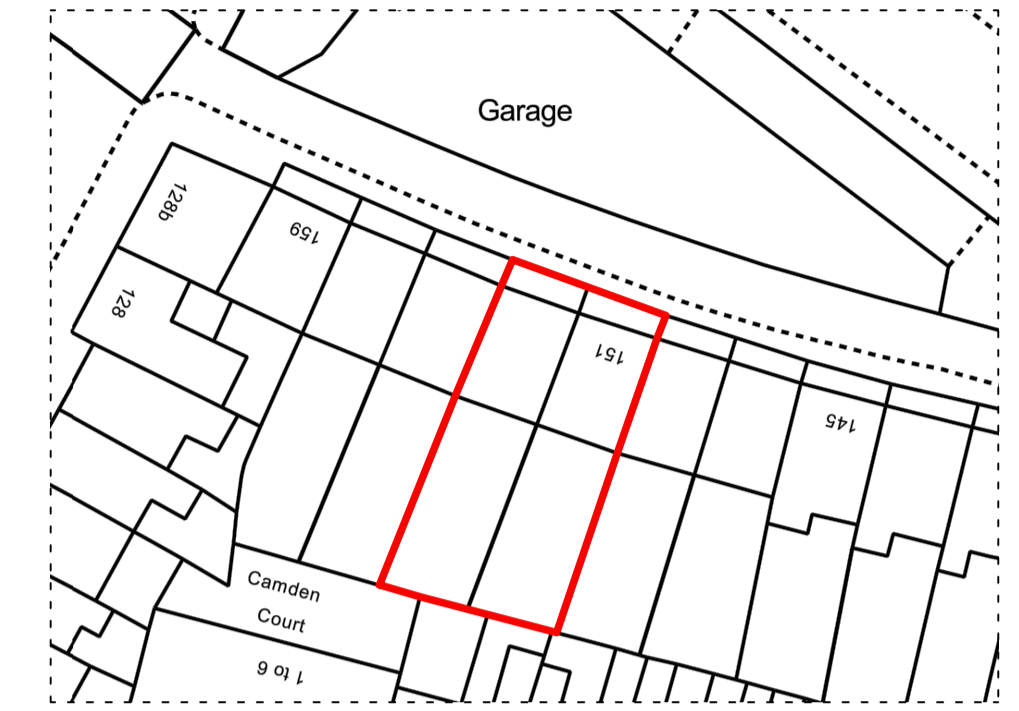
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Notes
 01 - Slate tiled roof to match neighbouring context.
 02 - Timber sash windows to match neighbouring properties.
 03 - Lead dormer windows to match rhythm of neighbouring properties.
 04 - Zinc standing seam cladding to match colour/finish of neighbouring roofs.
 05 - Light brown/bronze colour zinc window surround.
 06 - Zinc standing seam cladding.
 07 - Minimal frame openable double glazed window set within metal frame.
 08 - Double glazed windows.



PROPOSED ELEVATION A



PROPOSED ELEVATION B

Rev	Date	Description
C	03.02.17	Amended to reflect construction drawings
B	10.07.16	Amendments reflecting planning comments
A	14.06.16	Amendments reflecting planning comments



Project
 153C St Pancras Way, Camden

Client
 Michael Hubbard

Date 20/02/16
Scale 1:50 at A1
 1:100 at A3

Drawing Title
 Proposed Elevations

Drawn LW
Checked
Approved

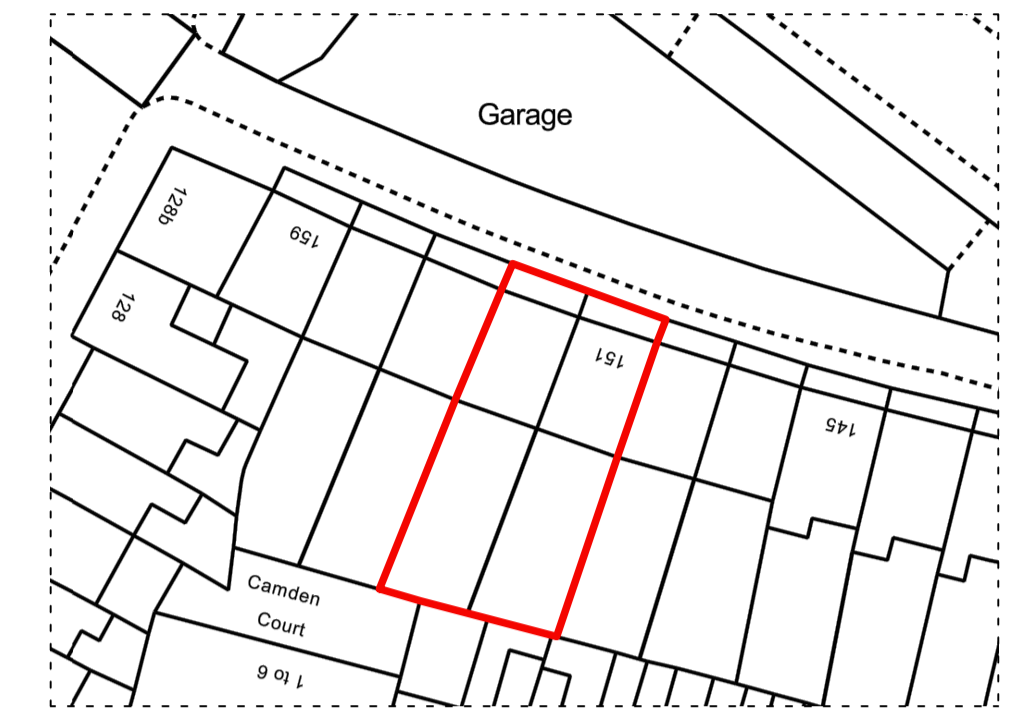
Drawing Status
 For Planning

Project 0066
View P
Drawing No. 022
Rev C

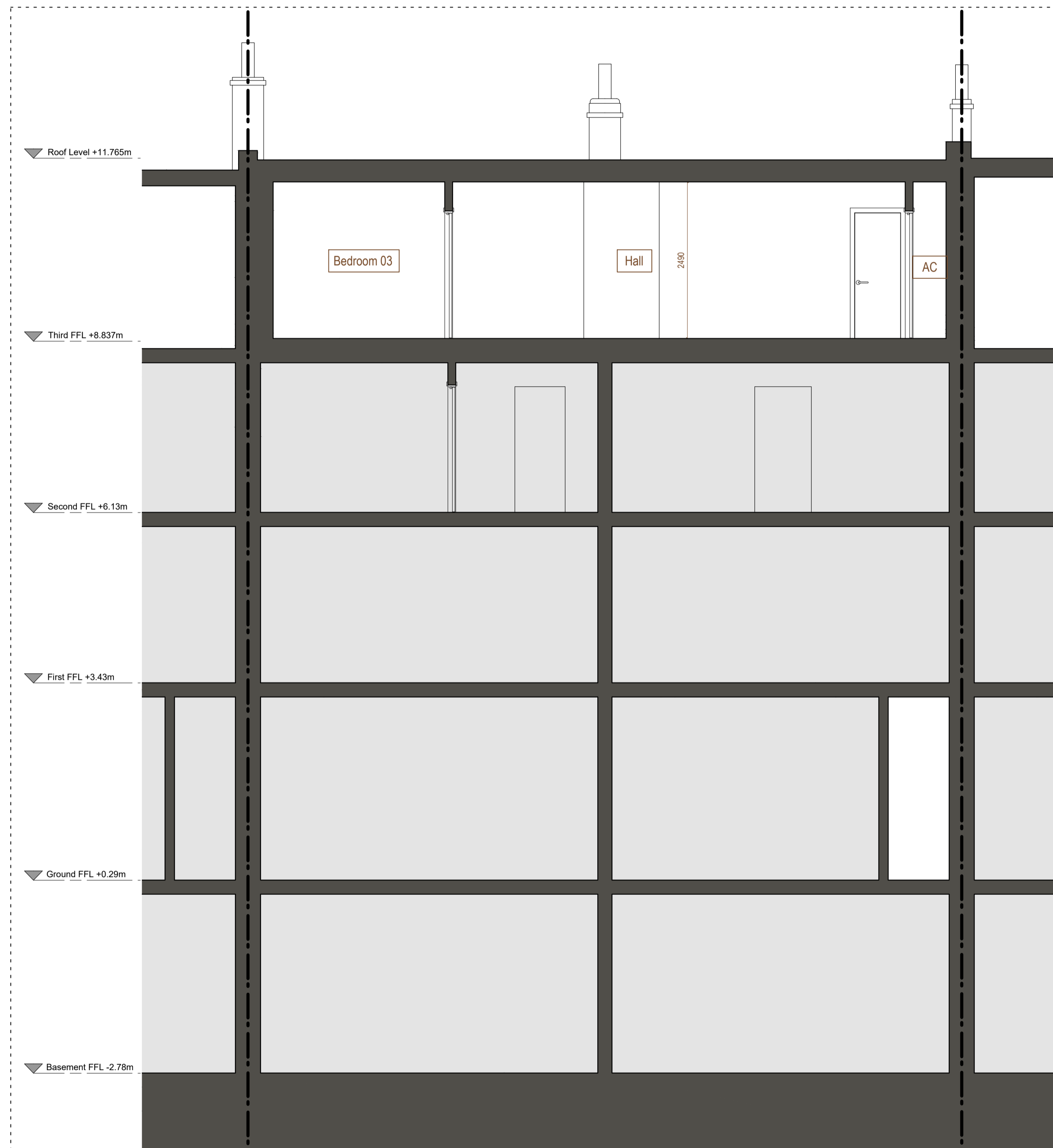
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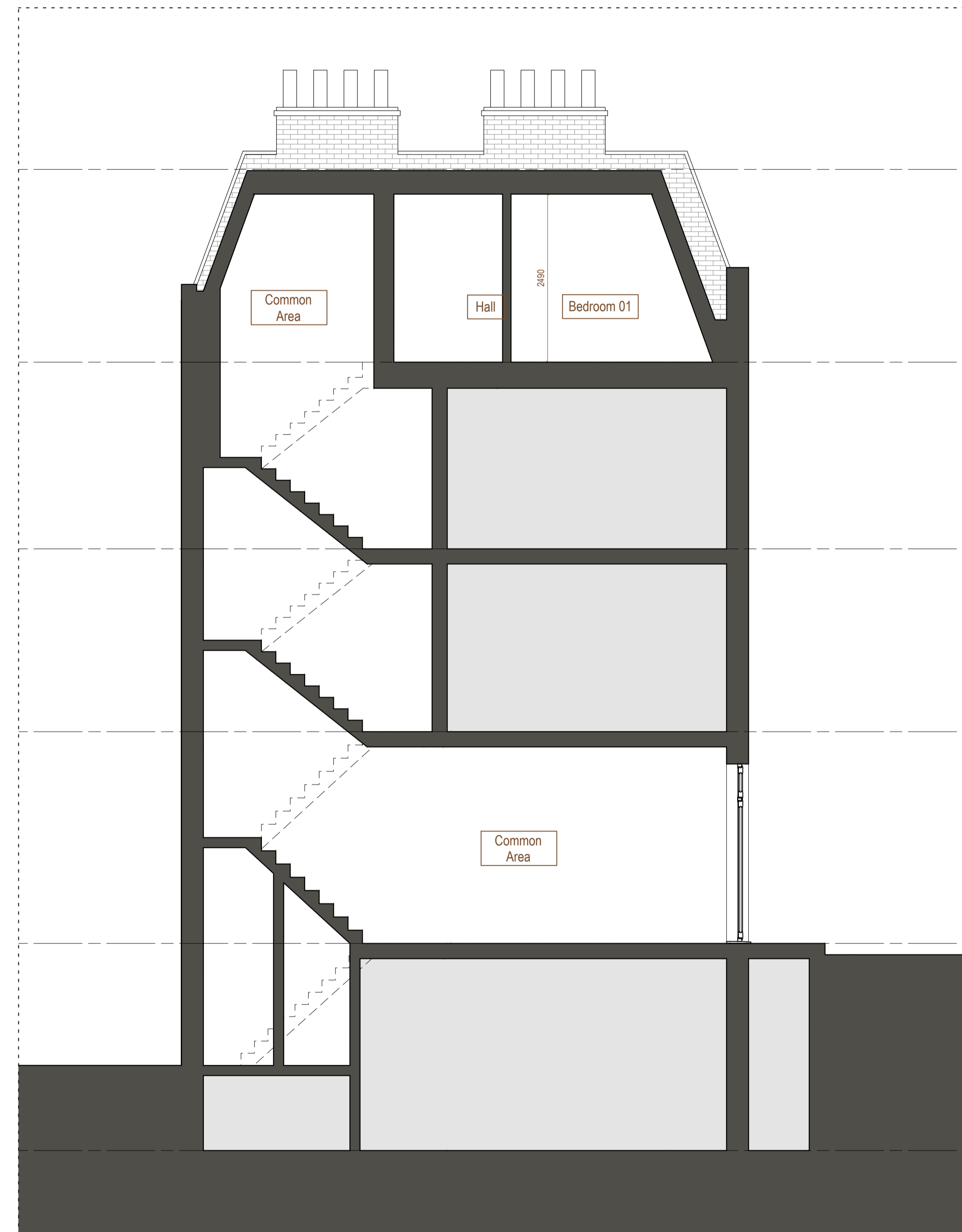
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Neighbouring properties

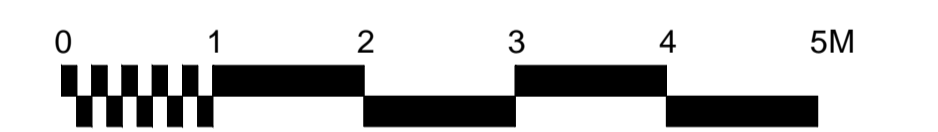


PROPOSED SECTION AA



PROPOSED SECTION BB

B	03.02.17	Amended to reflect construction drawings
A	10.07.16	Amendments reflecting planning comments
Rev	Date	Description



Project
 153C St Pancras Way, Camden

Client
 Michael Hubbard

Date
 20/02/16

Scale
 1:50 at A1
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Drawing Title
 Proposed Sections

Drawn LW **Checked** **Approved**

Drawing Status
 For Planning

Project	View	Drawing No.	Rev
0066	P	023	B

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